

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	13 Skidale Close LAKE TYERS BEACH VIC 3909 Lot: 7 LP: 131847
The application is for a permit to:	Buildings and works for a dwelling and outbuilding
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
43.02-2 (DDO11)	Construct a building or construct or carry out works
The applicant for the permit is:	Lake Tyers Beach Design
The application reference number is:	5.2026.70.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ◆ be made to the Responsible Authority in writing,
- ◆ include the reasons for the objection, and
- ◆ state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
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If you object, the Responsible Authority will tell you its decision.



Planning Permit Application

s47 Planning and Environment Act 1987; r13 Planning and Environment Regulations 2015

Applicant Details:

Applicant name:	Ashley Carroll		
Business trading name (if applicable):	LAKE TYERS BEACH DESIGN		
Email address:	ashley@ltbeachdesign.com		
Postal address:	27 Gully Road - Lake Tyers Beach		
		Postcode:	3909
Preferred Phone number:	0438 321 559	Secondary number:	

Owners Details: (if not the applicant)

Owner name:			
Business trading name (if applicable):			
Postal address:			
		Postcode:	

Description of the Land:

Street number:	13	Street name:	Skidale Close
Town:	Lake Tyers Beach	Postcode	3909

AND/OR

Lot Number:	7	Plan Number:	PS 131847
Other Legal Description:			

Other legal description may be a Crown Allotment reference, Volume/Folio, or other title descriptor. If the proposal relates to multiple addresses/parcels, please attach a document with a list of the owner and land description details for each additional property.

Declaration in relation to Title Restrictions:

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Will the proposal result in a breach of a registered covenant restriction or agreement?	<input type="checkbox"/> Yes	<input type="checkbox"/> No

Existing conditions:

Describe how the land is currently used and developed:

Vacant Allotment



Planning Permit Application

s47 Planning and Environment Act 1987; r13 Planning and Environment Regulations 2015

Description of proposal:

Provide a brief description of your proposal:

Buildings & Works - Proposed Single dwelling (DDO triggered for height & Footprint)

Estimated cost of development:	\$ 900,000
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Note: You may be required to verify this estimate

Has there been a pre-application meeting: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Officer name:
Your application reference number: 25024	

Application requirements and supporting documents

Required:

- Title to each property subject to the application (must have been generated within the past 30 days)
- Full copy of Covenants or Section 173 agreements if applicable, and details of beneficiaries if there is a proposal which would contravene, alter, or end a covenant or restriction.
- Supporting documents which are mandatory requirements of the Planning Scheme (e.g. – Native Vegetation Removal Report, Bushfire Management Statement, Geotechnical report/waiver)
- Plans as relevant to the proposal

Suggested, or subject to requirements of the scheme

- A report responding to the relevant application requirements and the policies and objectives of the East Gippsland Planning Scheme
- Supporting information/reports which are commonly considered with similar applications (e.g. – Land Capability Assessment, Bushfire Management Statement, Geotechnical report/waiver)

If you need more space or have more information, please attach with this form.

Payment of Application Fees

This application has an associated cost to be confirmed by a senior planning officer in accordance with the *Planning and Environment (Fees) Regulations 2016*. An invoice will be generated once the application has been assessed to confirm it is complete.

Invoice Recipient (Payer):	
Address	
	Postcode:
Email Address:	Phone Number:



Planning Permit Application

s47 Planning and Environment Act 1987; r13 Planning and Environment Regulations 2015

Privacy Statement

The East Gippsland Shire Council asks for details about you to make decisions on planning permit applications. The information you give to us on this form is used for your application and is required for Council to make its decision under the *Planning and Environment Act 1987*. Sometimes we may provide a copy of this application form to another person, but only if it is for a legitimate purpose that is related to the planning process, or we are allowed by law, or to protect people or property. If your information is put onto Council's website or provided to another person, Council will always try to make sure your privacy is protected in line with the *Privacy and Data Protection Act 2014*. For instance, if requested by another person, after deciding that it is requested for a legitimate purpose, Council will obtain an undertaking from the recipient confirming how they will use your personal information and that they will destroy it once used.

You may ask for more information about Council's Privacy Policy by contacting our Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au. You can gain access to information you provided to us through the *Freedom of Information Act 1982*, more information about FOI is available on Council's website.

Declarations:

I declare that I am the applicant and that all the information in this application is true and correct and the owner(s) (if not myself) has (have) been notified of the permit application. I confirm that I have authority to use the relevant documents. In the event that the giving of notice is required pursuant to Section 52 of the *Planning and Environment Act 1987*, I permit documents submitted as part of this application, including my full contact information, to be made available for public viewing on Council's website. In the event that the giving of notice is required pursuant to Section 52 of the *Planning and Environment Act 1987*, and I receive instructions to give notice to potentially affected parties, I confirm that I will destroy the instructions and personal information once the information is no longer necessary. I accept the East Gippsland Shire Council Privacy Statement.

