

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	8 Travers Court METUNG VIC 3904 Lot: 7 LP: 209855
The application is for a permit to:	Development of Dwelling, Associated Earthworks and Vegetation Removal
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
44.01-2	Earthworks exceeding 1 metre above or below the natural ground level
43.02-2	Buildings and works on land with slope exceeding 15%
42.02-2	Removal of vegetation
The applicant for the permit is:	Marchbank Town Planning
The application reference number is:	5.2025.371.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
---	---

If you object, the Responsible Authority will tell you its decision.

April McDonald

From: Snapforms Notifications <no-reply@snapforms.com.au>
Sent: Wednesday, 12 November 2025 12:31 PM
To: Planning Unit Administration
Subject: Planning Permit application
Attachments: Proposed Drawings 8 Travers Court Metung 3904.pdf; Title (Full) 8 Travers court Metung 3904.pdf; GRA 8 Travers Court Metung 3904.pdf; Tree Survey Report 8 Travers Court Metung 3904.pdf; Town Planning Report - 8 Travers Court Metung 3904.pdf; Planning_Permit_Application_2025-11-12T12-31-09_28844525_0.pdf

Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Applicant name: Ben Marchbank

Business trading name: Marchbank Town Planning

Email address: ben@marchbanktownplanning.com.au

Postal address : 95 Bay Road Eagle Point, 3878 VIC

Preferred phone number: 0477408721

Owner's name:

Owner's business trading name (if applicable): -

Owner's postal address:

Street number: 8

Street name: Travers Court

Town: Metung

Post code: 3904

Lot number: 7

Plan number: 209855

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?: Yes

Will the proposal result in a breach of a registered covenant restriction or agreement?: No

Existing conditions : Vacant

Description of proposal : Development of a dwelling, associated earthworks and vegetation removal

Estimated cost of development: \$381,000

Has there been a pre-application meeting: Yes

Officer's name: Discussions with Andrew Bates in relation to covenant.

Invoice Payer: Marchbank Town Planning

Address for Invoice: 95 Bay Road Eagle point 3878

Invoice Email: ben@marchbanktownplanning.com.au

Primary Phone Invoice: 0477408721

Declaration: Yes

Authority Check: Yes

Notice Contact Check: Yes

Notice check 2: Yes

Privacy Statement Acknowledge: Yes

Plans: [Proposed Drawings 8 Travers Court Metung 3904.pdf](#)

Full copy of Title: [Title \(Full\) 8 Travers court Metung 3904.pdf](#)

Planning report: [GRA 8 Travers Court Metung 3904.pdf](#), [Tree Survey Report 8 Travers Court Metung 3904.pdf](#), [Town Planning Report - 8 Travers Court Metung 3904.pdf](#)

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958 Page 1 of 3

VOLUME 09844 FOLIO 298

Security no : 124129834470E
Produced 12/11/2025 12:13 PM

LAND DESCRIPTION

Lot 7 on Plan of Subdivision 209855R.
PARENT TITLES :
Volume 01378 Folio 461 Volume 01452 Folio 334
Created by instrument LP209855R 09/11/1988

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT (as to whole or part of the land) in instrument P729200W 29/03/1990
Expiry Date 31/12/2037

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP209855R FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 8 TRAVERS COURT METUNG VIC 3904

DOCUMENT END



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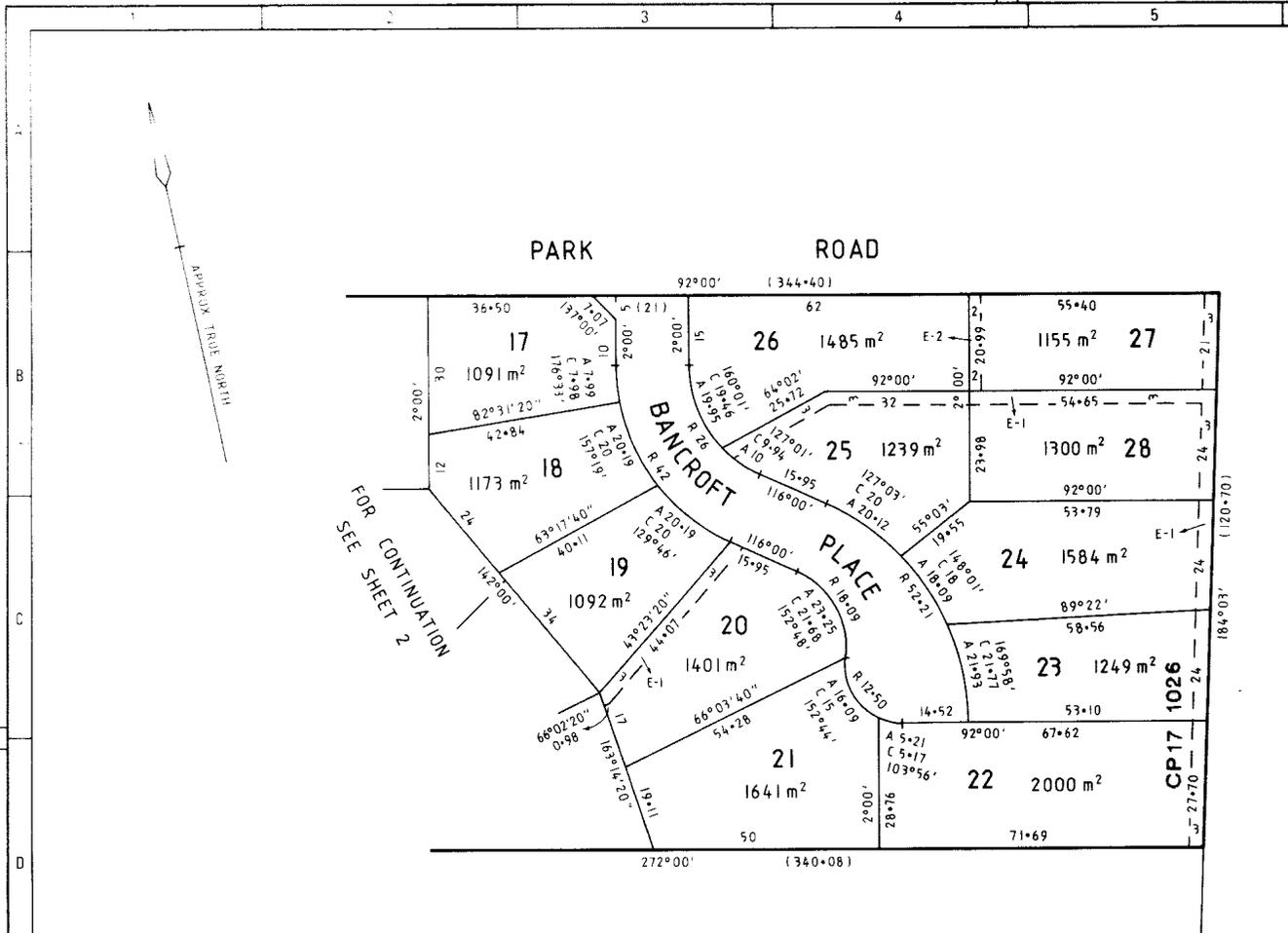
Document Type	Plan
Document Identification	LP209855R
Number of Pages (excluding this cover sheet)	2
Document Assembled	17/12/2024 16:23

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LP209855 R
EDITION 1



NOTATIONS
LAND SUBJECT TO EASEMENT NIL
LAND APPROPRIATED OR SET APART E-1 DRAINAGE AND SEWERAGE ROADS WITHIN THE THICK LINES FOR WAY, DRAINAGE, SEWERAGE AND SUPPLY OF WATER, ELECTRICITY AND TELEPHONE E-2 ELECTRICITY SUPPLY PURPOSES.

TO BE COMPLETED WHERE APPLICABLE
THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS NOS:
IN PROCLAIMED SURVEY AREA NO.
THE LAND TO BE SUBDIVIDED IS SHOWN ENCLOSED BY THICK LINES
TITLE REF: VOL 1452 FOL 334, VOL 1378 FOL 461
LAST PLAN REF: —

CERTIFICATION BY SURVEYOR

I, MICHAEL JOSEPH SADLER of 66 McCulloch Street BAINSDALE 3875 certify that this plan has been prepared from a survey made under my immediate direction and supervision, in accordance with the *Surveyors Act 1978* and completed on 29th JULY 1987 and that this plan is accurate and correctly represents the adopted boundaries and the classification of the survey is D3

Date: _____

Licensed Surveyor,
Surveyors Act 1978

AMENDMENTS

CROWTHER & SADLER PTY. LTD.
2 66 McCulloch Street, P.O. Box 122,
BAINSDALE 3875
Phone 081 52 5011

SURVEYOR'S REF: 5250-05

CERTIFICATE OF MUNICIPAL CLERK

MUNICIPALITY: _____ COUNCIL REF: _____

CERTIFICATE A
THIS PLAN ACCORDS WITH A PLAN

- SEALED BY THE COUNCIL UNDER SECTION 569B OF THE LOCAL GOVERNMENT ACT 1958 ON
- CONFIRMED BY THE PLANNING APPEALS BOARD ON
- AND A REQUIREMENT NO REQUIREMENT PURSUANT TO SECTION 569E OF THE LOCAL GOVERNMENT ACT 1958 HAS BEEN MADE

DATE: _____ MUNICIPAL CLERK: _____

CERTIFICATE B
THIS PLAN ACCORDS WITH A PLAN EXEMPTED FROM SUBDIVISION (3) OF DIVISION (9) OF PART XIX OF THE LOCAL GOVERNMENT ACT 1958 BY

- THE COUNCIL ON
- THE PLANNING APPEALS BOARD ON

DATE: _____ MUNICIPAL CLERK: _____

OFFICE USE ONLY

PLAN APPROVED
AT
ON 9.11.88

(ASSISTANT) REGISTRAR OF TITLES

PLAN OF SUBDIVISION

COUNTY TAMBO
PARISH BUMBERRAH
TOWNSHIP METUNG
SECTION 1
CROWN ALLOTMENTS 5 AND 6

NUMBER OF SHEETS IN PLAN : 2
NUMBER OF THIS SHEET : 1

SCALE
10 0 10 20 30 40
LENGTHS ARE IN METRES

ORIGINAL SCALE SHEET SIZE
1:800 A2

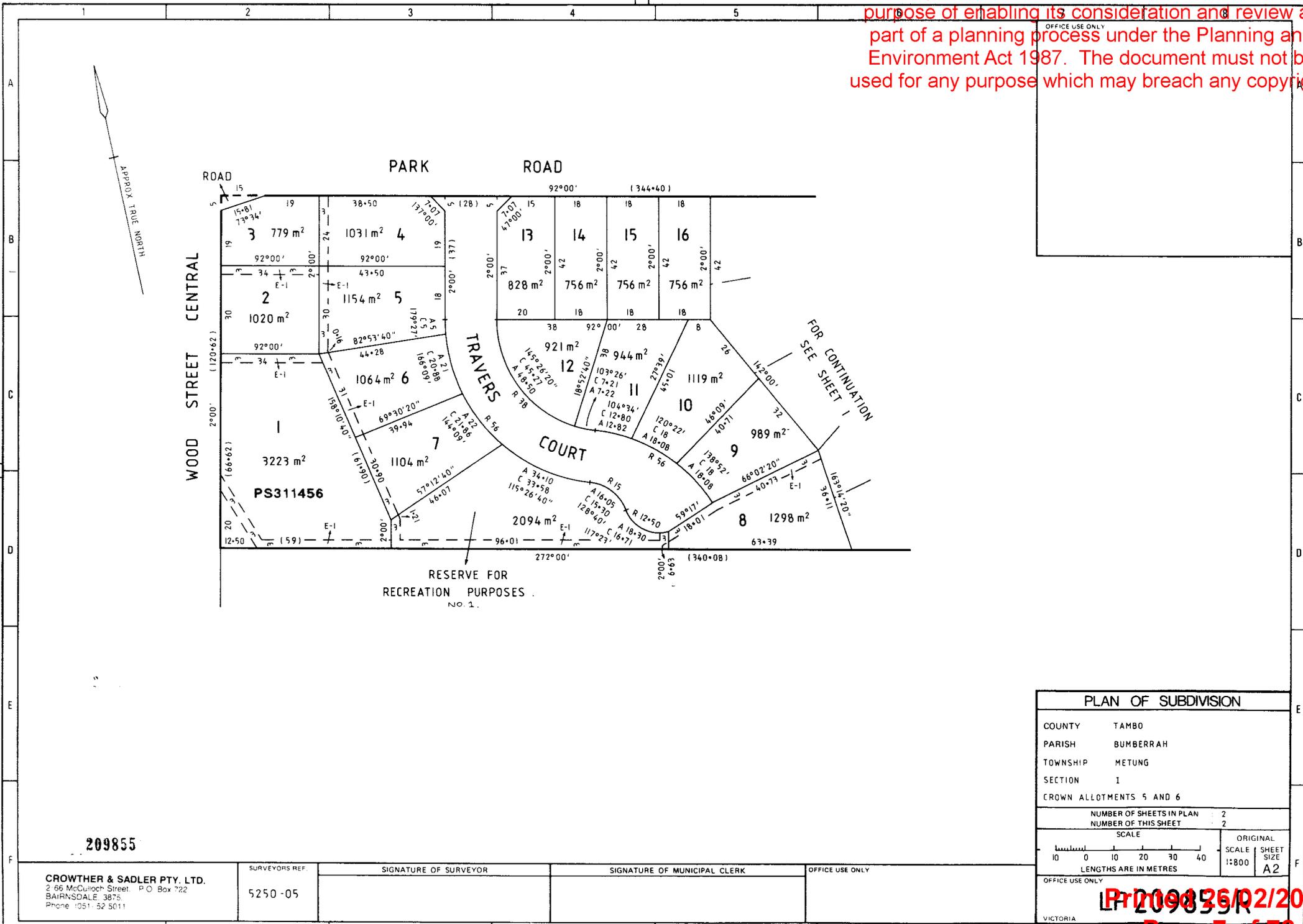
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LP209855 R

VICTORIA

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OFFICE USE ONLY



209855

CROWTHER & SADLER PTY. LTD.
 2-66 McCulloch Street P.O. Box 722
 BAIRNSDALE E 3875
 Phone: 051-52 5011

SURVEYORS REF.
5250-05

SIGNATURE OF SURVEYOR

SIGNATURE OF MUNICIPAL CLERK

OFFICE USE ONLY

PLAN OF SUBDIVISION			
COUNTY	TAMBO		
PARISH	BUMBERRAH		
TOWNSHIP	METUNG		
SECTION	1		
CROWN ALLOTMENTS 5 AND 6			
NUMBER OF SHEETS IN PLAN		2	
NUMBER OF THIS SHEET		2	
SCALE			
		ORIGINAL SCALE	SHEET SIZE
LENGTHS ARE IN METRES		1:800	A2
OFFICE USE ONLY			
VICTORIA			

Printed 26/02/2026
 LF 209855R
 Page 7 of 78



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Document Type	Instrument
Document Identification	P729200W
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REGD

Lodged at the Titles Office by

COMMONWEALTH SAVINGS BANK OF AUSTRALIA
CODE 20 S

290390 1354 45 42 P729200W
P729200.W

VICTORIA

TRANSFER OF LAND

Subject to the encumbrances affecting the land including any created by dealings lodged for registration prior to the lodging of this instrument the transferor for the consideration expressed at the request and by the direction of the directing party (if any) transfers to the transferee the estate and the interest specified in the land described together with any easement hereby created and subject to any easement hereby reserved or restrictive covenant herein contained or covenant created pursuant to statute and included herein. (Notes 1-4)

Land (Note 5)

Certificate of Title Volume 9844 Folio 298

STAMP DUTY VICTORIA
U\$010#1 S#1 T#030575 G0020648 28/03/90
R#112199 D#44 \$820.00

Consideration (Note 6)

\$42,500.00

Transferor (Note 7)

CUTHBERTSON & RICHARDS SAWMILLS PTY. LTD.

Transferee (Note 8)

CLIVE JOHN BLAKELY and LYNETTE MARGARET BLAKELY both of 32 Scenic Crescent, Eltham as Joint Proprietors

Estate and Interest (Note 9)

All our estate and interest in the fee simple

CODE: 47
DUTY: \$820
STATE: V
TYPE:
VALUE: \$42500
ASSESSOR: M.D.

Comptroller of Stamps Use Only

Directing Party (Note 10)

Creation (or Reservation) of Easement and/or Covenant (Notes 11-12)

AND the Transferees with the intent that the benefit of this covenant shall be attached to and run at law and in equity with the whole of the land comprised in Plan of Subdivision No. 209855R (other than the land hereby transferred) and each and every part thereof until the 31st December, 2037 and that the burden of this covenant will be annexed to and run at law and in equity with the land hereby transferred and each part thereof until the 31st December, 2037 and be set out as an

T2 Office Use Only
10-4-90
Approval No. T2/1



A memorandum of the within instrument has been entered in the Register Book.



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encumbrance at the foot of the Certificate of Title to be issued pursuant to this Transfer HEREBY for themselves their respective heirs executors administrators and transferees COVENANT with the said CUTHBERTSON & RICHARDS SAWMILLS PTY. LTD. its Transferees and other the registered proprietor or proprietors for the time being of the whole of the land comprised in the said Plan of Subdivision each and every part thereof (other than the land hereby transferred) that they the Transferees will not prior to the 31st December, 2037:-

- (a) Erect, place, permit, licence or authorise or allow to remain on the said Lot more than one main building being a dwelling house together with the usual outbuildings, such main building containing a floor area of not less than 130 square metres within the outer walls thereof (calculated by excluding the area of any carport, garage, terrace, pergola or verandah) built only of new materials (save for second hand bricks) and having an external wall area of at least seventy-five per cent brick, brick veneer, timber or glass and not having a roof of any building or outbuilding thereon constructed of cement sheet nor of unpainted or exposed metal.
- (b) On Lots 9-11 inclusive building being a dwelling house together with usual outbuildings shall be contained within 30 metres of the boundary fronting Travers Court.
- (c) On Lots 8-28 inclusive such dwelling house/s and outbuildings shall not be of a greater height than 4.5 metres above the highest point of the lot upon which it is erected or placed.
- (d) Lots 18 and 19 such dwelling house and outbuildings shall not be erected or placed within 10 metres of the rear boundary.
- (e) On Lots 1-7 inclusive and Lot 22 and Lots 25-28 inclusive more than one residential building shall be permitted.
- (f) On Lots 25-28 inclusive the floor area of such buildings shall not be less than 85 square metres.
- (g) Extract or remove or permit the extraction or removal of any soil, gravel or other earth material from the said land except for the purpose of excavating for the foundations of a building, swimming pool or garden landscaping.
- (h) Use or permit the use of the said land or any building thereon for the purpose of commercial breeding, boarding or training kennels for cats or dogs to keep poultry.
- (i) Use or permit the use of the said land for any offensive or noxious purpose.