Applicant signature:

Name: Ashley Carroll - LTBDDesign

Date: 16 / 03 / 2026

Contact Council



03 5153 9500



feedback@egipps.vic.gov.au



eastgippsland.vic.gov.au



PO Box 1618, Bairnsdale 3875

Customer Service Centres:

- **Bairnsdale:** 273 Main Street
- **Lakes Entrance:** 18 Mechanics Street
- **Mallacoota:** 70 Maurice Avenue
- **Omeo:** 179 Day Avenue
- **Orbost:** 1 Ruskin Street
- **Paynesville:** 55 Esplanade

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958 Page 1 of 3

VOLUME 09424 FOLIO 969

Security no : 124132973496U
Produced 16/03/2026 12:56 PM

LAND DESCRIPTION

Lot 7 on Plan of Subdivision 131847.
PARENT TITLE Volume 09313 Folio 870
Created by instrument LP131847 04/06/1981

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP131847 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 13 SKIDALE CLOSE LAKE TYERS BEACH VIC 3909

ADMINISTRATIVE NOTICES

NIL

eCT Control 26254U COUNTRY LIFE LAW
Effective from 22/08/2025

DOCUMENT END



Imaged Document Cover Sheet

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Document Assembled	13/03/2026 13:29

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LP131847
EDITION 1
APPROVED 19 / 12 / 80
V. 9737, F. 870

NOTATIONS
WATERWAY NOTATION:
LOTS 14, 15, 16, 17, 20 & RESERVE No. 3
IN THIS PLAN MAY BE SUBJECT TO A CROWN
LICENCE TO USE

PLAN OF SUBDIVISION OF:
PART OF CROWN ALLOTMENT ONE
SECTION B

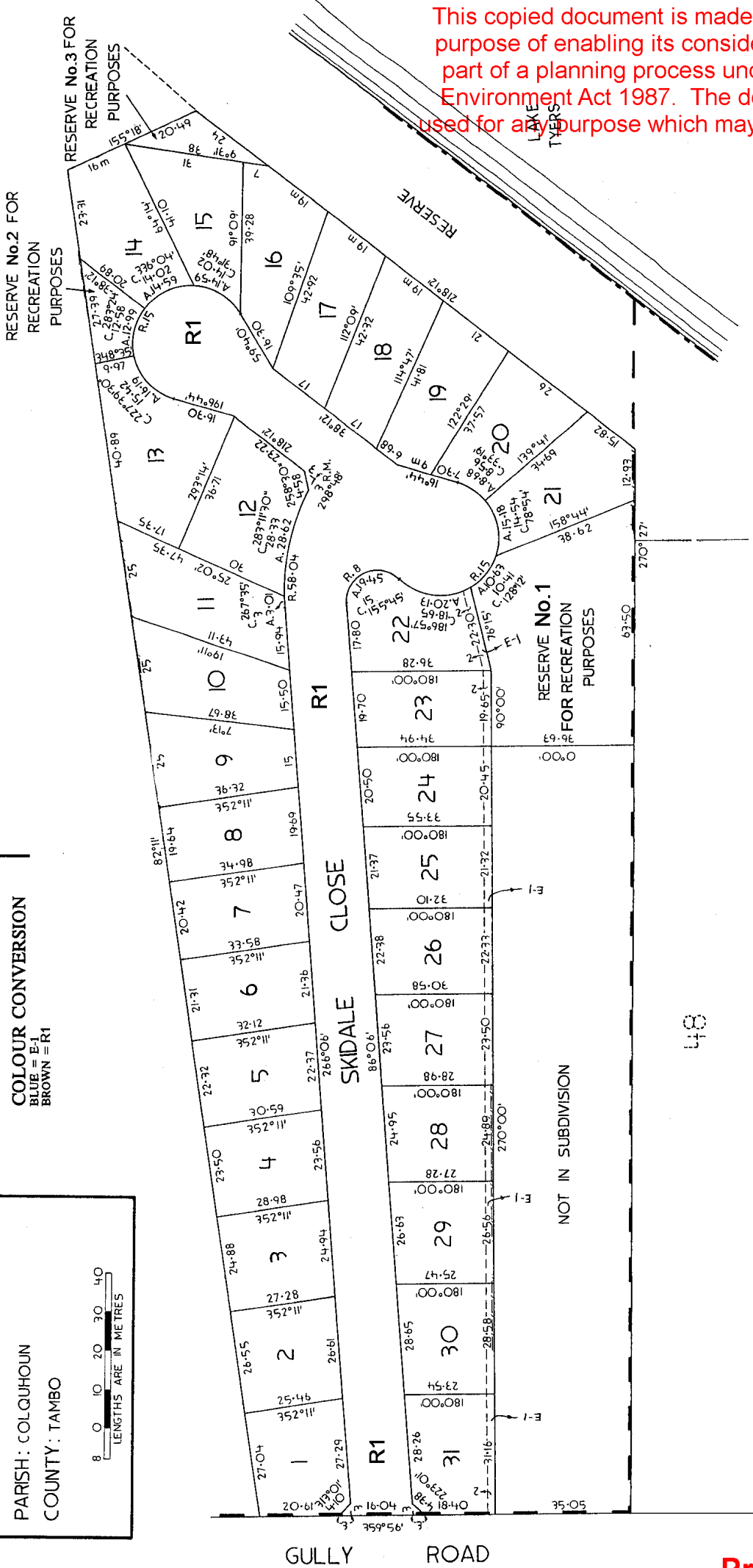
PARISH: COLQUHOUN
COUNTY: TAMBO

WAY AND DRAINAGE --
DRAINAGE --

APPROPRIATIONS
BROWN
BLUE

COLOUR CONVERSION
BLUE = E-1
BROWN = R1

8 0 10 20 30 40
LENGTHS ARE IN METRES



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13 Skidale Close – LAKE TYERS BEACH
Proposed Dwelling

Planning Application Proposal: Buildings & Works - Proposed Single Dwelling & Associated Shed.