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Date 23 MAR 1990

(Note 13)

Execution and Attestation

(Note 14)

THE COMMON SEAL of CUTHBERTSON & RICHARDS SAWMILLS PTY. LTD. was hereunto affixed in accordance with its Articles of Association in the presence of:-



R.C. Richards Director *[Signature]* Director

Signed by the Transferees) *[Signature]*
in the presence of: *[Signature]*

[Signature]



Tree Summary Report

Roots 2 Leaves Tree Services

July 29, 2025 |
Total Tree Count: 15

Filters Applied

Client Site Filter:
(Client Site=8 travers court)



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Coast grey box Tree ID #1

8 Travers Court

Tree Details

Botanical Name:	Eucalyptus bosistoana
Common Name:	Coast grey box
Genus:	
Health:	Fair
Structure:	Fair
Status:	Alive
DBH [cm]:	65
Tree Height (Estimated) [m]:	8
Canopy Spread [m]:	9
Tree Protection Zone (TPZ) [m]:	7.8
Structural Root Zone (SRZ) [m]:	2.85
Useful Life Expectancy:	40+ years
Risk Rating:	
Priority of Works:	
Recommended Works:	
Last Modified:	28/07/2025
Observation Comments:	Nature strip tree, well established and viable tree
Notes:	

Tree Location

Address:	8 Travers Court
City:	Metung
Longitude:	147.856575
Latitude:	-37.884843

Photos



image.jpg
28/07/2025

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Cherry Ballart Tree ID #2

8 Travers Court

Tree Details

Botanical Name:	Exocarpus cupressiformis
Common Name:	Cherry Ballart
Genus:	Exocarpus
Health:	Poor
Structure:	Very Poor
Status:	Alive
DBH [cm]:	14
Tree Height (Estimated) [m]:	2
Canopy Spread [m]:	2
Tree Protection Zone (TPZ) [m]:	2
Structural Root Zone (SRZ) [m]:	1.49
Useful Life Expectancy:	6-10 years
Risk Rating:	
Priority of Works:	
Recommended Works:	
Last Modified:	28/07/2025
Observation Comments:	Nature strip tree, competition causing poor growth
Notes:	

Tree Location

Address:	8 Travers Court
City:	Metung
Longitude:	147.856575
Latitude:	-37.884836

Photos



image.jpg
28/07/2025

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Cherry Ballart Tree ID #3

8 Travers Court

Tree Details

Botanical Name:	Exocarpus cupressiformis
Common Name:	Cherry Ballart
Genus:	Exocarpus
Health:	Poor
Structure:	Very Poor
Status:	Alive
DBH [cm]:	14
Tree Height (Estimated) [m]:	2
Canopy Spread [m]:	2
Tree Protection Zone (TPZ) [m]:	2
Structural Root Zone (SRZ) [m]:	1.49
Useful Life Expectancy:	6-10 years
Risk Rating:	
Priority of Works:	
Recommended Works:	
Last Modified:	28/07/2025
Observation Comments:	Nature strip tree, competition causing poor growth
Notes:	

Address: 8 Travers Court

City: Metung

Longitude: 147.856581

Latitude: -37.884852

Photos



image.jpg
28/07/2025

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Forest Red Gum Tree ID #4

8 Travers Court

Tree Details

Botanical Name: Eucalyptus tereticornis

Common Name: Forest Red Gum

Genus: Myrtaceae

Health: Fair

Structure: Fair

Status: Alive

DBH [cm]: 11

Tree Height (Estimated) [m]: 5

Canopy Spread [m]: 2

Tree Protection Zone (TPZ) [m]: 2

Structural Root Zone (SRZ) [m]: 1.49

Useful Life Expectancy: 40+ years

Risk Rating:

Priority of Works:

Recommended Works:

Last Modified: 28/07/2025

Observation Comments: self down sapling, under 10 years of age

Notes:

Tree Location

Address: 8 Travers Court

City: Metung

Longitude: 147.856441

Latitude: -37.884757

Photos



image.jpg
28/07/2025

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Coast grey box Tree ID #5

8 Travers Court

Tree Details

Botanical Name: Eucalyptus bosistoana

Common Name: Coast grey box

Genus:

Health: Fair

Structure: Fair

Status: Alive

DBH [cm]: 16.4

Tree Height (Estimated) [m]: 5

Canopy Spread [m]: 3

Tree Protection Zone (TPZ) [m]: 2

Structural Root Zone (SRZ) [m]: 1.49

Useful Life Expectancy: 40+ years

Risk Rating:

Priority of Works:

Recommended Works:

Last Modified: 28/07/2025

Observation Comments: selfsown sapling, under 10 years of age

Notes:

Address: 8 Travers Court

City: Metung

Longitude: 147.856244

Latitude: -37.884806

Photos



image.jpg
28/07/2025

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Coast grey box Tree ID #6

8 Travers Court

Tree Details

Botanical Name: Eucalyptus bosistoana

Common Name: Coast grey box

Genus:

Health: Fair

Structure: Fair

Status: Alive

DBH [cm]: 44

Tree Height (Estimated) [m]: 11

Canopy Spread [m]: 8

Tree Protection Zone (TPZ) [m]: 5.28

Structural Root Zone (SRZ) [m]: 2.47

Useful Life Expectancy: 40+ years

Risk Rating:

Priority of Works:

Recommended Works:

Last Modified: 28/07/2025

Observation Comments: good condition tree with no observable issues

Notes:

Tree Location

Address: 8 Travers Court

City: Metung

Longitude: 147.856155

Latitude: -37.884865

Photos



image.jpg
28/07/2025

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Coast grey box Tree ID #7

1 Lawrence Court

Tree Details

Botanical Name: Eucalyptus bosistoana

Common Name: Coast grey box

Genus:

Health: Poor

Structure: Poor

Status: Alive

DBH [cm]: 17

Tree Height (Estimated) [m]: 6

Canopy Spread [m]: 3

Tree Protection Zone (TPZ) [m]: 2.04

Structural Root Zone (SRZ) [m]: 1.68

Useful Life Expectancy: 40+ years

Risk Rating:

Priority of Works:

Recommended Works:

Last Modified: 28/07/2025

Observation Comments: declining crown, poor melt structures tree with borers

Notes:

Tree Location

Address: 1 Lawrence Court

City: Metung

Longitude: 147.856143

Latitude: -37.884926

Photos

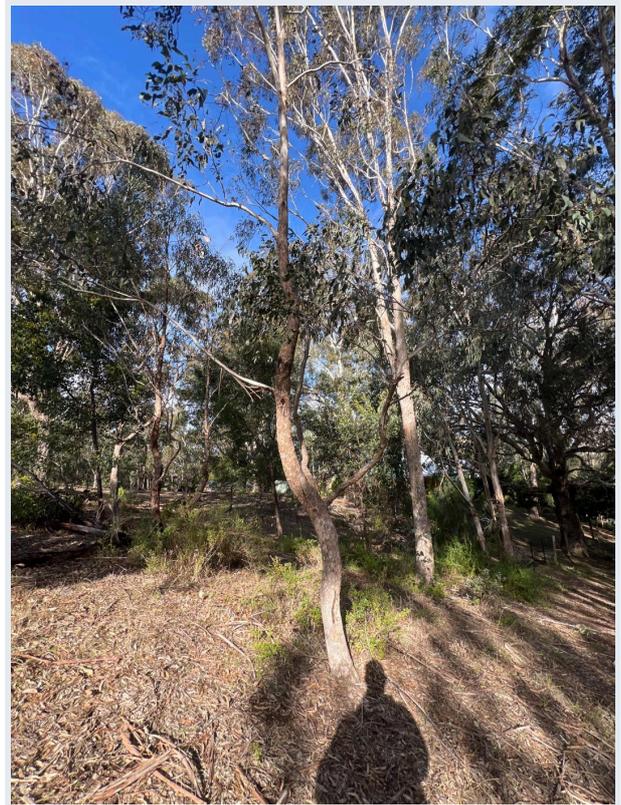


image.jpg
28/07/2025

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Coast grey box Tree ID #8

1 Lawrence Court

Tree Details

Botanical Name:	Eucalyptus bosistoana
Common Name:	Coast grey box
Genus:	
Health:	Fair
Structure:	Fair
Status:	Alive
DBH [cm]:	37
Tree Height (Estimated) [m]:	14
Canopy Spread [m]:	7
Tree Protection Zone (TPZ) [m]:	4.44
Structural Root Zone (SRZ) [m]:	2.25
Useful Life Expectancy:	40+ years
Risk Rating:	
Priority of Works:	
Recommended Works:	
Last Modified:	28/07/2025
Observation Comments:	codominate crown, overall good condition tree
Notes:	

Address: 1 Lawrence Court

City: Metung

Longitude: 147.856155

Latitude: -37.884985

Photos

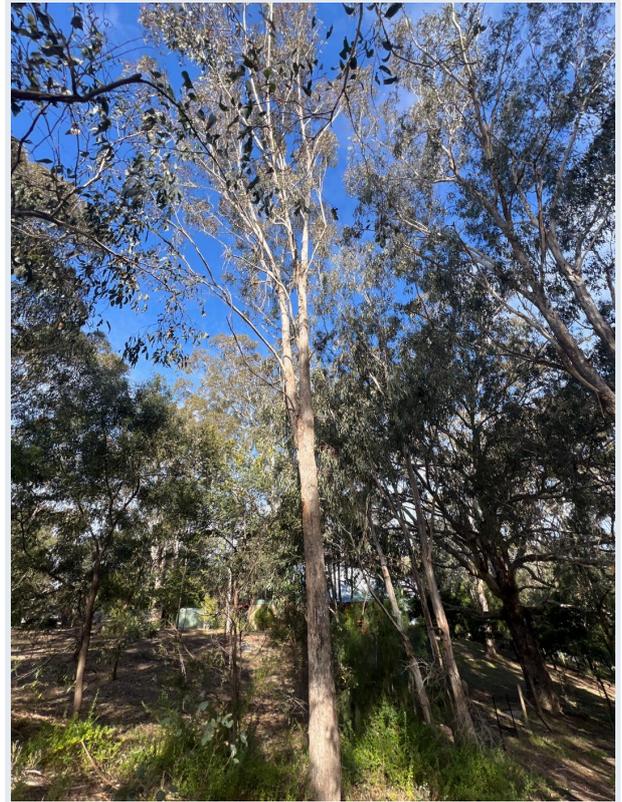


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28/07/2025

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Forest Red Gum Tree ID #9

1 Lawrence Court

Tree Details

Botanical Name:	Eucalyptus tereticornis
Common Name:	Forest Red Gum
Genus:	Myrtaceae
Health:	Fair
Structure:	Fair
Status:	Alive
DBH [cm]:	29.85
Tree Height (Estimated) [m]:	8
Canopy Spread [m]:	5
Tree Protection Zone (TPZ) [m]:	3.58
Structural Root Zone (SRZ) [m]:	2.13
Useful Life Expectancy:	21-40 years
Risk Rating:	
Priority of Works:	
Recommended Works:	
Last Modified:	28/07/2025
Observation Comments:	multi stemmed tree
Notes:	

Tree Location

Address:	1 Lawrence Court
City:	Metung
Longitude:	147.856137
Latitude:	-37.885013

Photos



image.jpg
28/07/2025

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Coast grey box Tree ID #10

8 Travers Court

Tree Details

Botanical Name: Eucalyptus bosistoana

Common Name: Coast grey box

Genus:

Health: Fair

Structure: Fair

Status: Alive

DBH [cm]: 24

Tree Height (Estimated) [m]: 7

Canopy Spread [m]: 5

Tree Protection Zone (TPZ) [m]: 2.88

Structural Root Zone (SRZ) [m]: 2

Useful Life Expectancy: 21-40 years

Risk Rating:

Priority of Works:

Recommended Works:

Last Modified: 28/07/2025

Observation Comments: Fair condition tree with high amounts of competition

Notes:

Tree Location

Address: 8 Travers Court

City: Metung

Longitude: 147.856275

Latitude: -37.884968

Photos



image.jpg
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Coast grey box Tree ID #11

8 Travers Court

Tree Details

Botanical Name:	Eucalyptus bosistoana
Common Name:	Coast grey box
Genus:	
Health:	Fair
Structure:	Fair
Status:	Alive
DBH [cm]:	43
Tree Height (Estimated) [m]:	10
Canopy Spread [m]:	7
Tree Protection Zone (TPZ) [m]:	5.16
Structural Root Zone (SRZ) [m]:	2.37
Useful Life Expectancy:	21-40 years
Risk Rating:	
Priority of Works:	
Recommended Works:	
Last Modified:	28/07/2025
Observation Comments:	Fair condition tree - Codominate crown
Notes:	

Address: 8 Travers Court

City: Metung

Longitude: 147.856286

Latitude: -37.884950

Photos



image.jpg
28/07/2025

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Coast grey box Tree ID #12

8 Travers Court

Tree Details

Botanical Name: Eucalyptus bosistoana

Common Name: Coast grey box

Genus:

Health: Fair

Structure: Fair

Status: Alive

DBH [cm]: 47

Tree Height (Estimated) [m]: 10

Canopy Spread [m]: 7

Tree Protection Zone (TPZ) [m]: 5.64

Structural Root Zone (SRZ) [m]: 2.37

Useful Life Expectancy: 21-40 years

Risk Rating:

Priority of Works:

Recommended Works:

Last Modified: 28/07/2025

Observation Comments: Fair condition tree - Codominate crown, minor pruning

Notes:

Address: 8 Travers Court

City: Metung

Longitude: 147.856344

Latitude: -37.884942

Photos



image.jpg
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Coast grey box Tree ID #13

8 Travers Court

Tree Details

Botanical Name: Eucalyptus bosistoana

Common Name: Coast grey box

Genus:

Health: Fair

Structure: Fair

Status: Alive

DBH [cm]: 69

Tree Height (Estimated) [m]: 9

Canopy Spread [m]: 7

Tree Protection Zone (TPZ) [m]: 8.28

Structural Root Zone (SRZ) [m]: 2.93

Useful Life Expectancy: 21-40 years

Risk Rating:

Priority of Works:

Recommended Works:

Last Modified: 28/07/2025

Observation Comments: Fair condition tree - Codominate crown, significant die back on one side, under lying issues, further investigation advised

Notes:

Tree Location

Address: 8 Travers Court

City: Metung

Longitude: 147.856381

Latitude: -37.884855

Photos



image.jpg
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Coast grey box Tree ID #14

8 Travers Court

Tree Details

Botanical Name: Eucalyptus bosistoana

Common Name: Coast grey box

Genus:

Health: Fair

Structure: Fair

Status: Alive

DBH [cm]: 12

Tree Height (Estimated) [m]: 4

Canopy Spread [m]: 2

Tree Protection Zone (TPZ) [m]: 2

Structural Root Zone (SRZ) [m]: 1.36

Useful Life Expectancy: 21-40 years

Risk Rating:

Priority of Works:

Recommended Works:

Last Modified: 28/07/2025

Observation Comments: young tree with no observable issues

Notes:

Tree Location

Address: 8 Travers Court

City: Metung

Longitude: 147.856455

Latitude: -37.884955

Photos



image.jpg
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Forest Red Gum Tree ID #15

8 Travers Court

Tree Details

Botanical Name: Eucalyptus tereticornis

Common Name: Forest Red Gum

Genus: Myrtaceae

Health: Fair

Structure: Poor

Status: Alive

DBH [cm]: 45.12

Tree Height (Estimated) [m]: 9

Canopy Spread [m]: 6

Tree Protection Zone (TPZ) [m]: 5.41

Structural Root Zone (SRZ) [m]: 2.47

Useful Life Expectancy: 1-5 years

Risk Rating:

Priority of Works:

Recommended Works:

Last Modified: 28/07/2025

Observation Comments: multi stemmed tree

Notes:

Tree Location

Address: 8 Travers Court

City: Metung

Longitude: 147.856566

Latitude: -37.884935

Photos



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28/07/2025

 Simon Anderson Consultants CIVIL STRUCTURAL PROJECT ENGINEERS P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266 P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065	Job: 8 Travers Ct Metung	Date: 5 Feb 2025 Designed: SJA
	Client: Marchbank Town Planning	Checked:
		Page No.: 1 of 5

GEOTECHNICAL RISK ASSESSMENT



8 Travers Ct, Metung

INTRODUCTION

This report is designed to demonstrate the level of geotechnical risk involved in relation to the proposed dwelling at 8 Travers Ct, Metung, during and after construction of associated works.

Note that in accordance with “Guidelines for Landslide Susceptibility” Section 5: Landslide Zoning; the subject site would not be considered in a landslide hazard zone.

SITE DESCRIPTION

This General Residential Zoned allotment (1104m²) is located on the west side of Travers Court. The road is bitumen sealed with concrete roll over kerb and channel drainage.

The subject site is situated upper slope on a low rolling hill landform, with tertiary sediments and sands. The site displays irregular grass coverage and numerous large trees throughout. The site displays moderate grades towards the south and southwest at the back of the block and falls towards the southeast at the front of the block. The subject site is predominantly in-fill development, with well-established dwellings throughout Travers Court and surrounding Streets. Most sites have well-manicured lawns, landscaped gardens and stable vehicle access driveways.

PROJECT DETAILS

A two storey residential dwelling is proposed for the site. The construction details are as follows;

- Due to the sloping nature of the site the dwelling will be light framed construction with timber floor on concrete stumps and footings, resulting in the least amount of disturbance to the sites topsoils.
- Slab on ground construction and cut batters will be utilised to the garage only.
- The construction of the dwelling will result in the diversion of a large amount of rainfall from the site. Roof catchment water will be collected by a system of gutters/downpipes and directed to LPOD.
- It is anticipated that all building and drainage works will be completed within 12 months from their commencement. A further 12 months may be required for completion of the landscaping works.
- A stabilised vehicle access point is to be provided during and after construction. (i.e. proposed concrete driveway)

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	Client: Marchbank Town Planning Checked:	Job No.: 417592 (B)
		Page No.: 2 of 5

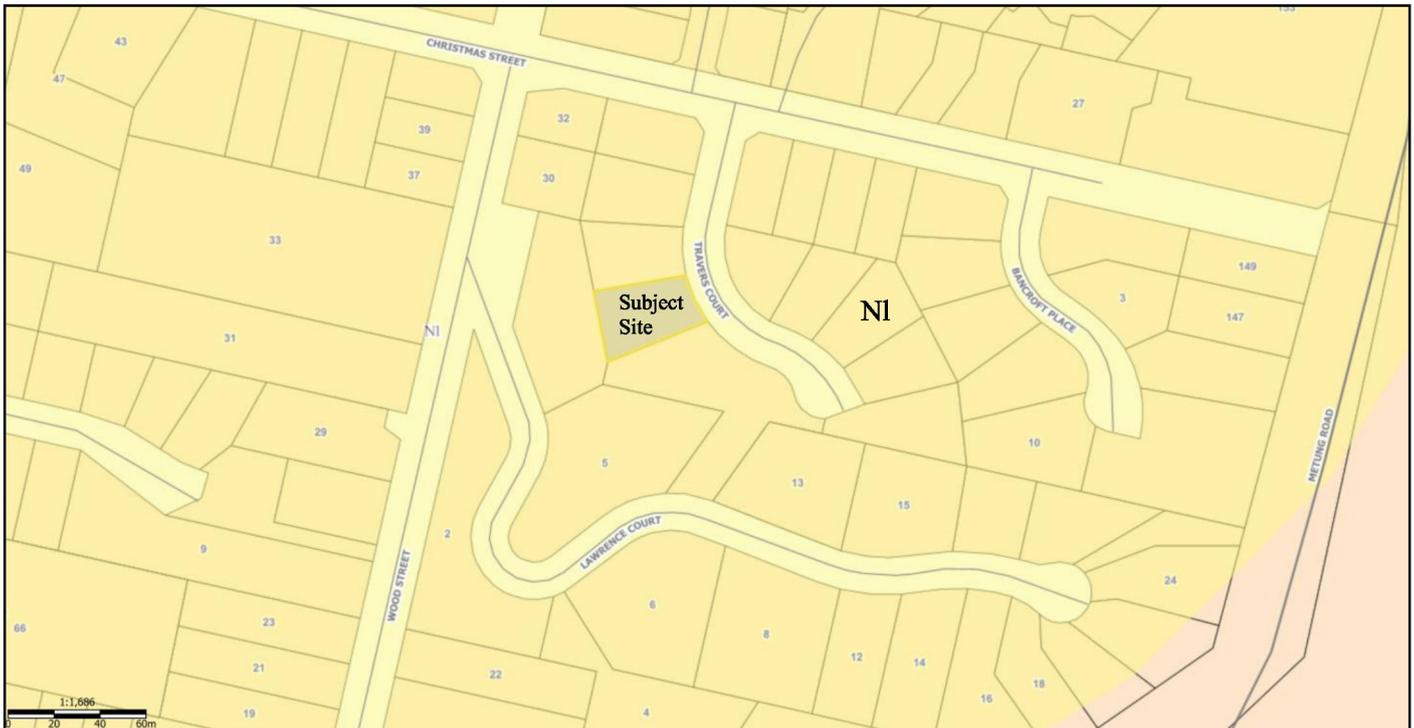
METHODOLOGY

1. DESKTOP INVESTIGATION

A desktop investigation of the subject site was carried out using DSE and GeoVIC mapping of published soil survey information and noted watercourse locations.