Property Details: 13 Skidale Close - LAKE TYERS BEACH (Lot 7 PS 131847.)

Zone: GRZ1 (General Residential 1 Zone)

Overlay DDO11 – Design Development overlay

EMO & VPO – Erosion Management/Vegetation Management Overlays
(Not within mapped Area)

Aboriginal Cultural Heritage Sensitivity – (Exemption for a Single Dwelling)

32.08 General Residential Zone

32.08 – 2 Table of uses – The Proposed Dwelling is a Section 1 Use – No Permit Required.

32.08 – 3 Subdivision – Not Applicable

32.08 – 4 Construction or extension of a dwelling or residential building

Minimum Garden area requirement –

Allotment Size – 700 Sqm. (Above 650 Sqm – requires 35% garden area)

Proposed Building Area total including Proposed Outdoor Areas and Driveway = 422.5 Sqm
(= 39.6 % remainder)

32.08 – 5 Construction and extension of one dwelling on a lot

No Permit Required – to construct or carry out works normal to a dwelling.

32.08 – 6 Two or more dwellings on a lot – Not Applicable

32.08 – 7 Requirements of Clause 54 and Clause 55 –

32.08 – 8 Residential aged care facility – Not Applicable

32.08 – 9 Buildings and works associated with a section 2 use – Not Applicable

32.08 – 10 Maximum Building height - The proposed Dwelling is less than the maximum 11m height specified, and will consist of 2 Storeys.

32.08 – 11 Application requirements – Refer to attached drawings.

13 Skidale Close – LAKE TYERS BEACH
Proposed Dwelling

Areas Of Aboriginal Cultural Heritage Sensitivity – There is an exemption for use as a single Dwelling – Permit Not Required

In response to the *Design Development Overlay* (DDO11) for Proposed Buildings and Works, a Single Dwelling at the above-mentioned address.

Schedule 11 to The Design and Development Overlay

1.0 Design Objectives –

It is believed that the proposed single Dwelling addresses criteria within the Design Objectives outlined.

The Proposed Dwelling has been designed with a combination of lightweight materials, brickwork and large glazed areas combining a Low Pitched Skillion roof to achieve a Coastal Style Architecture in keeping with the Lake Tyers Beach Coastal Area.

The design makes effective use of the site to capture ocean and lake views but is positioned away from the coastal reserve area to remain mostly undetectable from the lower beach area. The site is partially screened from the lower coastline & lake areas by existing vegetation and Dwellings further towards the Lake Tyers Tavern carpark area.

The Ground floor level has been positioned low into the site utilizing natural fall towards the front of the allotment to aid reducing overall scale when viewed from the street, whilst allowing the Upper Floor level over to take advantage of Coastal views. Access for the Dwelling is directly off the Skidale close roadway, without requiring a lengthy steep driveway.

The low pitch Skillion roof and large use of glazing allows North natural light into the upper floor area at the rear of the home with the low pitch roofline adjacent the west side boundary being sympathetic to adjoining properties yard areas and view corridors available.

The Upper floor levels low pitch roofline ensures visual bulk is not of concern when viewed from the lower coastal area, and expansive glass to the living space will provide a transparent look for the home.

An established tree canopy leading up to the site within the lower Public Use Zone adjacent the beach carpark area along with existing two storey Dwellings within the street will ensure the development does not impact the coastline and is visually integrated into the site when viewed from the lower beach or township vantage points.

2.0 Permit Requirement –

Lake Tyers Beach –

- Permit is required to construct a building greater than 7.5m from Natural Surface.
- Permit required to for Building works with a Footprint exceeding 300sqm.
er than 15% Gradient.

13 Skidale Close – LAKE TYERS BEACH
Proposed Dwelling

Building Height - Permit required to construct a building exceeding the scheduled 7.5m within the Lake Tyers Beach Area.

The maximum Building height for the Proposed Dwelling is 8.2m from Natural Surface. Permit Required.

(This maximum Roof height is located at the front Southern Eastern corner of the Dwelling is positioned away from neighbouring dwellings and is set back from the lower the street. Refer to East Elevation on the associated drawings.

The Upper level roof reduces back to approx. 7.2m from natural surface adjacent the East side boundary towards the rear of the allotment and is approx. 5.3m at its lowest point in the rear yard area. The existing site has approx 2.7m of fall from the rear boundary towards the street. The Dwelling has been positioned forward on the site to ensure maximum views remain available for the allotments adjacent he rear boundary.

Total Building Footprint – Permit required to for Building works with a Footprint exceeding scheduled 300sqm.

The Total building Footprint of the Dwelling including Decks and the associated Shed
- totals 301.5 sqm.

Slope Of Land – Permit required for Building works on a site Greater Than 15 per cent

The Allotment has fall towards the street from the rear of the allotment well within the scheduled 15% gradient.

3.0 Subdivision –

Not Applicable

4.0 Application requirements –

Refer to attached Floor Plans & Elevations for dimensions relating to Heights, offsets and existing contours.

There is no vegetation required to be removed.

Colours and material selection are located on the drawings associated with the elevations.

Planting would include use of native shrubs and grasses sympathetic to the coastal environment.

The proposed Dwelling setback from the coastline area will not likely impact the 90 mile beach area. The site is set beyond an existing coastal reserve area and other existing Dwellings providing screening from the Lake Tyers Beach & Lake areas.

Drawings to indicate neighbouring allotments and offsets from boundaries have been attached. These drawings and associated photos within this report provide a neighborhood description.

13 Skidale Close – LAKE TYERS BEACH
Proposed Dwelling

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Photo Above - Photo viewed from Skidale Close looking North onto the Proposed Building Site



East onto the adjacent Dwelling.

**13 Skidale Close – LAKE TYERS BEACH
Proposed Dwelling**

Existing 2 Storey Dwelling adjacent the Western side boundary.



Photo Above - Photo viewed from Skidale Close roadway looking West onto the Existing large scale Dwelling adjacent the site.

5.0 Decision Guidelines –

It is believed that the proposal addresses the Design Objectives within the schedule to the Overlay. The Building form would be mostly undetectable from the distant coastal area when viewed from the lower beach area.

The design uses a low pitch Skillion roof forms & various staggered building elements combined with coastal style claddings and large glazed areas to ensure building bulk is avoided. The staggered built form leading up from the front deck area setback from Skidale close will ensure the streetscape is not impacted beyond the neighboring Dwelling, unlikely further affecting the streetscape. The Dwelling and associated shed will provide minimal visual impact to the roadway or distant coastal area.

Vegetation will not be required to be removed for the construction of the proposed Dwelling. Planting of Native vegetation & landscape works would form part of the proposal, once the footprint is established, both landscaping and planting around outdoor spaces will further reduce the effective building height when viewed from the lower street.

The Upper floor open rear deck area leading up to the Skillion roof will provide staggered built form and reduce the effective height of the Dwelling when viewed from the rear of the lot. Various Building elements and use of claddings on the staggered built forms will reduce visual bulk by giving the appearance of smaller building portions.

The use of the lightweight claddings for upper floor area will provide the Coastal Style architecture desired. Colours for these elements would be natural materials or light elements to further aid to reduce building bulk when viewed from the roadway or lower beach area.

A Colorbond Roof sheeting colour 'Surfmist' is proposed, as it provides coastal/beachside tone to the roof area, however it would not likely be visible from the distant beach area. Other coastal or nearby buildings use this colour to provide a muted toning appropriate with sea-side buildings.