Soils of the site have been mapped and described in Sustainable Soil Management “A reference manual to the major agricultural soils of the Bairnsdale and Dargo regions” and are described as belonging to the Stockdale (Sd) map unit. This unit occurs on rolling low hills and is comprised of Tertiary sediments and sands. Most of the land is cleared and used for grazing. East of Swan Reach most of the land is covered by lowland forest.

The soils of the Stockdale map unit are texture contrast soils, with a variable depth of sand or sandy loam overlying a medium to heavy clay subsoil at about 30 to 50cm. Deep sands occur over about 30% of the area.



REF: VANDENBERG, A.H.M., 1997. BAIRNSDALE SJ 55-7 Edition 2, 1:250 000 Geological Map (Series 1:250,000 geological maps. Geological Survey of Victoria.)

Geological Unit	Geological Description	Mapping Unit
NI (<i>Tm-p</i>)	Tertiary Marine, non-marine deposits consisting of gravel, sand, silt.	Stockdale (Sd)

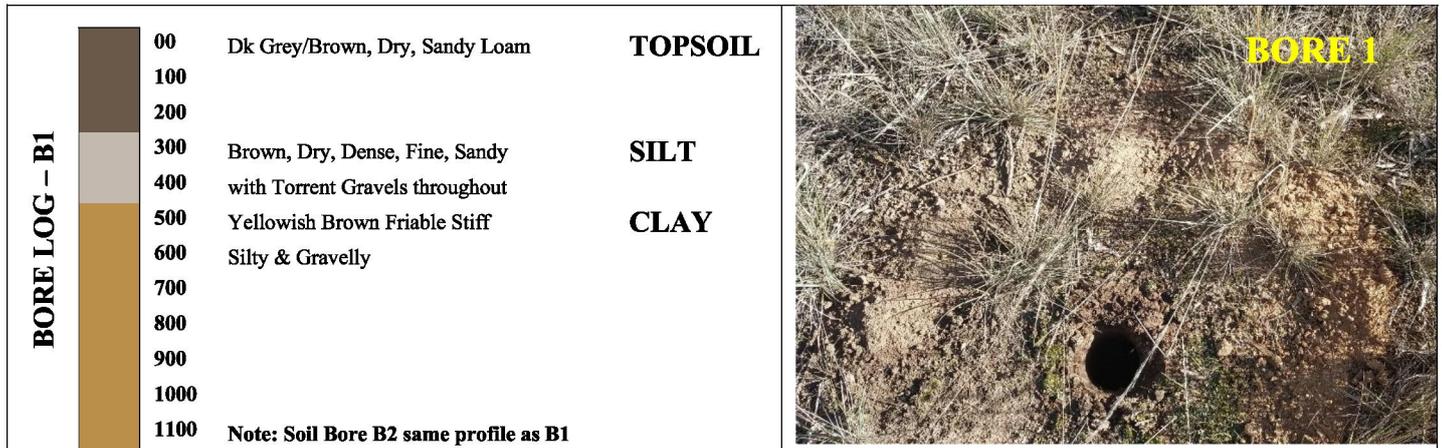
 <p>Simon Anderson Consultants CIVIL STRUCTURAL PROJECT ENGINEERS</p> <p>P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266</p> <p>P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065</p>	<p>Job: 8 Travers Ct Metung</p>	<p>Date: 5 Feb 2025</p>
	<p>Client: Marchbank Town Planning</p>	<p>Designed: SJA</p>
	<p>Checked:</p>	<p>Job No.: 417592 (B)</p>
	<p>Page No.: 3 of 5</p>	

METHODOLOGY cont'd...

A site visit was carried out with an inspection of the area of the proposed Residence and of nearby landforms, features and dwellings.

Soil investigation bores were taken on the site (B1-B2) as shown on site plan page 4.

Typical Soil Bore profile of the site is detailed below;



Soil Profile – Stockdale (Sd) Map unit

Surface soil

- A1** 0 – 300 Dark greyish brown (10YR4/2); *sandy loam*; weak medium (10 – 20 mm) **polyhedral** structure; firm moist; clear wavy change to:
- A2** 300 – 500 Pale brown (10YR6/3) conspicuously **bleached** (10YR8/1d); *sandy loam or loamy sand*; apedal, single grain; firm consistence dry; sharp change to:

Subsoil

- B21** 500 – 800 Yellowish brown (10YR5/6); *heavy clay*; moderate coarse (20 – 50 mm) polyhedral structure; strong **consistence**, moist; diffuse change to:
- B22** 800 – 1m Yellowish brown (10YR5/6) with greyish brown (10YR5/2) and increasing yellowish red (5YR5/6) **mottles**; *heavy clay*; moderate coarse (20 – 50 mm) **lenticular** structure; strong consistence moist.

Key profile features

- Strong texture contrast between the surface **(A) horizons** and subsoil **(B) horizons**.
- Conspicuously bleached subsurface (A2) horizon.



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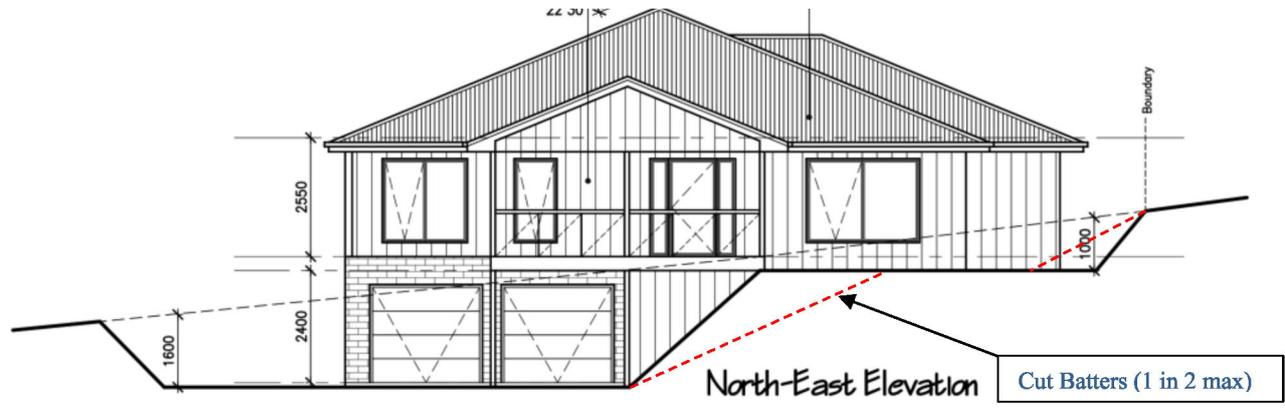
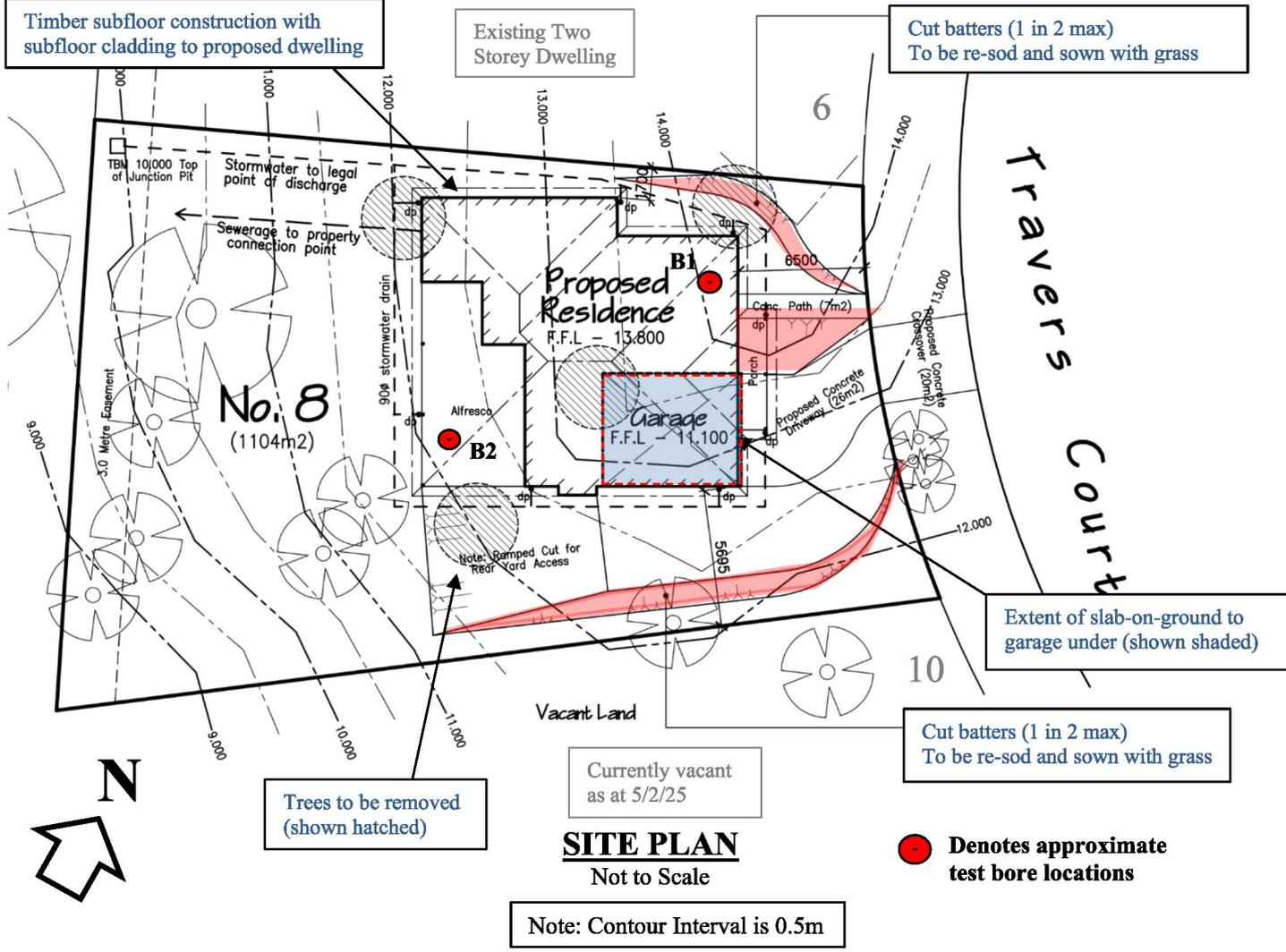


Figure 1 - Subject site Streetview & two storey dwelling at 8 Travers Ct

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	Checked:	Page No.: 5 of 5

SUMMARY OF RISK

LANDSLIDE	LOW
SHEET/RILL EROSION	MODERATE#
TUNNEL EROSION	LOW

- Moderate to low grades over the proposed house site, ranging from 1 in 6 to 1 in 10.
- Moderate grass coverage over the site, will be improved with dwelling development and landscaping with manicured lawns, preventing topsoils from being washed away. There is no evidence of soil erosion or landslip on the adjoining residential properties that have been developed.
- Existing ground under the tree canopies shows signs of sheet erosion, with no topsoils and intermittent grass coverage. The removal of a number of trees and development of landscaping/manicured lawns will reduce the risks of soil erosion.
- Natural soils of the site (dense, sandy, gravelly silts, overlying stiff gravelly clays) will have adequate strength and stability for residential slabs and footings.
- Use of decking at the rear of the dwelling for alfresco/recreational area minimises the cut/fill required and retains the natural contours of the site.
- Engineer designed retaining walls (*if required*) to be constructed with appropriate surface and subsurface drainage before the dwelling is built. Minimise depth of cut to retaining wall to 1.0m max
- An Erosion Management Plan would need to be implemented during and after construction of the two storey dwelling, if slab on ground design with cut batters were adopted to the lower floor garage. For example;
 - i. The form, bulk, scale and location of cut is to be controlled to ensure that there are no adverse impacts on the subject site or neighbouring properties. (i.e. diversion banks and spoon drains)
 - ii. Appropriate sub-soil drainage to be provided to effectively divert groundwater away from any foundation work.
 - iii. A stabilized vehicle access point to be provided during and after construction
 - iv. Identify a suitable storage area for stockpiles, with appropriate erosion control measures (i.e. diversion banks and sediment fences)
 - v. Where vegetation (natural grass cover) needs to be removed, leave it in place as long as possible.
 - vi. All erosion and sediment control measures to be inspected and maintained daily by site manager.
 - vii. Cut/Fill batters (**1 in 2 max**) and any cleared areas to be re-sod and stabilised with grass at end of construction works.
 - viii. The condition of any retaining walls should be inspected annually to ensure there continued structural and drainage/erosion management adequacy. Any defective components should be removed and replaced immediately
- All construction works associated with the dwelling will be protected by Building Code of Australia, Australian Standards, Building and Planning Permit requirements and normal construction practice.

Based on findings from both the Desktop and Site investigations the site is suitable for development as proposed and further intensive investigation would not be necessary to confirm the above findings.

VERIFICATION

I, the author of this document, declare that I am suitably qualified and experienced to carry out this site assessment.



Simon Anderson BE (Civil)CPEng MIEAust No 930355

BCC Registration No EC-1711

Date 5 Feb 2025

Sheet/Rill erosion risks can be alleviated with an appropriate Erosion Management Plan implemented (as noted above).

417592 GRA - (Issue B) 22-10-25



PLANNING PERMIT APPLICATION

Development of a dwelling, associated earthworks and vegetation removal

8 Travers Court Metung 3904

PLANNING SUMMARY

Address	8 Travers Court Metung 3909	
Title	Lot 7 PS209855R	
	Covenant P729200W (Expires 31.12.2037)	
Land size	1104m2	
Zoning	General Residential Zone, 1	
Overlays	Design and Development Overlay, 11	
	Erosion Management Overlay	
	Vegetation Protection Overlay,3	
Particular Provisions	Clause 52.06 Carparking	
Other designations	None	
Cultural Heritage	Aboriginal Cultural Heritage Sensitivity is not mapped to the subject land.	
Permit triggers	Design and Development Overlay	Clause 43.02-2
	Erosion Management Overlay	Clause 44.01-2
	Vegetation Protection Overlay	Clause 42.02-2
Technical Reports	Geotechnical Risk Assessment prepared by Simon Anderson Consultants	
	Tree survey report prepared by Roots to Leaves Ltd	

INTRODUCTION

Marchbank Town Planning has been engaged by _____ andowner to prepare and lodge a planning permit application to develop the land with a dwelling, associated earthworks and remove vegetation.

This planning report addresses the applicable planning requirements of the East Gippsland Planning Scheme. The proposal has taken into consideration and is consistent with Planning Policy Frameworks including the Municipal Strategic Statement, and purpose, application requirements and decision guidelines of the applicable overlays.

Application documentation:

- ✓ Planning permit application form
- ✓ Certificate of title
- ✓ Proposed plan set prepared by GJ Gardner
- ✓ Geotechnical Risk Assessment prepared by Simon Anderson Consultants
- ✓ Tree survey report prepared by Roots to Leaves Ltd

PRELIMINARY MATTERS

Discussions were undertaken with the Acting Planning Coordinator during the formulation of the proposed plans in relation to external material selection.

Covenant P729200W

The covenant places restrictions on the subject land (lot 7) and surrounding lots.

The proposal is not in breach of the covenant as demonstrated below.

(a) the dwelling must not have a floor area less than 130m² (excluding carport, garage, terrace, pergola or veranda).

#	Restriction	Response	Complies
a	The dwelling must not have a floor area less than 130m ² (excluding carport, garage, terrace, pergola or veranda). The dwelling must only be built from new materials, with external wall area of at least 75% brick, brick veneer, timber or glass, and roof must not be cement sheet or unpainted metal.	The floor area is approximately 194m ² . This is calculated by excluding said areas. The dwelling will be built using only new materials. External materials are brick, glass and wood composite cladding from plantation growth Radiate Pine trees, exceeding 75%. Roofing is Colorbond (painted corrugated metal)	✓
b	Relates to lots 9 – 12.	Not applicable.	✓
c	Relates to lots 8 – 28.	Not applicable.	✓
d	Relates to lots 18 -19.	Not applicable.	✓
e	Lots 1-7 inclusive, not more than one residential building.	Only one residential building is proposed in the form of a dwelling.	✓
f	Relates to lots 25 - 28.	Not applicable.	✓

g	Must not extract or remove soil, gravel or other material except for the purposes of excavating for the foundation of a building, swimming pool or garden landscaping.	Only earthworks associated with dwelling construction will be undertaken.	✓
h	No commercial breeding, boarding or training kennels for cats or dogs or to keep poultry.	Noted.	✓
i	Not to be used for offensive or noxious purposes.	Noted.	✓

SITE AND SURROUNDS

The subject land is located on the west side of Travers Court which is a sealed municipal road with roll over kerbs, underground drainage with reticulated water and sewer available.

The land is vacant, slopes to the south and rear with a crest in the middle. Parts of the slope is more than 15%. Native trees are located across the site, some of which are mature and some less than 10 years old. A three meter wide drainage and sewerage easement is located parallel with the rear boundary.

Adjoining land to the north is developed with a two storey dwelling, adjoining to the west is vacant and land adjoining to the south is a designated reserve for recreation purposes. Travers Court contains a mix of single and two storey dwellings of varying designs, roof forms, use of materials and road frontage setbacks.