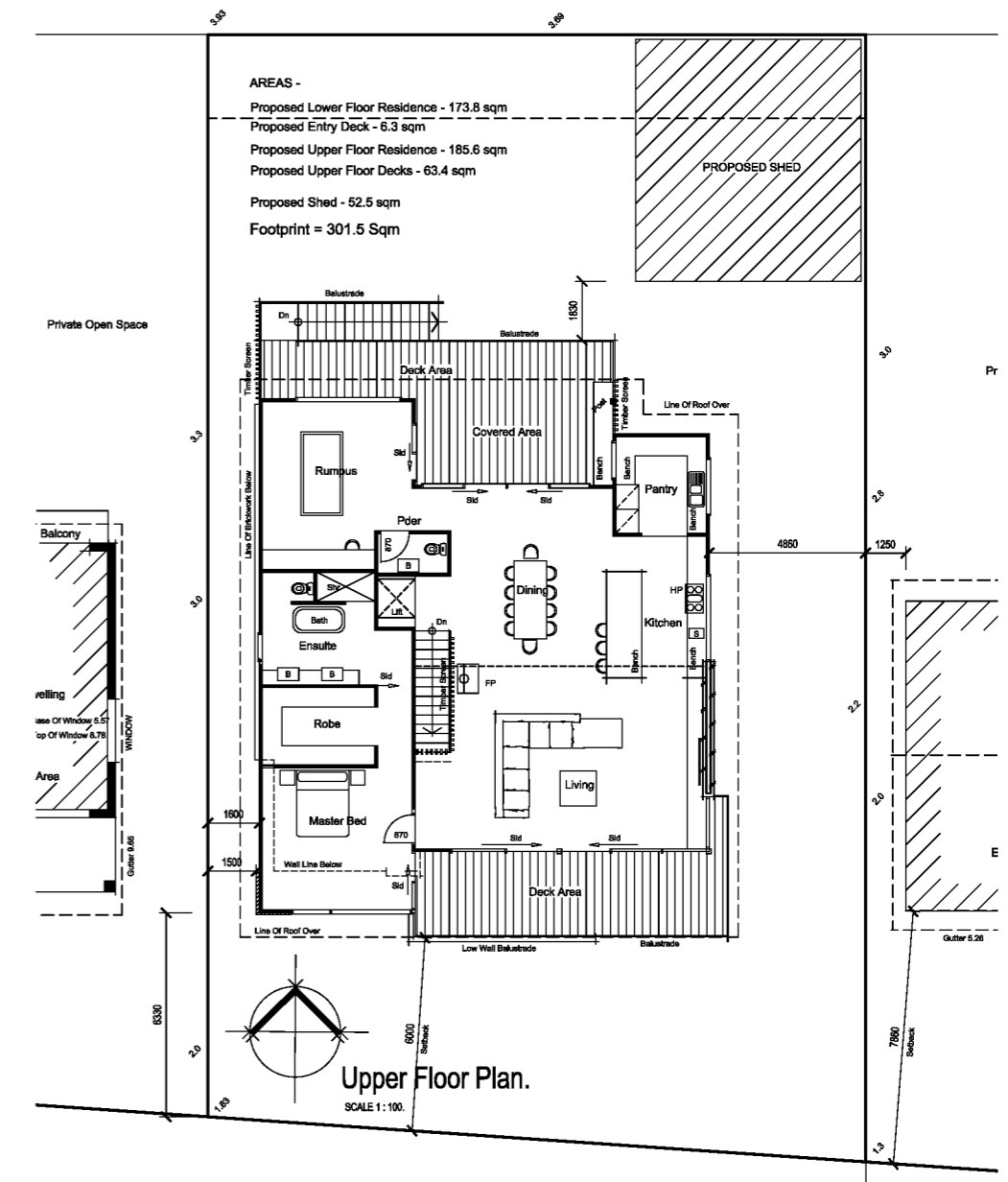
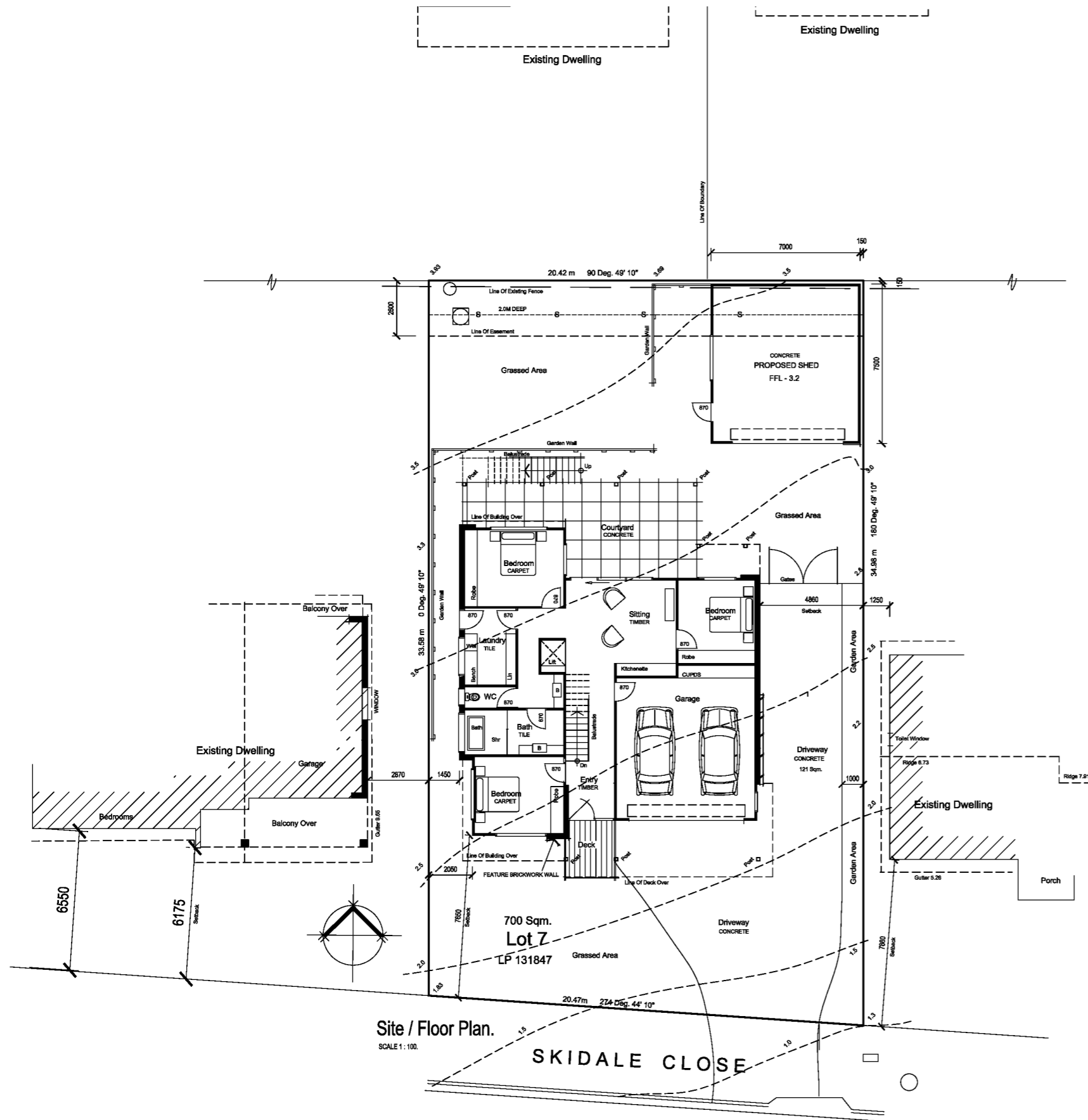
The site location beyond setback beyond existing vegetation & dwellings combined with a low roof pitch will ensure glare/reflectivity are not of concern to the coastal or lake areas.