Subject land and surrounds



Subject land – Travers Court frontage



Subject land – taken on site looking north towards 6 Travers Court



Subject land – taken from middle of site looking towards Travers Court

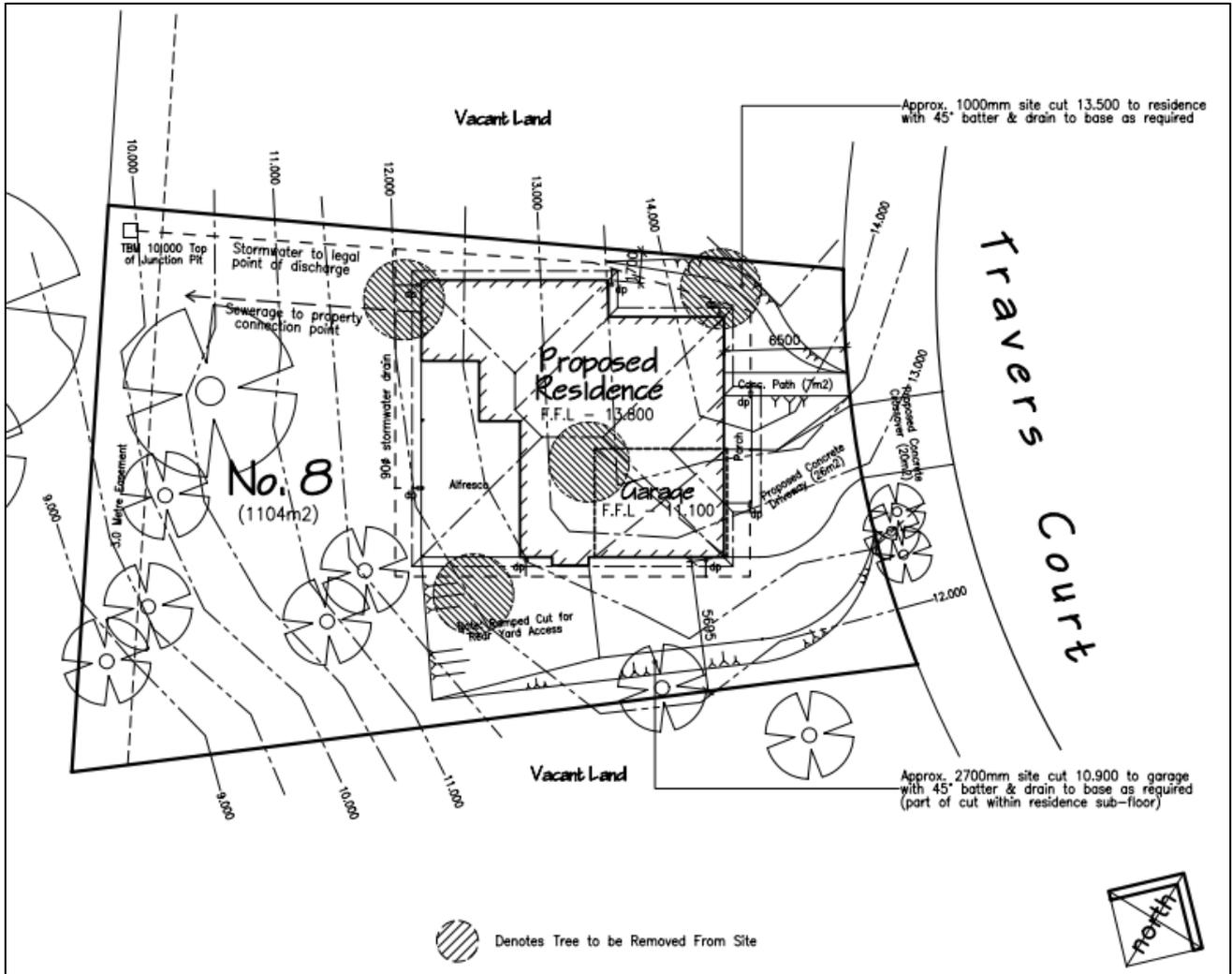


Existing dwellings along Travers Court taken from court bowl

PROPOSAL

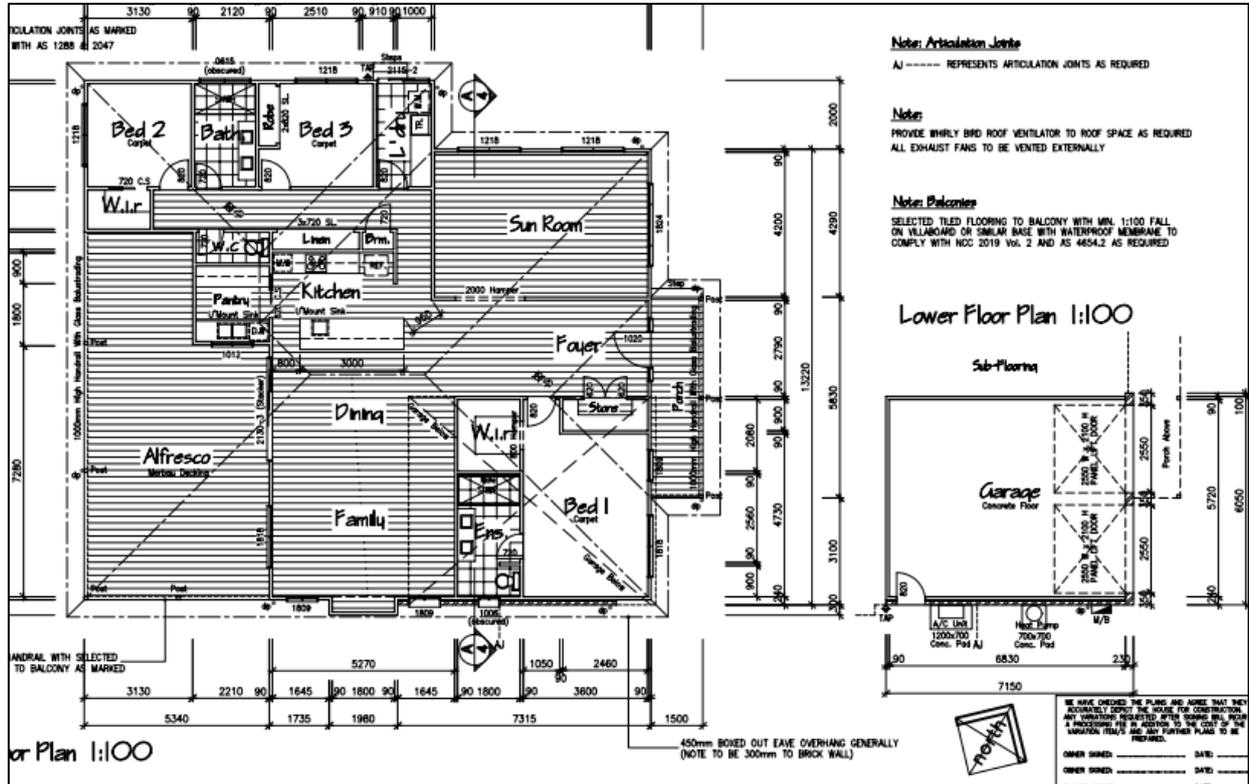
It is proposed to construct a single-story split level three-bedroom dwelling, undertake associated earthworks and remove one native tree. The dwelling will be built on a concrete slab at the front and stumps at the rear. Earthworks are required to a maximum depth of approximately 2m. The total footprint is approximately 287m² and overall height 7.2m.

External materials will be a mixture of Colorbond, brick and timber products and are consistent with the covenant.

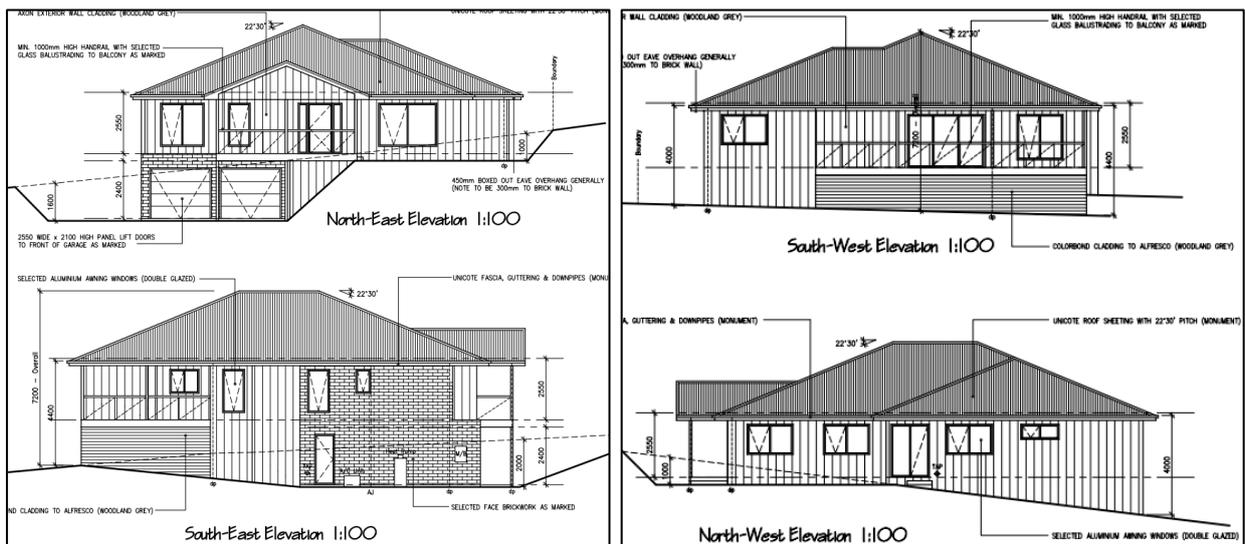


Proposed site plan

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Proposed floor plan



Proposed elevations

PLANNING ASSESSMENT

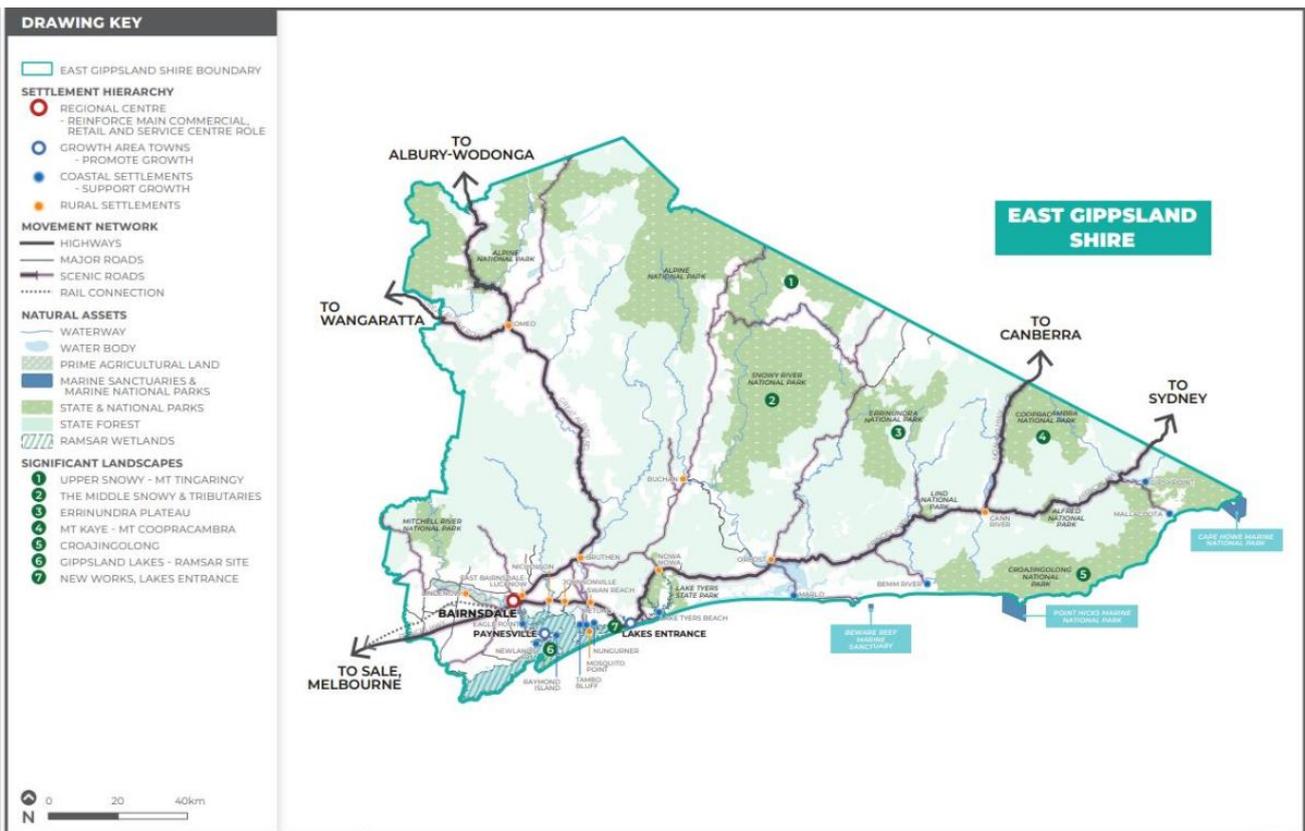
MUNICIPAL PLANNING STRATEGY

Clause 02.03 Strategic Directions

Metung is identified as a coastal settlement and a key destination for visitors to the Gippsland Lakes system and a significant boating hub with a strong residential community.

Clause 02.04 Strategic framework plan

Metung is identified for growth in the framework of a coastal settlement.



Clause 02.04 Strategic Framework Plan

PLANNING POLICY FRAMEWORK

Clause 11 Settlement

Clause 11.01-1R Settlement Gippsland

Support the continuing role of towns and small settlements in providing services to their districts, recognising their relationships and dependencies with larger towns.

Clause 11.01-01L East Gippsland Settlements

Encourage infill or incremental development of existing towns in preference to dispersed development.

Support residential infill development within existing residential zones

Clause 12.01 Biodiversity

Clause 12.01-1S Protection of biodiversity

To protect and enhance Victoria's biodiversity.

Ensure that decision making takes into account the impacts of land use and development on Victoria's biodiversity.

Support land use and development that contributes to protecting and enhancing habitat for indigenous plants and animals in urban areas.

Clause 13 Environmental Risk and Amenity

Clause 13.04-2S

To protect areas prone to erosion, landslip, or other land degradation processes.

Identify areas subject to erosion or instability in planning schemes and when considering the use and development of land.

Prevent inappropriate development in unstable areas or areas prone to erosion.

Clause 15 Built Environment and Heritage

Clause 15.01-2S Building Design

To achieve building design outcomes that contribute positively to the local context and enhance the public realm.

Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.

Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security

Clause 15.01-5S Neighbourhood Character

To recognise, support and protect neighbourhood character, cultural identity, and sense of place.

Support development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character.

Clause 16 Housing

To facilitate well-located, integrated and diverse housing that meets community needs.

Increase the proportion of housing in designated locations in established urban areas (including under-utilised urban land) and reduce the share of new dwellings in greenfield, fringe and dispersed development areas

Assessment

Policy direction at a strategic level is for residential development to be directed to existing urban areas where it can take advantage of existing reticulated infrastructure and benefit from the social and economic infrastructure that urban centres can provide. The proposal meets this policy direction being located in an area that can take advantage of existing infrastructure in close proximity to the urban centre of an established settlement which supports economic and social infrastructure. The proposal contributes to a diverse housing stock and provides a dwelling that is complimentary in meeting community needs.

In terms of environmental hazards, the original subdivision would have taken land stability into consideration and deemed the principle of residential development appropriate. Consistent with Clause 02.03-3 *Environmental risk and amenity* a geotechnical risk assessment report on this matter has been prepared for the proposed development. Further detail on this matter is provided at the overlays section of this report. The geotechnical risk assessment report is included to support the proposed earthworks and concludes the risk profile to be low/moderate

The design of the proposal reflects the existing mixed character and will make a positive contribution to the neighbourhood and the identity of East Gippsland. The proposal is appropriately located and will serve as an integrated development that will contribute to diverse neighbourhood character.

The vegetation across the site and within the nature strip contribute to biodiversity and the visual amenity of the area. This is also true for the vegetation in the adjoining council reserve adjoining the subject land to the south. The proposed dwelling has been sited to minimise the impact on vegetation and as such only four trees will be removed, with two not requiring a permit due to their immaturity.

ZONE

GENERAL RESIDENTIAL ZONE

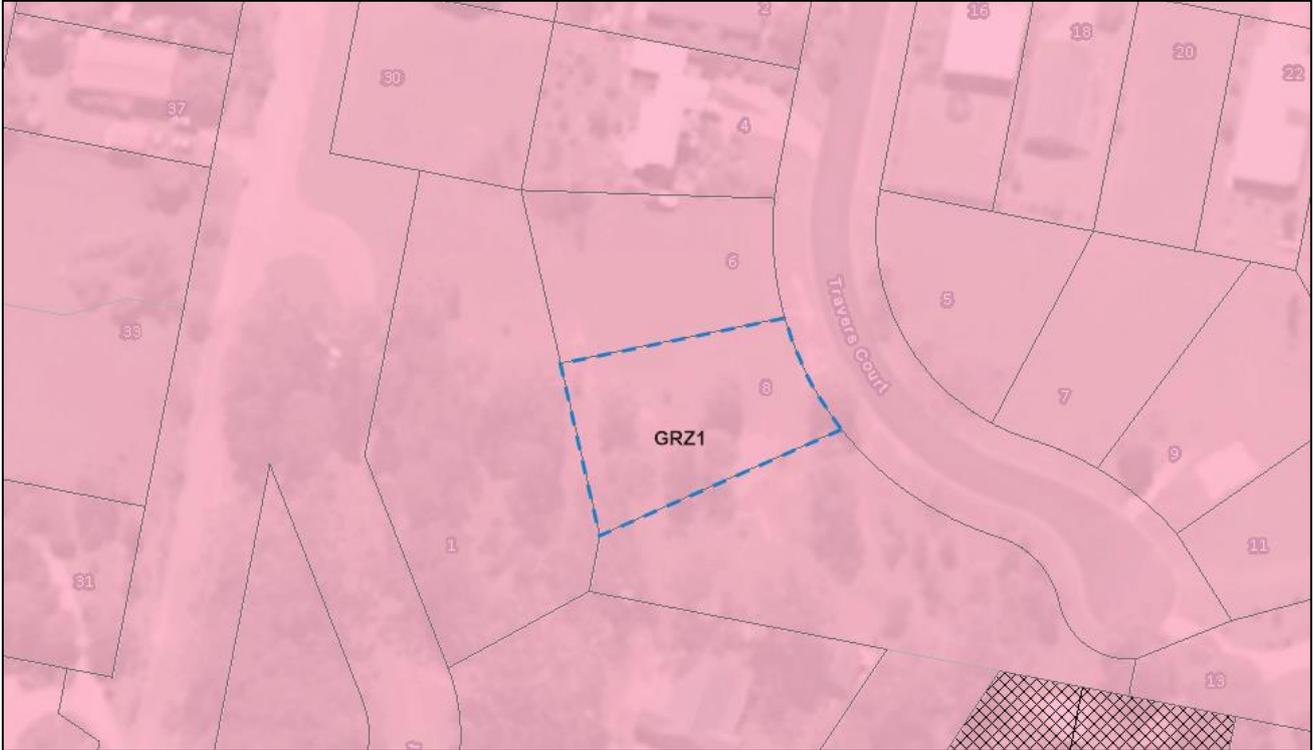
The General Residential Zone is mapped to the entirety of the subject land and surrounding area. The proposal does not trigger a planning permit given the subject land is greater than 300m² and the proposal is a section 1 no permit required use. However, Clause 32.08-4 Construction or extension of a dwelling or residential building – *Minimum Garden Area* requirement must be met.

The garden area requirement relevantly stipulates where the land is above 650m² 35% of the lot area must be provided as garden area.

The subject land is 1104m² and 35% of this is 386.4.

The area proposed to be covered with buildings is 285.12m² consequently, after subtracting parts of the site that don't qualify for garden area, at least 800m² will be provided as garden area, which exceeds 35%.

The proposal, therefore, complies with the garden area requirement.

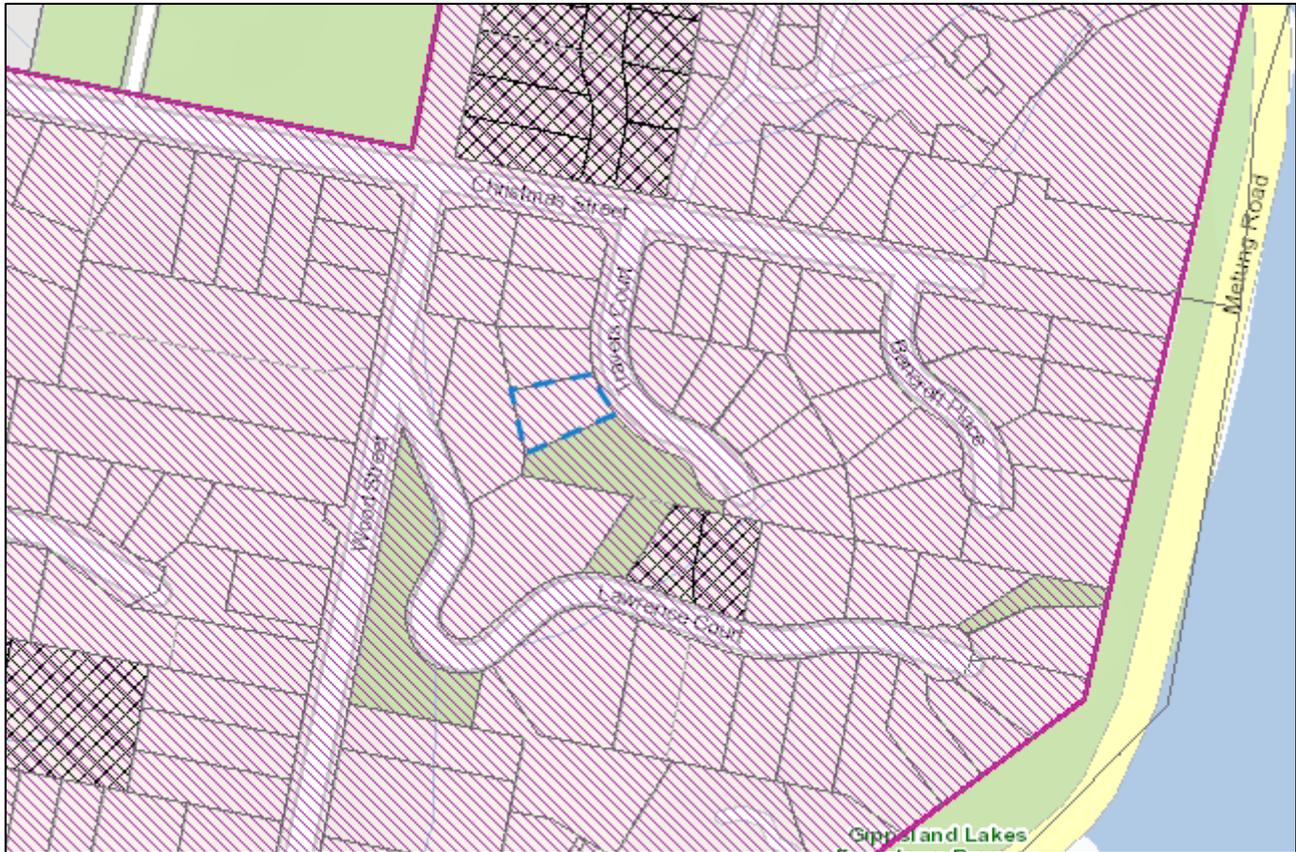


Zone map

OVERLAYS

DESIGN AND DEVELOPMENT OVERLAY – SCHEDULE 11

Residential Development in Coastal Settlements. The Design and Development Overlay is mapped to the entirety of the subject land and surrounding area.



Design and Development Overlay

A planning permit is required in the following instances:

- A building with a height of more 7.5 metres from natural ground level measured within the building footprint.
- The total area of works on a site (exclusive of building footprint) is greater than 300m².
- A development where the total building area proposed on a site is greater than 300 square metres, except within an approved building envelope.
- A development where the slope of land where the building or works are to be carried out is greater than 15 percent

The proposal triggers a planning permit as the slope of the land where the dwelling is to be located is greater than 15%. The steepest section of the subject land is located at the rear part of the dwelling footprint where the substructure utilises stumps.

Design and Development Overlay 11 specifically requires a neighbourhood and site description and design response to address the decision guidelines of the schedule.

Design objectives and decision guidelines relate to:

- Managing the township character
- Height and visual bulk and compatibility of the coastal neighbourhood setting
- Minimisation of development impact on natural landscape
- Visual and physical integration with the site and surrounding landscape
- Ensure development is visually unobtrusive through and above surrounding tree canopy from the public realm, lakes, and distant viewpoints.
- Protection of vegetated character
- Reflectivity and colour of building materials to reduce contrast with the landscape.
- Use of alternative building forms to reduce site excavation and fill.

The subject land is in a residential precinct that with significantly undulating topography and vegetated landscape.

The precinct has a mixed neighbourhood character. There is no dominant dwelling type or design but rather a broad mix of single and two storey dwellings incorporating integral and free-standing garages, and several have first floor deck areas. Roof forms are varied including skillion, flat, hipped and pitched. A variety of external building materials are present including tiles and Colorbond to roofs and brick, composite cladding, render, and timber to walls. There are several examples where a combination of external walling materials has been used on the same dwelling in a variety of configurations.

In terms of earth works, out of necessity existing dwelling designs have adapted to the topography using varying approaches including site cut, site fill, slab construction, use of stumps, earth benching and use of retaining walls. This results in a character that has evolved into a varied typology of built form and methods of character integration.

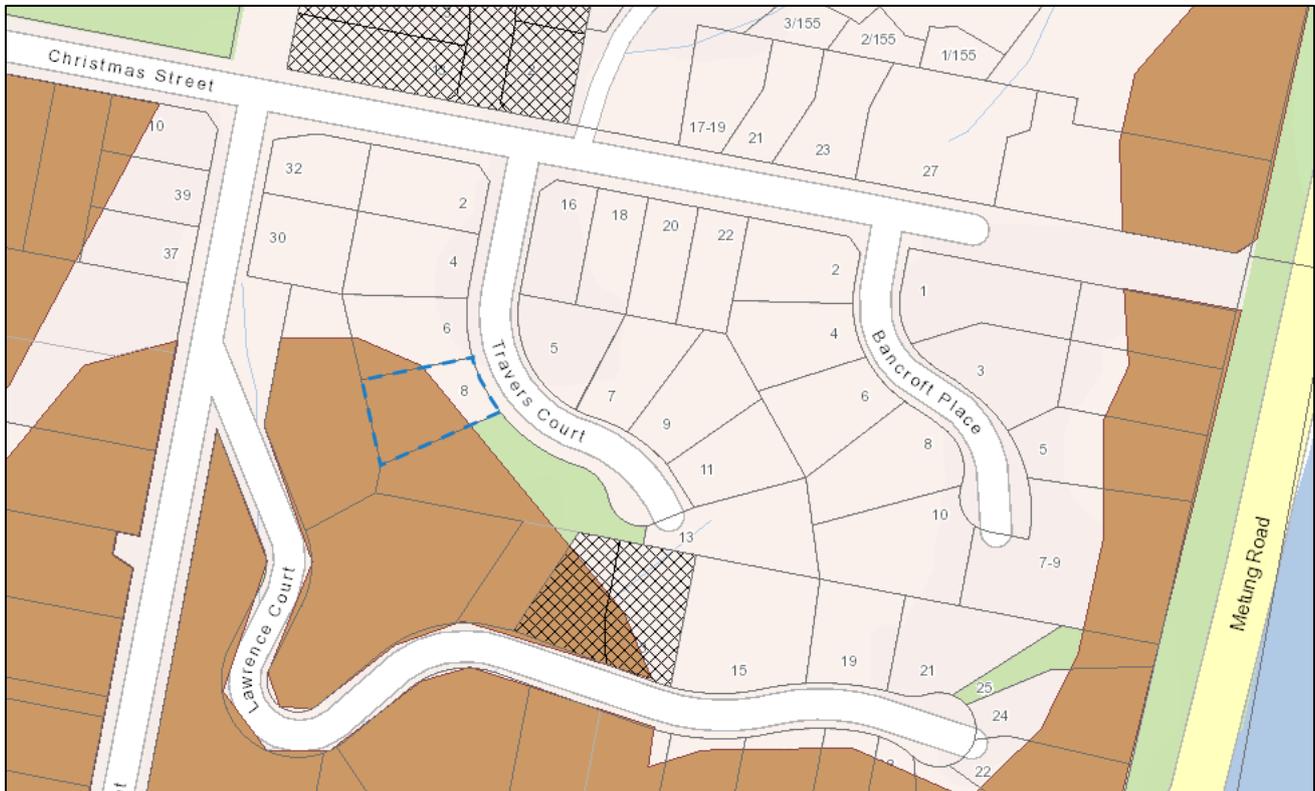
The proposal reflects this mixed character and is assessed to be consistent with the design objectives and decision guidelines for the following reasons:

- The overall height of the dwelling is similar or lower compared to adjacent dwellings and those along the broader Travers Court.
- The dwelling addresses the street with a single storey elevation and reasonable setback.
- The compact design will assist to reduce the bulk and massing of built form to assist with integration into the landscape.
- The rear deck is of a reasonable size and is 'flush' with the back of the dwelling and will not look 'out of character' given that examples of rear decks present in the locality.
- The traditional roof forms incorporating 'hipped' configuration softens the visual impact.

- The combination of external material of corrugated roof, face brick and timber composite cladding provides some visual interest and texture to the facades and is complimentary when considering the surrounding dwellings.
- Low reflectivity materials have been selected to minimise contrast in the landscape.
- Earthworks have been kept to a minimum to reduce visual impact and the utilisation of a combination of graded batters and retaining walls results in a tidy well resolved development.
- Living areas have been designed to be 'away' from facing neighbouring dwellings to increase general levels of amenity.
- Built form will be substantially lower than surrounding tree canopy.
- Vegetation impact has been kept to a minimum through dwelling design and positioning. This has enabled the majority of vegetation to be retained, including the street trees through positioning of the vehicle crossover.

EROSION MANAGEMENT OVERLAY

The Erosion Management Overlay is mapped to the entirety of the subject land and surrounding area. The proposal triggers a planning permit for 'works' in the form of earthworks given the excavation will exceed 1 metre in depth/height as detailed on the proposed drawings and in the accompanying geotechnical risk assessment report.



Erosion Management Overlay

The purpose of the Erosion Management Overlay is to protect areas prone to erosion, landslip and other land degradation or coastal processes by minimising land disturbance and inappropriate development. In meeting the application requirements at Clause 44.01-6 and those at 4.0 in the Schedule, the following is included in the permit application:

- A site plan that shows contour lines, site cut, batters and retaining wall.
- A Geotechnical Risk Assessment Report detailing the suitability of the proposal.
- Site features survey contained in the Geotechnical Risk Assessment Report.

A Geotechnical Risk Assessment is provided that has been prepared by a suitably qualified geotechnical practitioner. The report was compiled following a site visit, taking bore hole samples and preparation of a site features survey. The report has considered earthworks relating to preparation works for dwelling construction and tree removal, providing detailed information of the site and methods to manage erosion risk. The overall erosion risk is moderate/low.

It is envisaged that permit conditions would be used to ensure the development achieves an acceptable outcome consistent with the recommendations contained in the geotechnical risk assessment report. In

conclusion it is considered that the proposed earthworks to facilitate future dwelling construction and implementation measures will result in an acceptable outcome from an erosion risk perspective.

Based on findings from both the desktop and site investigations the site is suitable for development as proposed.

VEGETATION PROTECTION OVERLAY, 3

Nungurner – Metung vegetation protection area

Vegetation Protection Overlay, 3 is mapped to the entirety of the subject land and surrounding area. The statement of significance recognises the aesthetic and biological values native vegetation on private and public land provides. Protection objectives seek to minimise the impact of development on the vegetation and conserve the vegetation for its identified values.



Vegetation Protection Overlay

The subject land has mature and immature native vegetation in the form of canopy trees and understory. A mature native tree on the nature strip is located in front of the subject land and native trees on the adjoining reserve land to the south are located along the shared boundary. The intention of the proposal is to retain as much vegetation as possible. The tree survey report included in the application has assisted through identification of vegetation on the land including species, health, if under 10 years old and tree protection zones. To facilitate dwelling construction four trees will be required to be removed

(T4, T5, T12, T13). However, only T12 and T13 requires a planning permit for removal as T4 and T5 are less than 10 years old and are therefore exempt from requiring a permit under VPO Schedule 3.



Excerpt from Tree Survey report and Geo reference in relation to title boundary (pp required for T12 & T13)

#	Species	Condition/health	Tree Protection Zone (m)	Under 10 years old?	VPO trigger?
T4	Eucalyptus tereticornis Forest Redgum 	Fair	2	Yes	No VPO schedule provides an exemption for vegetation less than 10 years old
T5	Eucalyptus bosistoana Coast grey box 	Fair	2	Yes	No VPO schedule provides an exemption for vegetation less than 10 years old

T12	<p>Eucalyptus bosistoana</p> <p>Coast grey box</p> 	Fair	5.64	No	Yes
T13	<p>Eucalyptus bosistoana</p> <p>Coast grey box</p> 	Fair condition, significant die back, underlying issues.	8.28	No	Yes

In consideration of the purpose of the Vegetation Protection Overlay, Decision Guidelines, Statement of Significance and protection objectives the following is provide that demonstrates consistency with the VPO.

- The proposal has been designed to minimise the loss of vegetation, including a compact footprint and use of stumps at the rear.
- Retained trees will continue to provide for habitat and vegetated links with adjoining land.
- The tree removal has not been assessed to result in any issues in regard to erosion (Noting the geotechnical risk assessment report considered vegetation removal/erosion).
- It is not anticipated that the tree removal will cause any degradation to water quality given the limited disturbance and distance from water systems.
- The nature strip tree is retained recognising the important contribution street trees have in the public realm.

PARTICULAR PROVISIONS

CLAUSE 52.06 CARPARKING

Clause 52.06-1 at Table 1 specifies 2 parking spaces must be provided for a three or more bedroom dwelling. The proposal includes a double garage providing two undercover parking spaces.

CLAUSE 65 DECISION GUIDELINES & SECTION 60 OF THE PLANNING AND ENVIRONMENT ACT 1987

The proposal has been designed to meet the matters the responsible authority must consider in decision making as relevant to the proposal. The proposal will not result in a detrimental impact on the environment or any persons. Consistency is demonstrated with all relevant planning controls and decision guidelines. It will not have any negative effect on the amenity of the area, or operation of the municipal road network, and is consistent with the settlement hierarchy structure plan.

CONCLUSION

The proposal is considered to be consistent with relevant policy direction, zone and controls of the East Gippsland Planning Scheme.

It is concluded the proposal results in development that:

- Demonstrates compatibility with adjoining and surrounding use and development in terms of neighbourhood character.
- Will not generate any adverse on or offsite impacts.
- Provides for infill development where existing reticulated services are available.
- Makes a positive contribution to a coastal settlement in meeting the housing needs of the community.
- Results in orderly development.

Please make contact should you wish to discuss any matters relating to this planning submission.



679 Swan Reach Road, Tambo Upper 3885

ABN: 301 597 457 67

Tree Management Plan

Client – Ben Marchbank

Location – 8 Travers Court, Metung.

Prepared by

Nathan Williamson

Certificate 5 Arborist

ISA TRAQ Qualified

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Executive Summary

This Arboricultural Impact Assessment has been prepared to assess the impacts of the proposed development at 8 Travers Court, Metung on retained trees located both within the subject site and adjoining Council-managed land. The assessment has been undertaken in accordance with Australian Standard AS 4970–2025.

A total of seven (7) trees are proposed for retention. Three (3) of these trees (Trees 1, 2 and 3) are located within Council land along the frontage and interact directly with the proposed driveway works. The remaining four (4) trees (Trees 6, 7, 8 and 9) are located toward the rear of the property and are well separated from the construction footprint.

All remaining trees located on the site are proposed to be removed and stumps ground.

Tree 1, a mature Coast Grey Box, represents the primary arboricultural constraint due to its size, high retention value, and extensive Tree Protection Zone (TPZ). TPZ encroachment must not exceed 20% in accordance with AS 4970–2025, and design modification may be required to ensure compliance.

This report provides tree-specific impact assessments, protection measures, and recommendations to ensure retained trees are adequately protected throughout all stages of development.

Introduction

Brief

- This report has been commissioned by Ben Marchbank. Ben has requested Roots 2 Leaves Tree Services conduct a tree Impact Report for all trees on the site that may be impacted by the proposed design.
- This report has been prepared by Roots 2 Leaves Tree Services Pty Ltd and authorized by its employee, Nathan Williamson, Consulting Arborist.
- A Site inspection was carried out in 2025.
- Trees are a lovely part of our environment and without them we would lose out on many great advantages including shade, aesthetics, and most importantly our existence. However, it is necessary that trees in key areas, such as high traffic areas, are assessed for health, structure, and any associated risks.

Scope of works

The scope of this report includes:

- Identification of retained trees within and adjacent to the development footprint
- Assessment of potential impacts associated with the approved development layout
- Calculation and interpretation of Tree Protection Zones (TPZs)
- Recommendations for tree protection measures prior to and during construction
- Identification of arborist supervision and certification requirements

Methodology

The site inspection was carried out un accompanied during fair conditions. The trees were inspected from the ground and observations were made of the growing environment and surrounding area. The following inspection tools were used.

- Wood density and extent of decay was determined using a mallet where appropriate.
- This assessment has been conducted using the (VTA) method for assessment Level 2.
- The content of this report has been prepared based on the arborist's experience within the tree industry.
- Data Collected was stored using tree plotter and Arrow by Global 4D for GPS positioning.
- All information that has been given to the arborist has been included in this report.

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View Filter: Off
You're viewing the **8 travers court** trees.
Showing 15 of 15 sites.

[SHOW ALL TREES](#) [SHOW ZONES](#)
[BACK TO CLIENT SITES](#)

- Toggle All ?
- Eucalyptus bosistoana (10)
 - Eucalyptus tereticornis (3)
 - Exocarpus cupressiformis (2)

Charts
Reference Layers
 Lake Narracan [SNAP TO](#) [DELETE](#)

4. Site and Development Overview

The subject site is located at 8 Travers Court, Metung, and is proposed for residential development incorporating a new driveway crossing the Council-managed verge.

The final development plan identifies retained trees both within the site and on adjoining Council land. Key areas of interaction include:

- Driveway construction through the front verge
- General construction activity within the site
- Long-term protection of trees located at the rear of the property

5. Tree Inventory Summary (Retained & Removal Trees)

Tree data has been derived from the site tree assessment and is summarised below for trees proposed to be retained or removed under the final development plan.