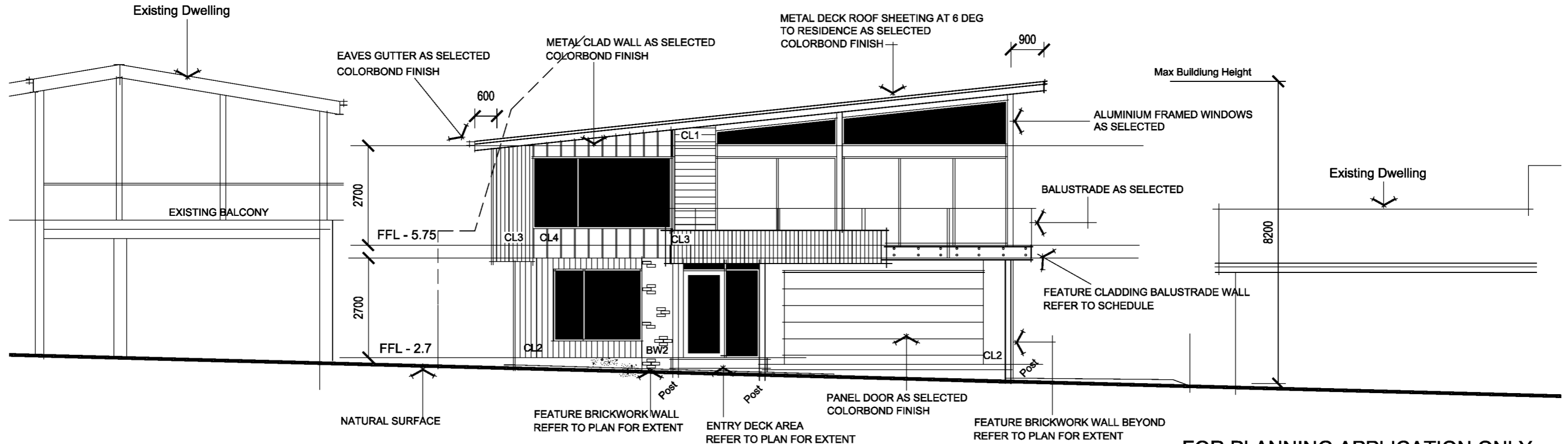
The Upper floor area provides an open Living space capturing available ocean views whilst providing access to a rear northern Outdoor area sheltered from strong breezes.

The lower floor area has been used for guest bedrooms and utility spaces required.

The Proposed double garage and driveway space will ensure vehicle/boat storage occurs away from the street eliminates the need for a large scale shed within the lot.

FOR PLANNING APPLICATION ONLY
NOT TO BE USED FOR CONSTRUCTION

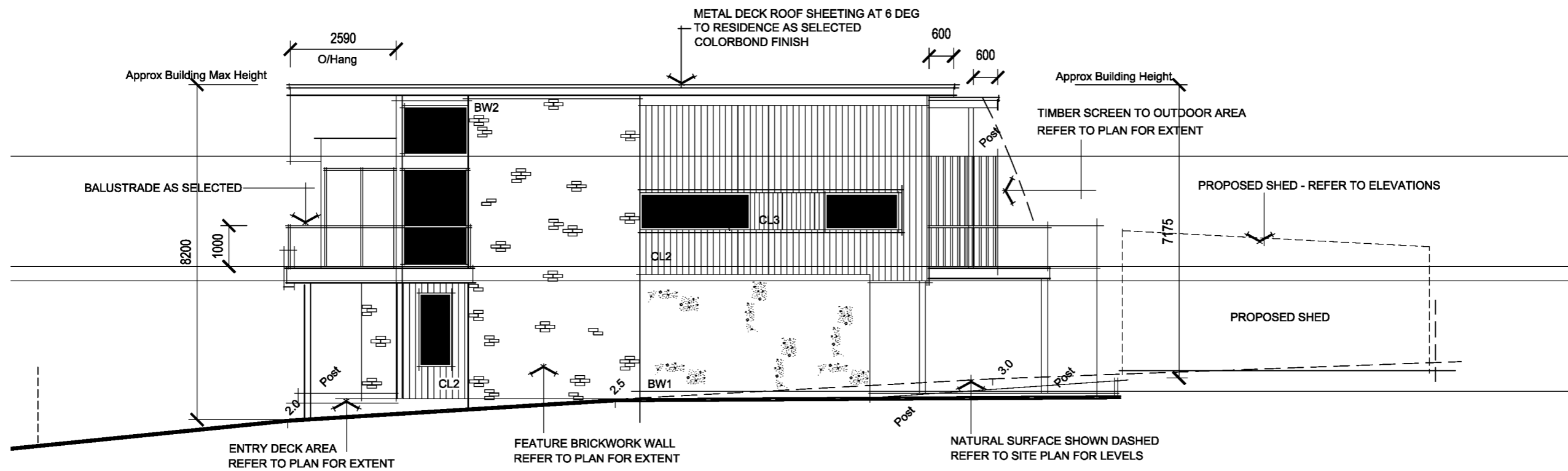




South Elevation.

SCALE 1 : 100.

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East Elevation.

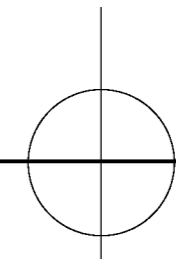
SCALE 1 : 100.

- Skidale Close - Lake Tyers Beach

L a k e T y e r s B e a c h

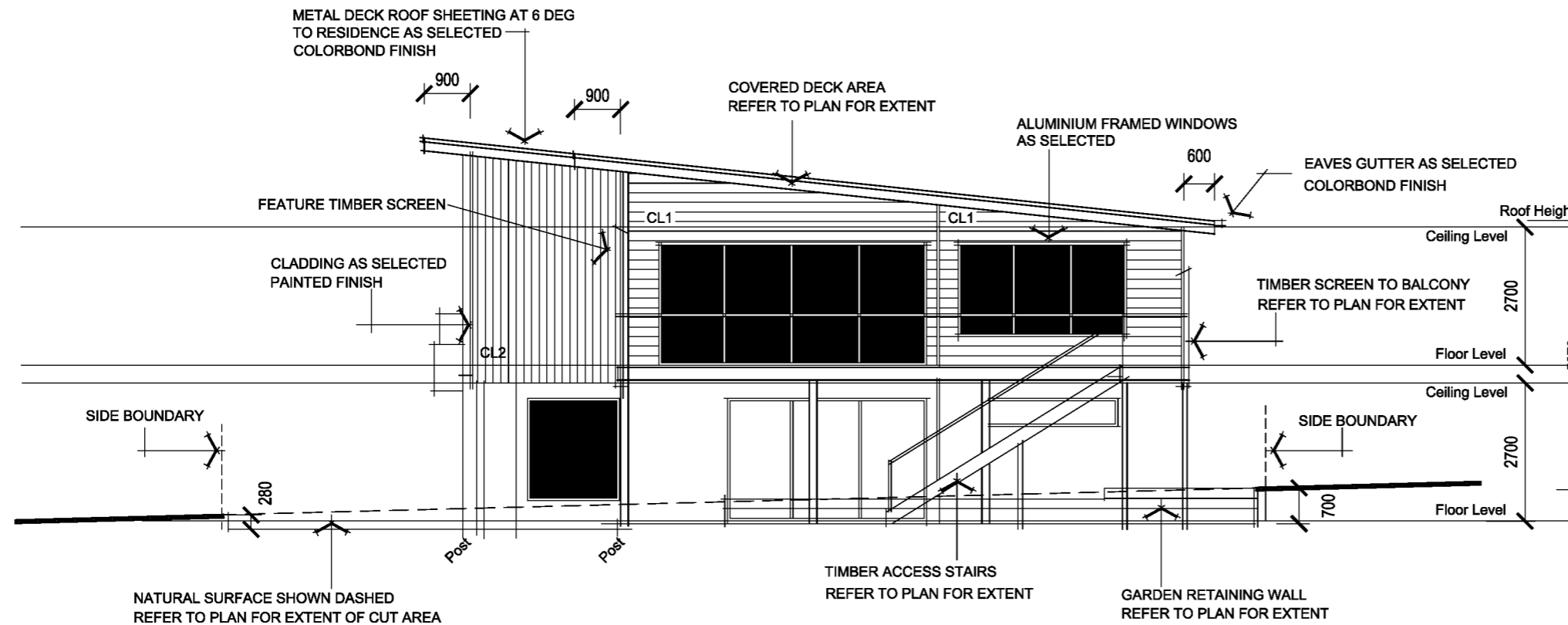
D e s i g n .

Ph: 0 4 3 8 3 2 1 5 5 9



tp 2. **2**

Job No: 25024

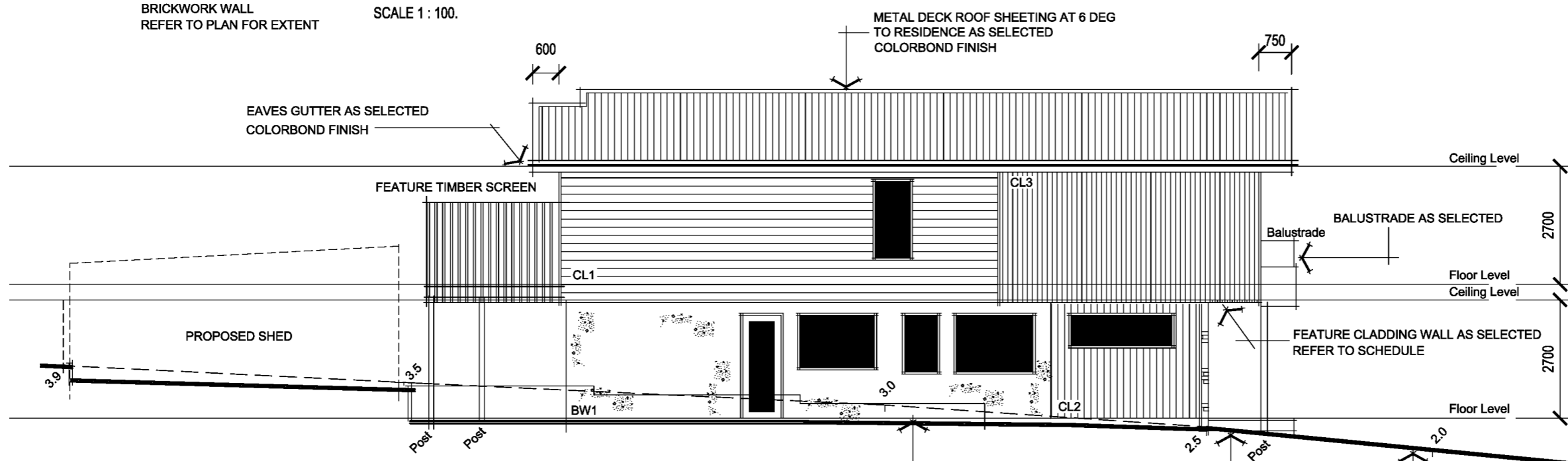


- CLADDING TYPES**
- CL1 DENOTES JAMES HARDIE 'LINEA' WEATHER BOARDS PAINTED FINISH 'SURFMIST'
 - CL2 DENOTES JAMES HARDIE 'AXOM' SHEET CLADDING PAINTED FINISH - 'SHALE GREY'
 - CL3 DENOTES FEATURE TIMBER CLADDING AS SELECTED NATURAL FINISH
 - CL4 DENOTES METAL SHEET CLADDING AS SELECTED LYSAGHT - COLORBOND FINISH - 'SURFMIST'
 - BW1 DENOTES BAGGED BRICKWORK PAINTED FINISH - 'SURFMIST'

FOR PLANNING APPLICATION ONLY
NOT TO BE USED FOR CONSTRUCTION

North Elevation.