Tree Id	Common Name	Botanical Name	Health	Structure	Tree Age	Canopy Spread [m]	Canopy Spread Range	Tree Height (Estimated) [m]	DSH [cm]	Notional Root Zone (NRZ) [m]	Structural Root Zone (SRZ) [m]	Useful Life Expectancy	Observation Comments	Retention Value
1	Coast grey box	Eucalyptus bosistoana	Fair	Fair	Mature	9	5-10m	8	65	7.8	2.85	40+ years	Nature strip tree, well established and viable tree	High
2	Cherry Ballart	Exocarpus cupressiformis	Poor	Very Poor	Semi Mature	2	<5m	2	14	2	1.49	6-10 years	Nature strip tree, competition causing poor growth	Low
3	Cherry Ballart	Exocarpus cupressiformis	Poor	Very Poor	Semi Mature	2	<5m	2	14	2	1.49	6-10 years	Nature strip tree, competition causing poor growth	Low
4	Forest Red Gum	Eucalyptus tereticornis	Fair	Fair	Semi Mature	2	<5m	5	11	2	1.49	40+ years	self down sapling, under 10 years of age	Medium
5	Coast grey box	Eucalyptus bosistoana	Fair	Fair	Semi Mature	3	<5m	5	16.4	2	1.49	40+ years	selfsown sapling, under 10 years of age	Medium
6	Coast grey box	Eucalyptus bosistoana	Fair	Fair	Mature	8	5-10m	11	44	5.28	2.47	40+ years	good condition tree with no observable issues	High
7	Coast grey box	Eucalyptus bosistoana	Poor	Poor	Semi Mature	3	<5m	6	17	2.04	1.68	40+ years	decling crown, poor melt structures tree with borers	Low
8	Coast grey box	Eucalyptus bosistoana	Fair	Fair	Mature	7	5-10m	14	37	4.44	2.25	40+ years	codominate crown, overall good condition tree	High
9	Forest Red Gum	Eucalyptus tereticornis	Fair	Fair	Mature	5	5-10m	8	29.85	3.58	2.13	21-40 years	multi stemmed tree	Medium
10	Coast grey box	Eucalyptus bosistoana	Fair	Fair	Mature	5	5-10m	7	24	2.88	2	21-40 years	Fair condition tree with high amounts of competition	High
11	Coast grey box	Eucalyptus bosistoana	Fair	Fair	Mature	7	5-10m	10	43	5.16	2.37	21-40 years	Fair condition tree - Codominate crown	High
12	Coast grey box	Eucalyptus bosistoana	Fair	Fair	Mature	7	5-10m	10	47	5.64	2.37	21-40 years	Fair condition tree - Codominate crown, minor pruning	High
13	Coast grey box	Eucalyptus bosistoana	Fair	Fair	Mature	7	5-10m	9	69	8.28	2.93	21-40 years	Fair condition tree - Codominate crown, signicant die back on one side, under tying issues, further investigation advised	High
14	Coast grey box	Eucalyptus bosistoana	Fair	Fair	Semi Mature	2	<5m	4	12	2	1.36	21-40 years	young tree with no observable issues	Medium
15	Forest Red Gum	Eucalyptus tereticornis	Fair	Poor	Mature	6	5-10m	9	45.12	5.41	2.47	1-5 years	multi stemmed tree	Medium

6. Detailed Tree Impact Assessment

6.1 Tree 1 – Council Verge (High Priority Tree)

Tree 1 is a mature Coast Grey Box (*Eucalyptus bosistoana*) located within Council-managed land and represents the most significant arboricultural constraint to the proposed development.

Tree attributes:

- Height: approximately 8 m
- Canopy spread: approximately 9 m
- Diameter at Stem Height (DSH): 65 cm
- Calculated Notional Root Zone (NRZ): 7.8 m
- Structural Root Zone (SRZ): 2.85 m
- Health and structure: Fair
- Retention value: High
- Useful life expectancy: 40+ years

The tree is well established within the nature strip and is considered a viable long-term retention tree.

Development interface and TPZ considerations:

- The proposed driveway traverses the Council verge and partially overlaps the calculated TPZ of Tree 1
- In accordance with AS 4970–2025, TPZ encroachment must not exceed **20% of the total TPZ area**
- Encroachment must be confined to the minimum area required to facilitate driveway construction

A **TPZ impact diagram** will be prepared and included with this report to demonstrate:

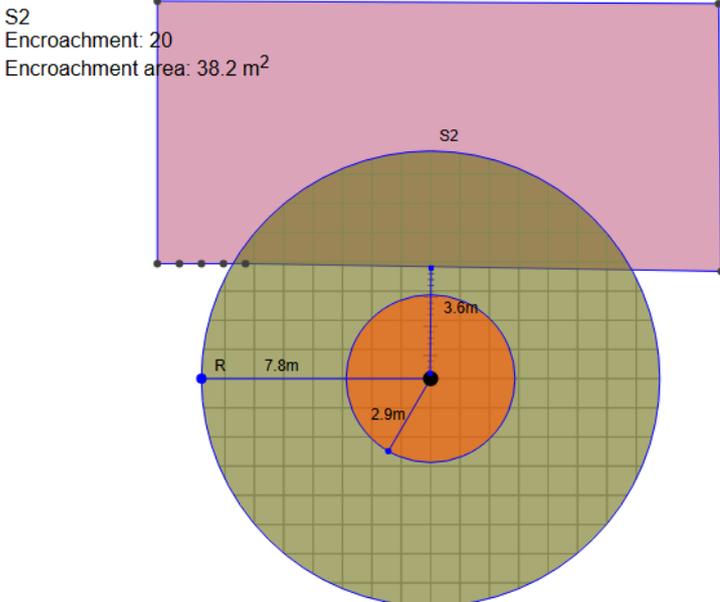
- The full TPZ extent
- The maximum allowable 20% encroachment area
- Clearly defined no-go zones beyond this threshold

Should the current driveway alignment exceed the allowable TPZ impact, modification to the driveway design will be required to achieve compliance. No excavation, fill, or disturbance is permitted within the remaining TPZ outside the approved encroachment area.

6.2 Max encroachment tolerance image

Tree 1

TPZ radius = 7.8m
 TPZ area = 191.1m²
 SRZ radius = 2.9m (R)



Title:	Tree 1
DAB (cm):	71.5
DBH (cm):	65
DAB (cm):	
Multiple stems (cm):	1 65
S1 label:	S1
S2 label:	S2
Details ▾	
DBH (cm):	65
TPZ radius (m):	7.8
TPZ area (m ²):	191.13
DAB (cm):	71.5
SRZ radius (m):	2.87
SRZ area (m ²):	25.96
Encroachment % (S2):	19.99
Encroachment area (S2):	38.21
Overlap area (TPZ, S1, S2):	0
Properties ▾	
<input checked="" type="checkbox"/>	Contours
<input checked="" type="checkbox"/>	DBH
<input checked="" type="checkbox"/>	TPZ radius
<input checked="" type="checkbox"/>	TPZ area (m ²)
<input checked="" type="checkbox"/>	Canopy radius
<input type="checkbox"/>	Canopy region
<input checked="" type="checkbox"/>	DAB
<input checked="" type="checkbox"/>	SRZ radius
<input checked="" type="checkbox"/>	SRZ area (m ²)

6.3 Trees 2 and 3 – Council Verge

Trees 2 and 3 are also located within the Council verge and are influenced by the proposed driveway works.

Provided TPZ fencing is installed and maintained, and construction activities remain outside calculated TPZs (or within permissible limits), these trees can be retained with low risk of long-term impact.

6.4 Trees 6, 7, 8 and 9 – Rear of Property

Trees 6, 7, 8 and 9 are located toward the rear of the site and are **well clear of the construction footprint**.

Although no direct impacts are anticipated, protection measures are required to prevent incidental damage during construction.

7. Tree Protection Measures

7.1 Tree Protection Fencing

Prior to the commencement of any construction works:

- Tree Protection Fencing (TPF) must be installed at the TPZ boundary for all retained trees
- Fencing may be:
 - Installed around individual trees, or
 - Installed as a continuous barrier across the rear of the property (for Trees 6–9), provided TPZs are fully enclosed

Fencing must:

- Be rigid and clearly visible
- Remain in place for the duration of construction
- Be designated as a **no-go zone**

7.2 Prohibited Activities Within TPZs

The following activities are prohibited within fenced TPZs:

- Vehicle or machinery access
- Storage of materials or spoil
- Chemical, fuel, paint or concrete washout
- Trenching or excavation
- Soil compaction or grade changes

8. Arborist Involvement

- All Tree Protection Fencing locations must be **approved by a qualified arborist prior to construction commencement**
- An arborist must certify:
 - Correct installation of fencing
 - Compliance with TPZ requirements for Trees 1, 2 and 3
- Arborist supervision may be required during driveway construction where works approach TPZ boundaries
- If entry to a No-Go zone is required then an arborist must be on site to approve and document entry to this area.

Conclusions

The proposed development at 8 Travers Court, Metung can proceed while retaining all nominated trees, provided the recommendations of this report are implemented.

Tree 1 represents the primary constraint and will require careful design coordination to ensure TPZ impacts remain within the allowable 20% threshold under AS 4970–2025.

Trees located at the rear of the site can be successfully retained with minimal risk through the installation of appropriate protection fencing and adherence to standard tree protection controls.

Recommendations

1. Adjust driveway alignment if required to comply with TPZ limits
2. Install Tree Protection Fencing prior to site works
3. Obtain arborist approval and certification before construction commencement
4. Maintain fencing and no-go zones for the duration of construction
5. Remove remaining trees
6. Ensure tree protection is maintained on protected trees throughout development

References

Australian Standards 4970 – 2009 Protection of trees on development sites

Australian Standards 4373 – 2007 Pruning of amenity trees

Costermans, L. 2008. Native Trees and Shrubs of South-Eastern Australia

Council Arboriculture Victoria, Arboricultural Reporting Guidelines

<https://www.rhs.org.uk/>

http://mdvaden.com/advice-hazard_trees.shtml

<http://hort.ufl.edu/woody/rcs-over-extended-limb1.shtml>

Mattheck, C. & Breloer, H. 1994. The Body Language of Trees

Hayes, E. 2002. Tree Risk Assessments & Tree Mechanics.

www.safetrees.com/risk_ArbNews_2002_12.pdf (Ref 20/4/16)

Barrell, J. 2001 and 2010. Tree AZ www.treeaz.com/downloads/TreeAZ-Detailed-guidance-on-its-use.pdf (Ref 6/4/17)

Assumptions and Limiting Conditions

- No responsibility is assumed by Roots 2 Leaves Tree Services Pty Ltd for matters legal in nature related to this manual. Any legal or technical description given is assumed to be correct.
- All care has been taken to obtain reasonable and relevant information from qualified and reliable sources in the preparation of this document.
- Visual material within this manuals such as sketches, diagrams, photographs, etc. are not necessarily to scale and should not be construed as engineered data for construction.
- This document has been prepared utilising accepted contemporary standards of tree care and maintenance, evaluation and assessment procedures, diagnostic and reporting techniques and sound arboriculture practices as recommended by the sources listed in the 'References' section.



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 ben@marchbanktownplanning.com.au
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 Victoria, Australia

ABN 81 414 181 657

Penny Cross
 Statutory Planning
 East Gippsland Shire Council
 By email planning@egipps.vic.gov.au

22 February 2026

Proposal: Development of a dwelling , associated earthworks and vegetation removal
Address: 8 Travers Court Metung 3904
Planning permit application: 5.2025.119.1

RE FURTHER INFORMATION

Dear Penny,

I refer to your letter dated 18 November 2025 seeking further information for application fee payment, revised elevations to show face brick and garage door colours, and plans and arborist report to support tree removal and retention.

#	Further information requested	Response/comment
1	Payment of applications fees	The fee has been paid directly to council by the landowner.
2	Revised elevations showing colour of face brick and garage door colour and finish.	Elevations provided to show the brick colour and garage door finish and colour.
3	A vegetation removal and retention plan to aid an understanding of the arboricultural impact of the proposed development.	A vegetation management plan is provided to show proposed tree removal, retention, associated earthworks and defined construction area.
4	A further arborist report to demonstrate the impact of the development, associated earthworks and driveway construction will not impact the long term sustainable health of trees 1,2,3,6,7,8,9.	An arborist report is provided that provides tree specific impact assessments, protection measures and recommendations to ensure trees are adequately protected throughout all stages of development. Most important the development will not impact on the long term sustainable health of the trees for retention including the council trees in the nature strip.





		A site plan has been prepared by GJ Gardner showing accurately plotted trees and tree protection zones in relation to the proposed dwelling and earthworks.
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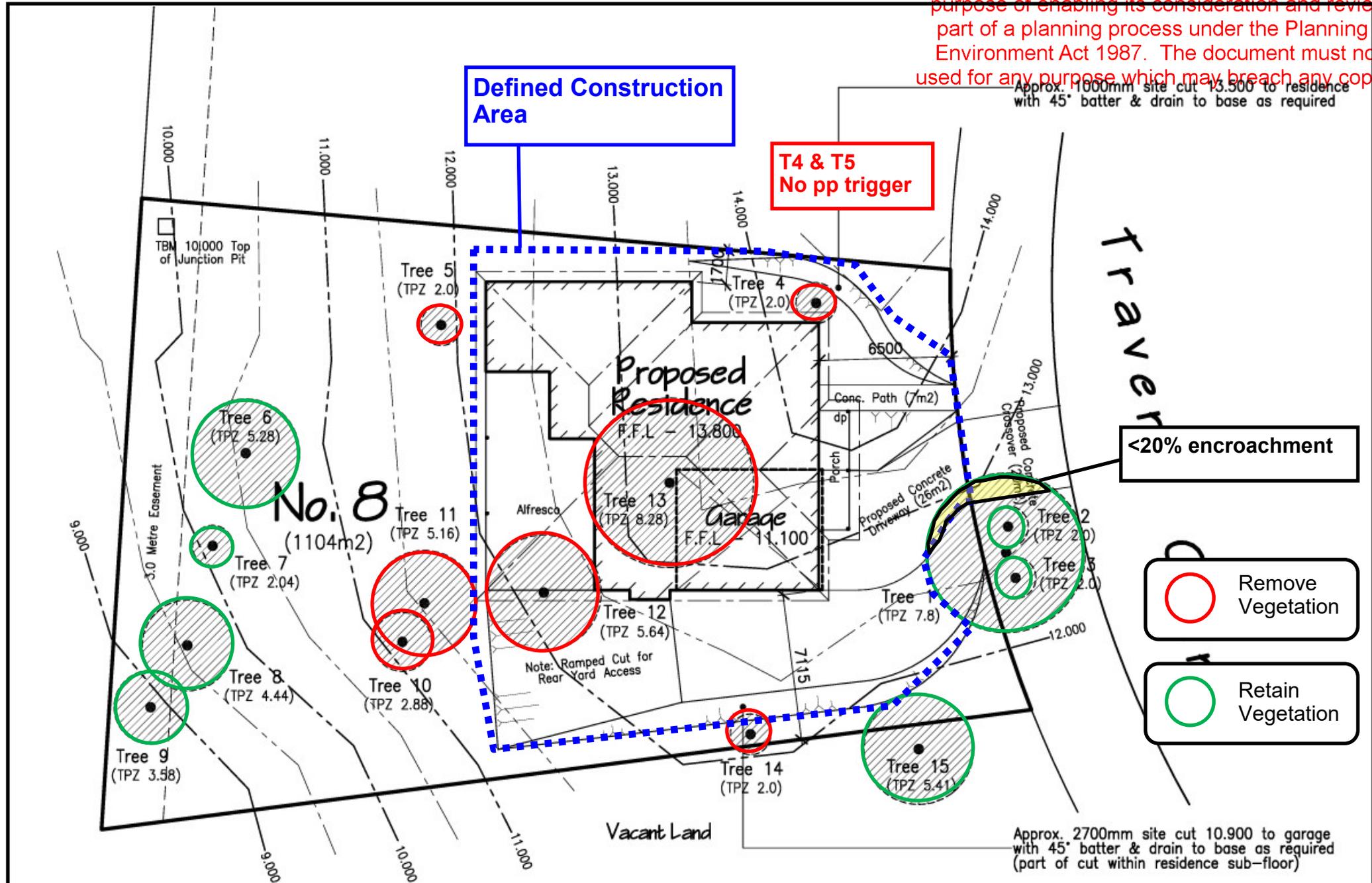
Following discussions with the owner, trees 10, 11, and 14 are now included for removal. The primary reason for the removal of these additional trees is to enable the future construction of an outbuilding associated with the proposed dwelling for boat storage and workshop. Trees 10 and 11 will be in direct conflict with the future shed footprint and tree 14 will pose a hazardous scenario when maneuvering the owners' boats along the south side of the dwelling into position. These trees are identified on the tree removal / retention plan. It is considered prudent to include the said trees at this stage into one application for clarity and simplicity. The owner intends to carry out landscaping/tree planting throughout the block once established in the dwelling.

I trust this information satisfies the matters raised but please do not hesitate to get in touch should anything else be required.

Yours sincerely,



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VEGETATION REMOVAL/RETENTION PLAN - 8 Travers Court Metung February 2026

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BAL-12.5 - Bushfire Attack Level Requirements
 Must comply with AS 3959-2018 - Sections 3 & 5

Sub-Floor Supports:

No special construction requirements.

Floors:

No special construction requirements.

External Walls:

External Walls - Parts less than 400mm above ground or decks etc to be of non-combustible material, 6mm fibre cement clad or bushfire resistant/naturally fire resistant timber.

External Windows:

Protected by bushfire shutters or completely screened with steel, bronze or aluminium mesh, or 4mm Grade A safety glass or glass blocks within 400mm of ground, deck etc. Openable portion metal screened with frame of metal or metal reinforced PVC-U or bushfire resisting timber. Fitted tight and provided with a seal at the head and stiles and draught excluders at the sill.

External Doors:

Protected by bushfire shutters or screened with steel, bronze or aluminium mesh or glazed with 5mm toughened glass, non-combustible or 35mm solid timber for 400mm above threshold, metal or bushfire resisting timber framed for 400mm above ground, decking etc, tight-fitting with weather strips at base. Door framing can be naturally fire resistant (high density) timber.

Water & Gas Pipes

Water and gas pipes are required to be metal above ground and the metal pipe must extend 400mm into the wall and 100mm underground.

Joints

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3mm. Alternatively, sarking-type material can be applied over the frame prior to fixing any external cladding.

Vents & Weepholes

All vents, weepholes & gaps in the external walls shall be screened except for weepholes in the sills of windows and doors.

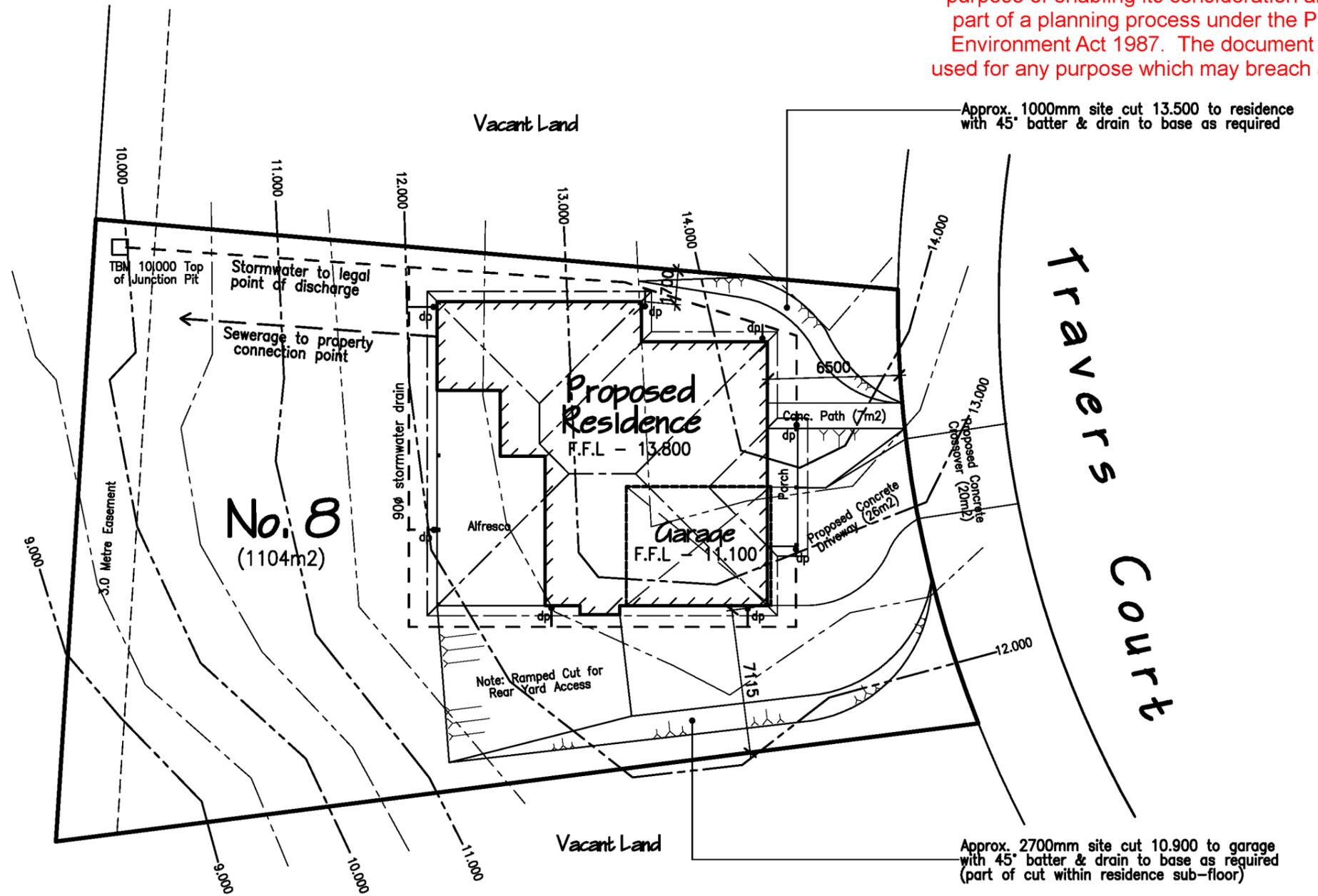
Roofing:

Non-combustible covering. Roof/wall junction to be sealed. Roofs to be fully sarked. Roof penetrations, including roof lights, roof ventilators, roof mounted evaporative cooling units, aerials, vent pipes & supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3mm. The material used to seal the penetration shall be non-combustible.