SCALE 1 : 100.

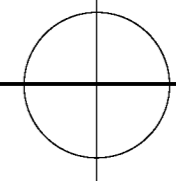


West Elevation.

SCALE 1 : 100.

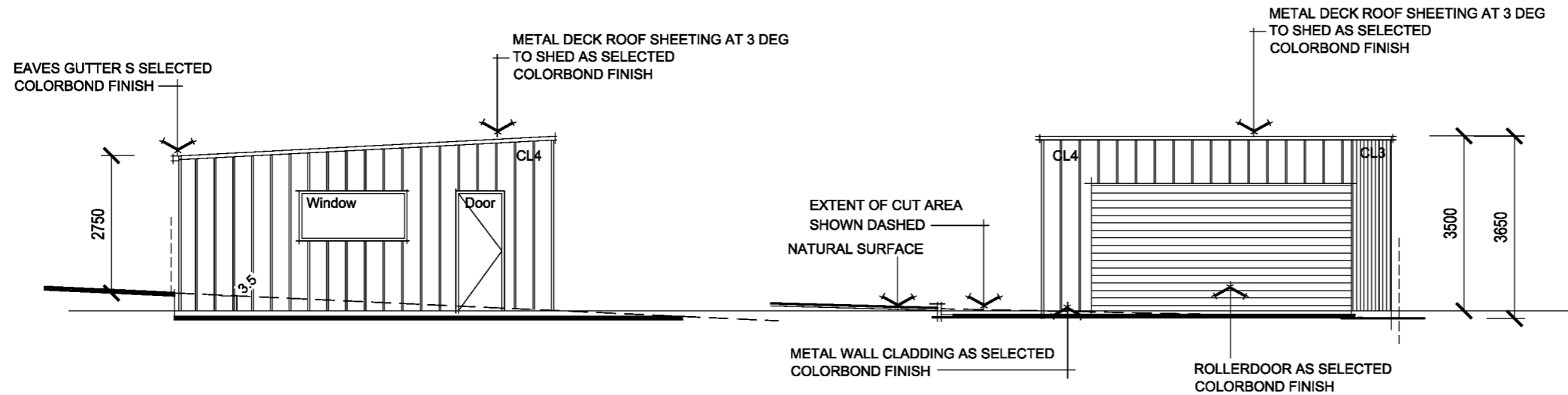
- Skidale Close - Lake Tyers Beach

L a k e T y e r s B e a c h D e s i g n .
Ph: 0 4 3 8 3 2 1 5 5 9



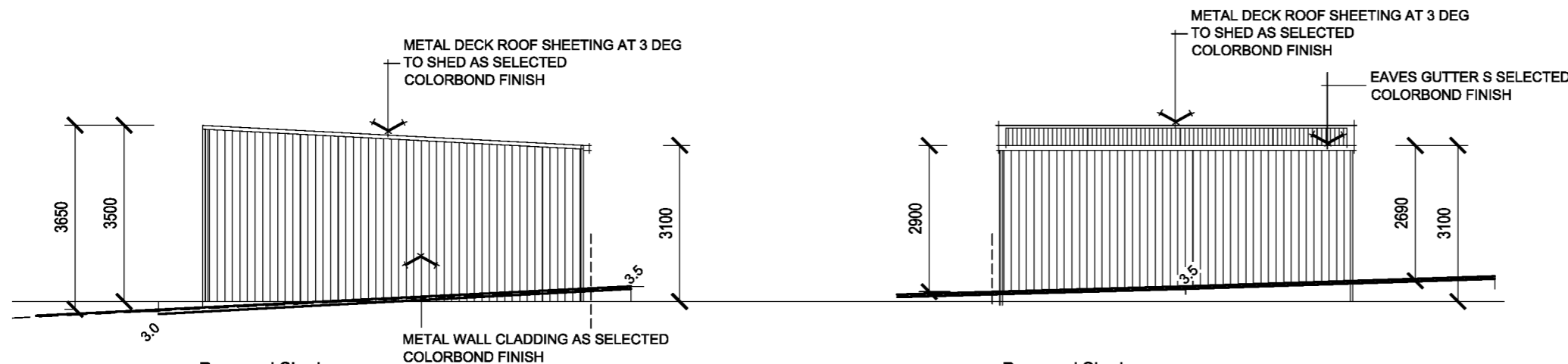
tp 2. **3**

Job No: 25024



Proposed Shed
South Elevation.
SCALE 1 : 100.

Proposed Shed
South Elevation.
SCALE 1 : 100.



Proposed Shed
East Elevation.
SCALE 1 : 100.

Proposed Shed
North Elevation.
SCALE 1 : 100.