Verandahs/ Decks:

Enclosed sub-floor space - no special requirements for materials except within 400mm of ground. No special requirements for supports or framing. Decking to be non-combustible or bushfire resistant within 300mm horizontally and 400mm vertically from glazed element.

Verandah posts must be either timber fixed on a galvanised shoe or stirrup 75mm above the adjacent finished surface or where less than 400mm from the surface of the deck be non-combustible or bushfire resistant timber.



Proposed Site Layout Plan 1:250

Note: Stormwater to be connected to legal point of discharge to local authority approval. Approved sewerage treatment system to be installed to local authority requirements & approval.

Site Area Calculations:			
Total Site:	1104m ²	Paving:	26m ² (2%)
Proposed Buildings:	244m ² (22%)	Garden Area:	834m ² (76%)

WE HAVE CHECKED THE PLANS AND AGREE THAT THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

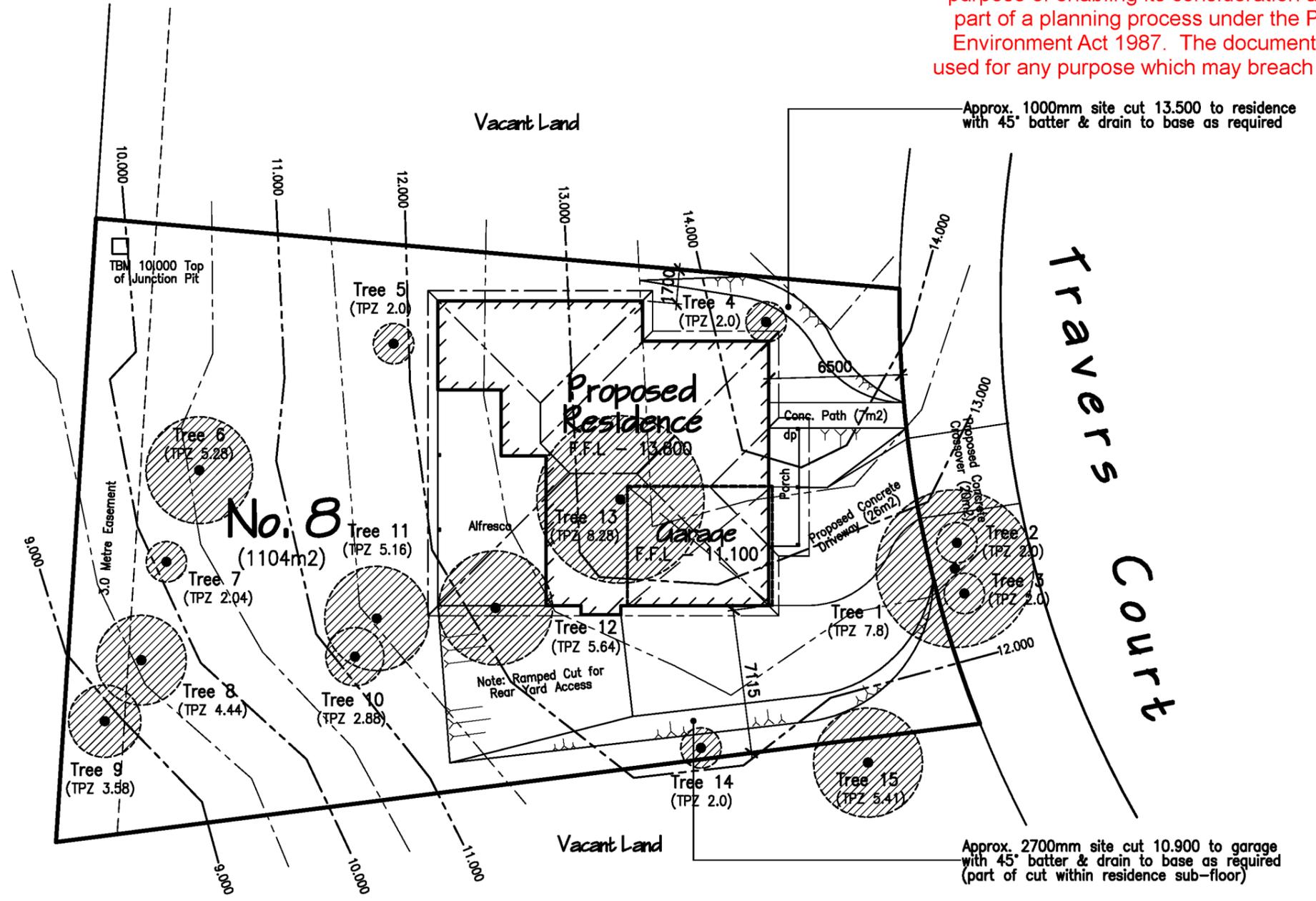
BUILDER SIGNED: DATE:

G.J Gardner. HOMES 89 Main Street, Bairnsdale VIC 3875 Office: (03) 5153 1330 CDB-U 53249 www.gjgardner.com.au	Altered Fernbank 242 © Copyright Exclusive To G.J Gardner Homes	Craig Wight Design & Drafting Registered Building Practitioner DP AD 36750	CLIENT:	PROJECT: PROPOSED NEW RESIDENCE	PAGES: 8 OF 8	SHEET SIZE: A3	FLOOR AREAS:		REV.	DETAILS:	DATE:
			DRAWING TITLE:	No. 8 Travers Court, Metung	JOB NO: 240201	INTERNAL: 185.33m ²	A	PRELIMINARY DRAWINGS	1/2/24		
			SITE PLAN - SCALE 1:250	DRAWN: CRAIG WIGHT DATE: 3/9/25	ALFRESCO: 49.75m ² PORCH: 8.74m ² GARAGE: 43.26m ² TOTAL: 287.08m ²	B	WORKING DRAWINGS	3/9/25			

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BAL-12.5 - Bushfire Attack Level Requirements
 Must comply with AS 3959-2018 - Sections 3 & 5

- Sub-Floor Supports:**
 No special construction requirements.
- Floors:**
 No special construction requirements.
- External Walls:**
 External Walls - Parts less than 400mm above ground or decks etc to be of non-combustible material, 6mm fibre cement clad or bushfire resistant/naturally fire resistant timber.
- External Windows:**
 Protected by bushfire shutters or completely screened with steel, bronze or aluminium mesh, or 4mm Grade A safety glass or glass blocks within 400mm of ground, deck etc. Openable portion metal screened with frame of metal or metal reinforced PVC-U or bushfire resisting timber. Fitted tight and provided with a seal at the head and stiles and draught excluders at the sill.
- External Doors:**
 Protected by bushfire shutters or screened with steel, bronze or aluminium mesh or glazed with 5mm toughened glass, non-combustible or 35mm solid timber for 400mm above threshold, metal or bushfire resisting timber framed for 400mm above ground, decking etc, tight-fitting with weather strips at base. Door framing can be naturally fire resistant (high density) timber.
- Water & Gas Pipes**
 Water and gas pipes are required to be metal above ground and the metal pipe must extend 400mm into the wall and 100mm underground.
- Joints**
 All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3mm. Alternatively, sarking-type material can be applied over the frame prior to fixing any external cladding.
- Vents & Weepholes**
 All vents, weepholes & gaps in the external walls shall be screened except for weepholes in the sills of windows and doors.
- Roofing:**
 Non-combustible covering. Roof/wall junction to be sealed. Roofs to be fully sarked. Roof penetrations, including roof lights, roof ventilators, roof mounted evaporative cooling units, aerials, vent pipes & supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3mm. The material used to seal the penetration shall be non-combustible.
- Verandahs/ Decks:**
 Enclosed sub-floor space - no special requirements for materials except within 400mm of ground. No special requirements for supports or framing. Decking to be non-combustible or bushfire resistant within 300mm horizontally and 400mm vertically from glazed element.
 Verandah posts must be either timber fixed on a galvanised shoe or stirrup 75mm above the adjacent finished surface or where less than 400mm from the surface of the deck be non-combustible or bushfire resistant timber.



Proposed Site Layout Plan - Trees Shown 1:250

Note:
 Stormwater to be connected to legal point of discharge to local authority approval
 Approved sewerage treatment system to be installed to local authority requirements & approval

Site Area Calculations:

Total Site:	1104m ²	Paving:	26m ² (2%)
Proposed Buildings:	244m ² (22%)	Garden Area:	834m ² (76%)

WE HAVE CHECKED THE PLANS AND AGREE THAT THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

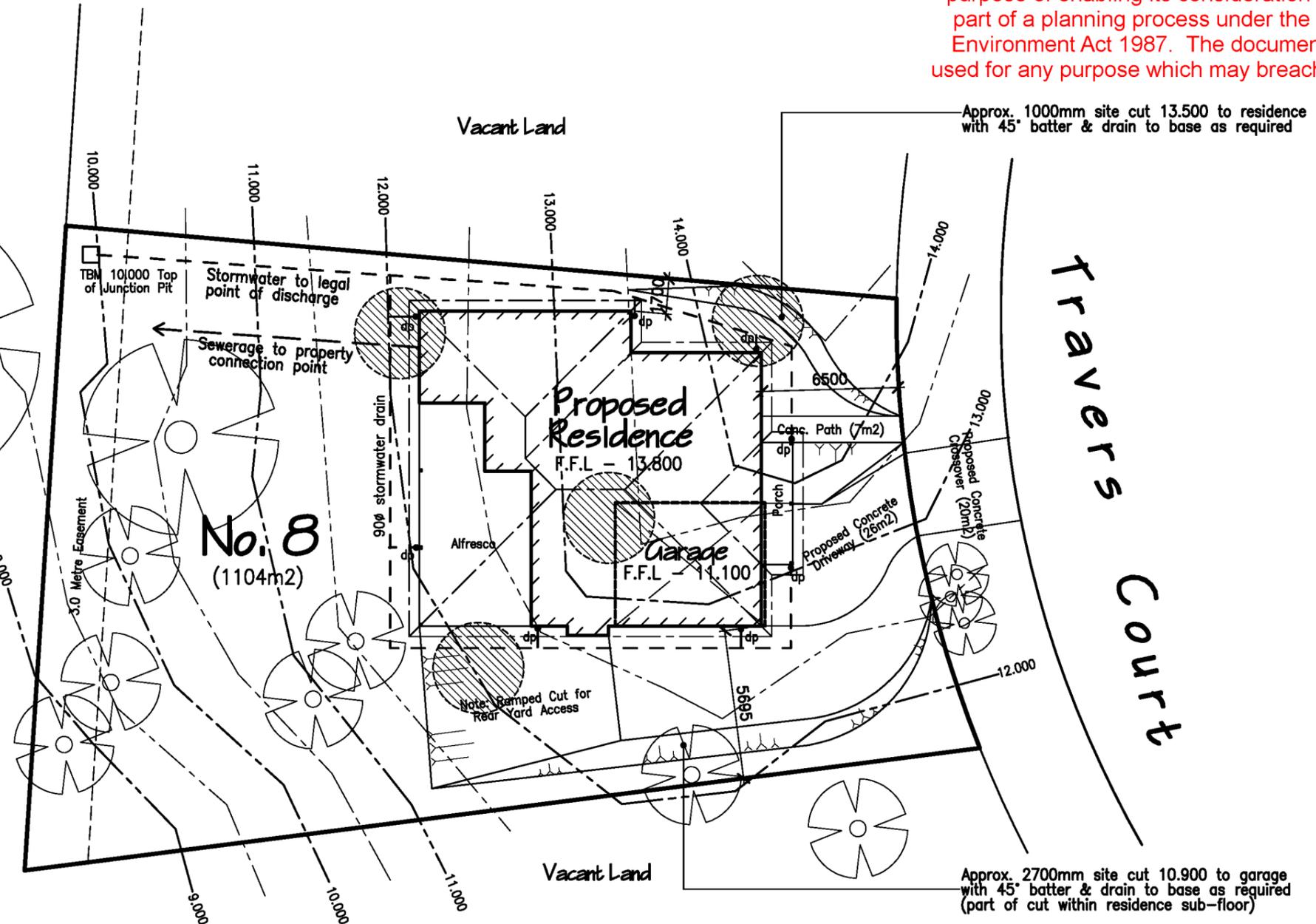
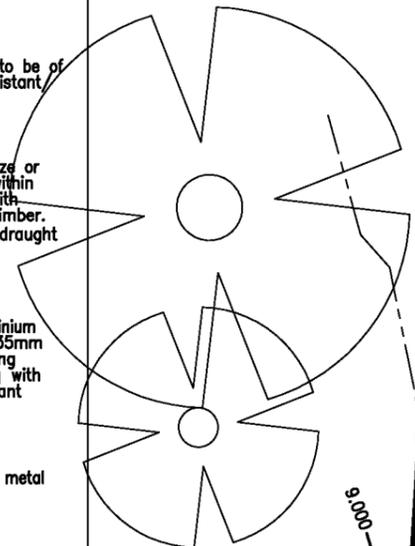
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			DRAWING TITLE: SITE PLAN - SCALE 1:250	No. 8 Travers Court, Metung	JOB NO: 240201	INTERNAL: 185.33m ² ALFRESCO: 49.75m ² PORCH: 8.74m ² GARAGE: 43.26m ² TOTAL: 287.08m ²	A B	PRELIMINARY DRAWINGS WORKING DRAWINGS	1/2/24 3/9/25		

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BAL-12.5 - Bushfire Attack Level Requirements
 Must comply with AS 3959-2018 - Sections 3 & 5

- Sub-Floor Supports:**
 No special construction requirements.
- Floors:**
 No special construction requirements.
- External Walls:**
 External Walls - Parts less than 400mm above ground or decks etc to be of non-combustible material, 6mm fibre cement clad or bushfire resistant, naturally fire resistant timber.
- External Windows:**
 Protected by bushfire shutters or completely screened with steel, bronze or aluminium mesh, or 4mm Grade A safety glass or glass blocks within 400mm of ground, deck etc. Openable portion metal screened with frame of metal or metal reinforced PVC-U or bushfire resisting timber. Fitted tight and provided with a seal at the head and stiles and draught excluders at the sill.
- External Doors:**
 Protected by bushfire shutters or screened with steel, bronze or aluminium mesh or glazed with 5mm toughened glass, non-combustible or 35mm solid timber for 400mm above threshold, metal or bushfire resisting timber framed for 400mm above ground, decking etc, tight-fitting with weather strips at base. Door framing can be naturally fire resistant (high density) timber.
- Water & Gas Pipes**
 Water and gas pipes are required to be metal above ground and the metal pipe must extend 400mm into the wall and 100mm underground.
- Joints**
 All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3mm. Alternatively, sarking-type material can be applied over the frame prior to fixing any external cladding.
- Vents & Weepholes**
 All vents, weepholes & gaps in the external walls shall be screened except for weepholes in the sills of windows and doors.
- Roofing:**
 Non-combustible covering. Roof/wall junction to be sealed. Roofs to be fully sarked. Roof penetrations, including roof lights, roof ventilators, roof mounted evaporative cooling units, aerials, vent pipes & supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3mm. The material used to seal the penetration shall be non-combustible.
- Verandahs/ Decks:**
 Enclosed sub-floor space - no special requirements for materials except within 400mm of ground. No special requirements for supports or framing. Decking to be non-combustible or bushfire resistant within 300mm horizontally and 400mm vertically from glazed element.
 Verandah posts must be either timber fixed on a galvanised shoe or stirrup 75mm above the adjacent finished surface or where less than 400mm from the surface of the deck be non-combustible or bushfire resistant timber.



Denotes Tree to be Removed From Site



Proposed Site Layout Plan 1:250

Note:
 Stormwater to be connected to legal point of discharge to local authority approval
 Approved sewerage treatment system to be installed to local authority requirements & approval

Site Area Calculations:

Total Site:	1104m ²	Paving:	26m ² (2%)
Proposed Buildings:	244m ² (22%)	Garden Area:	834m ² (76%)

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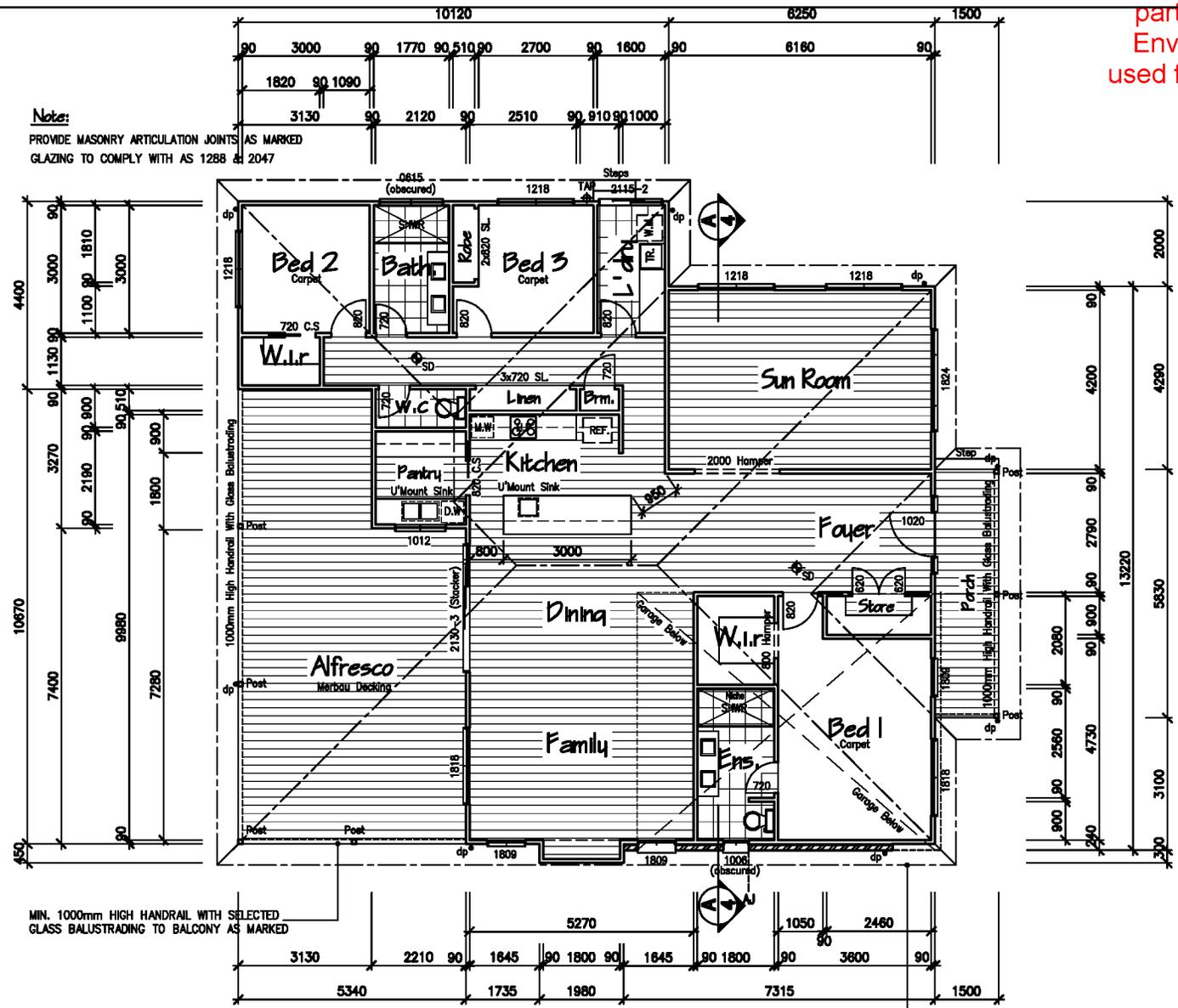
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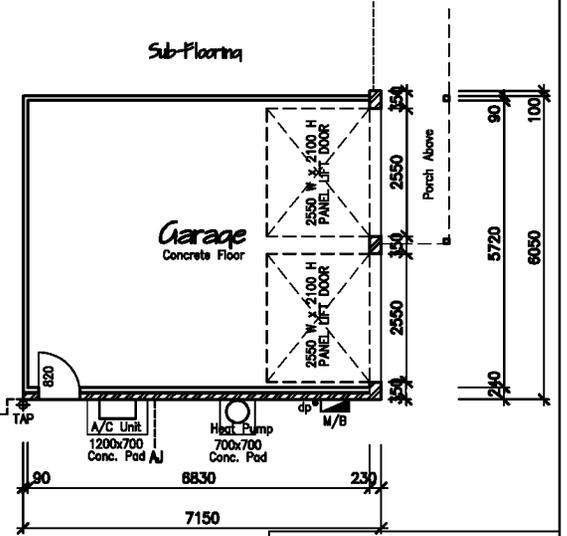
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Lower Floor Plan 1:100



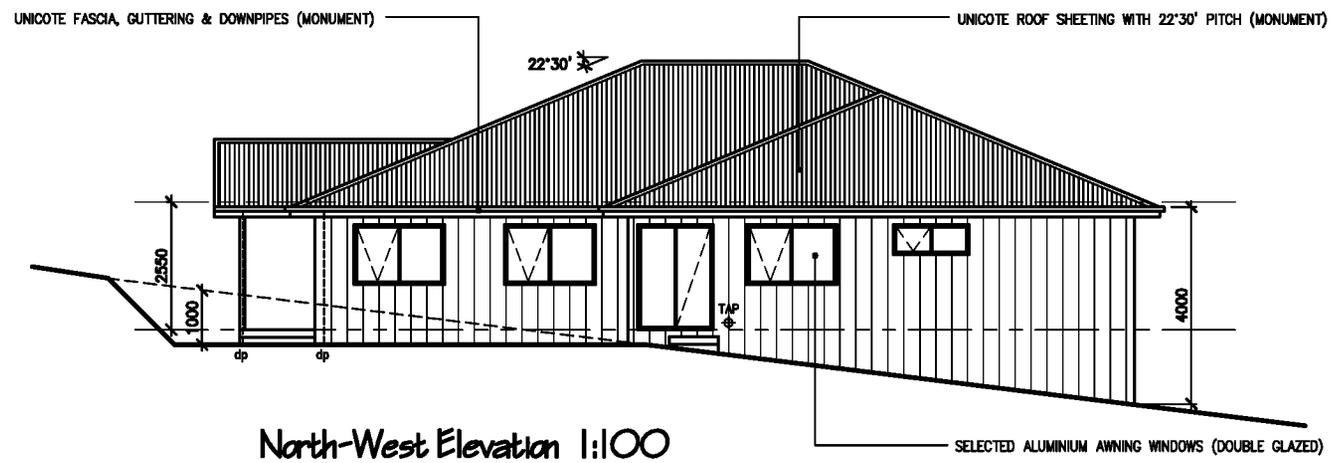
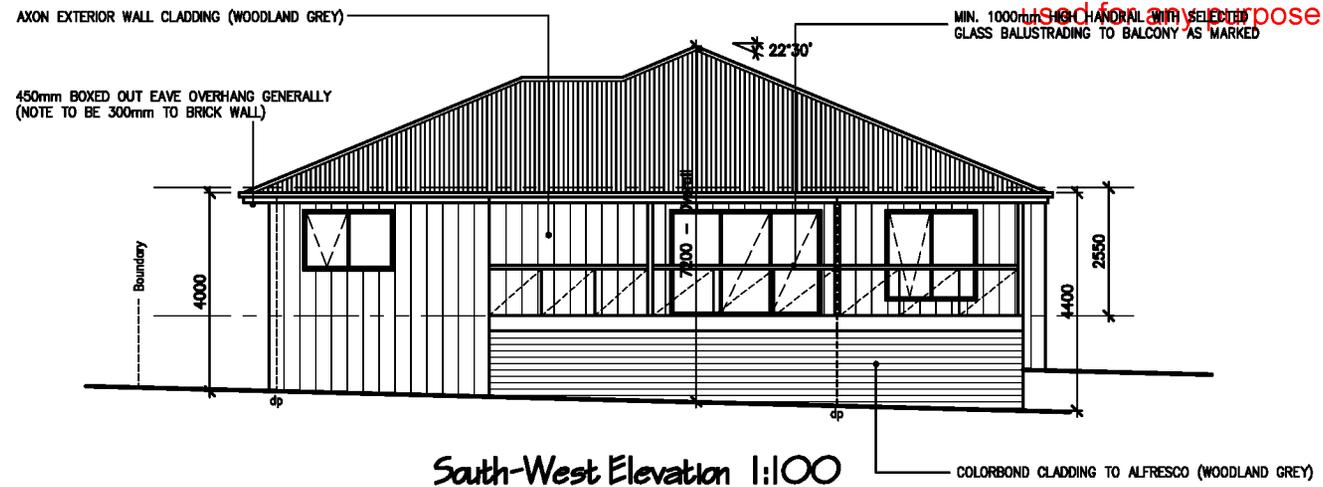
Ground Floor Plan 1:100

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<p>DRAWING TITLE: FLOOR PLAN - SCALE 1:100</p>							

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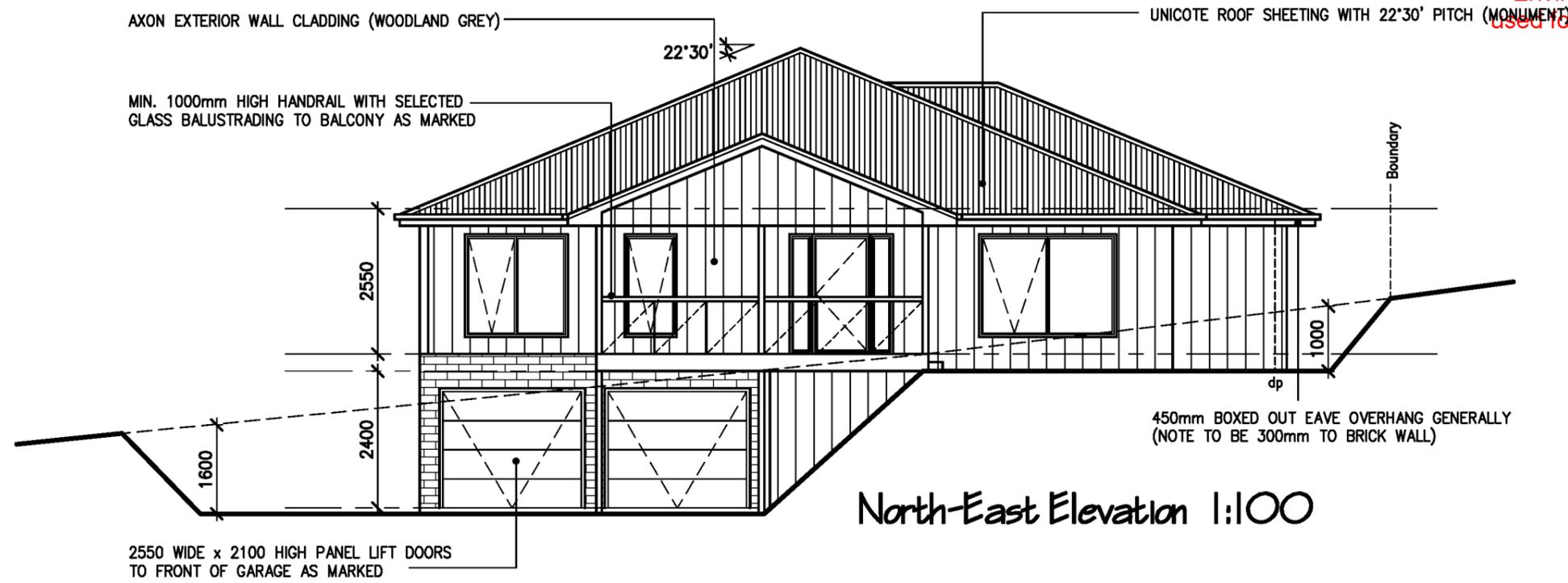


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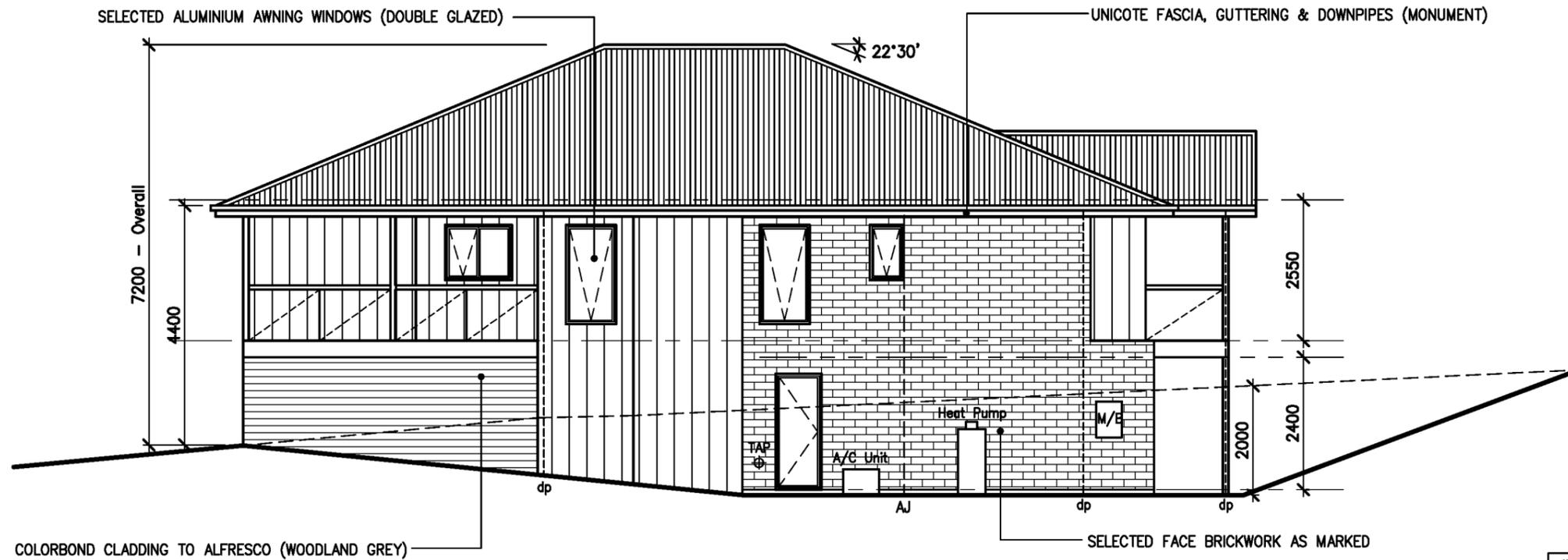
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			DRAWING TITLE: ELEVATIONS - SCALE 1:100	No. 8 Travers Court, Metung	JOB NO: 240201	DRAWN: CRAIG WIGHT		DATE: 3/9/26	REV. B	DETAILS: WORKING DRAWINGS



North-East Elevation 1:100



South-East Elevation 1:100

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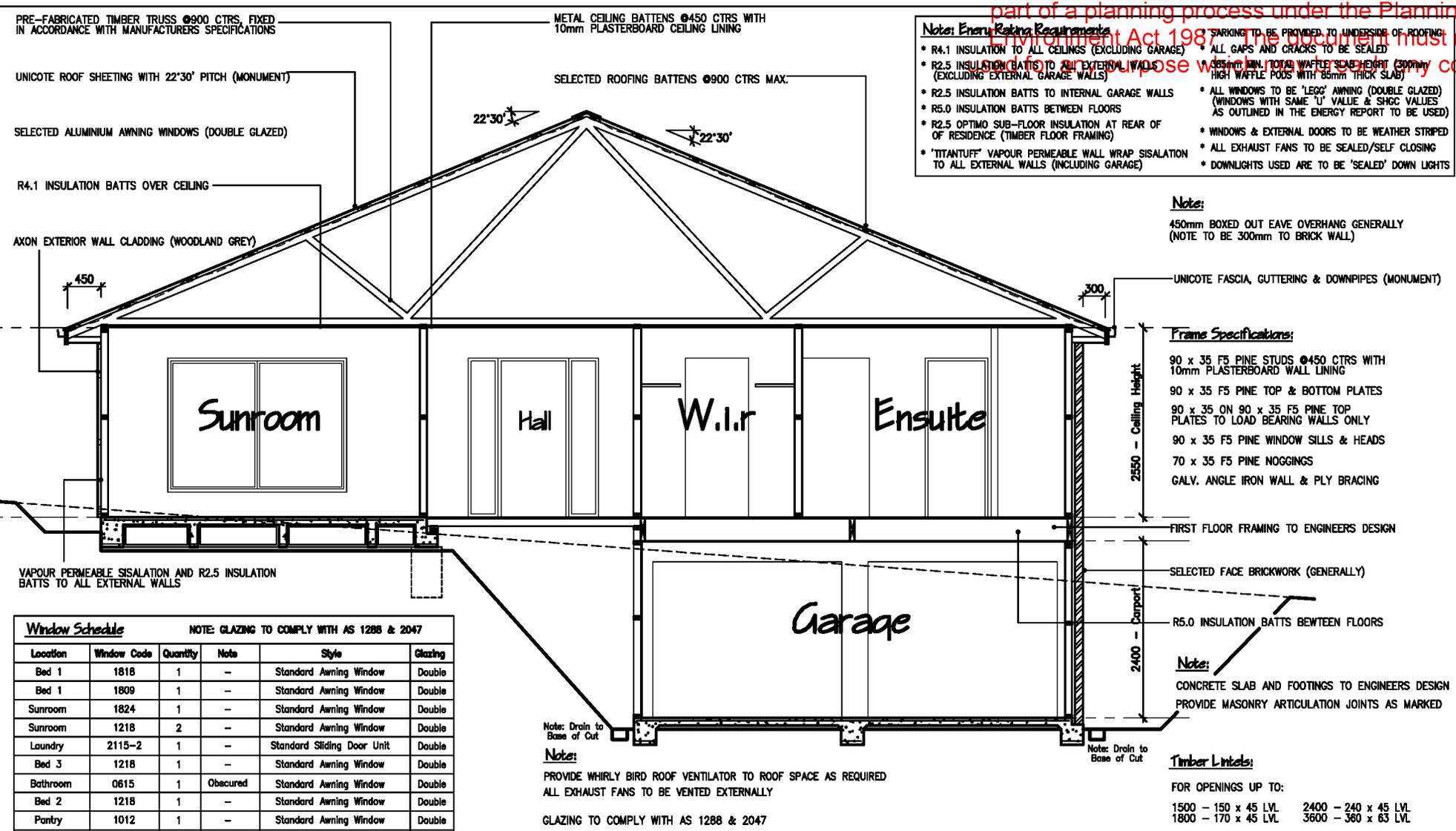
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Note: Approved method of TERMITE TREATMENT IS REQUIRED
Section A-A 1:50
Refer to soil report by engineer for soil classification as required

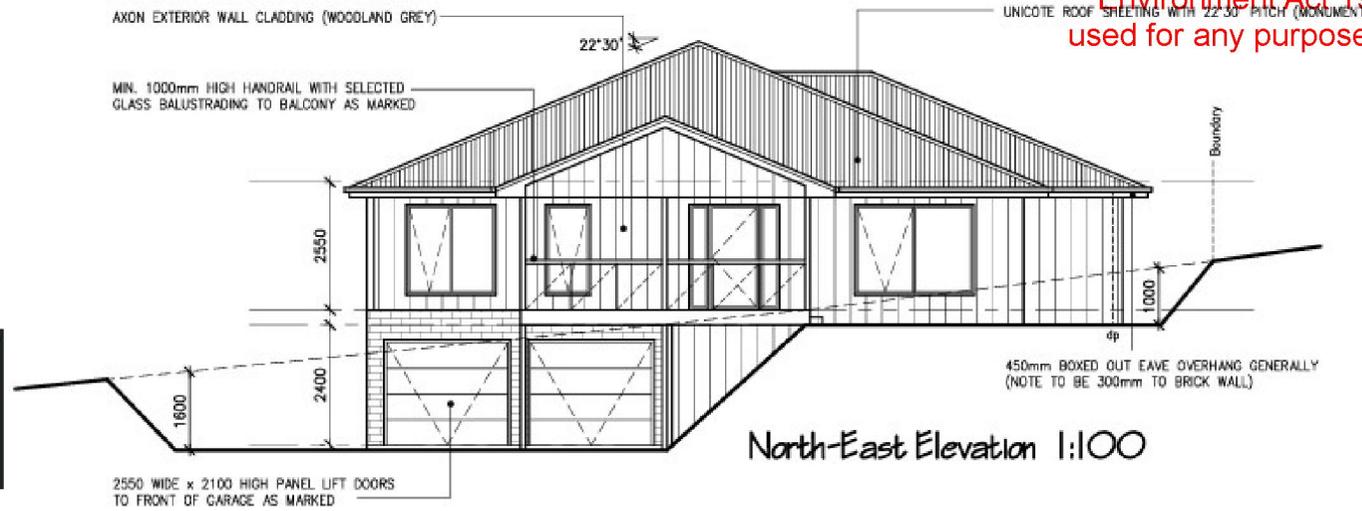
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Garage doors
Colorbond Steel
'Monument'



Australbricks
Domain Retreat



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