

**NOTICE OF AN APPLICATION FOR PLANNING PERMIT**

<b>The land affected by the application is located at:</b>	<b>310 Lake Victoria Road EAGLE POINT VIC 3878</b> <b>Lot: 2 PS: 636920</b>
<b>The application is for a permit to:</b>	<b>Buildings and works for a replacement dwelling</b>
<b>A permit is required under the following clauses of the planning scheme:</b>	
<b>Planning Scheme Clause</b>	<b>Matter for which a permit is required</b>
35.07-4 (FZ)	Construct or carry out a building or works for use of a SECTION 2 USE
<b>The applicant for the permit is:</b>	<b>Crowther &amp; Sadler Pty Ltd</b>
<b>The application reference number is:</b>	<b>5.2026.115.1</b>

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must**
- ◆ **be made to the Responsible Authority in writing,**
  - ◆ **include the reasons for the objection, and**
  - ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to the applicant giving notice</b>
---	---

If you object, the Responsible Authority will tell you its decision.

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**April McDonald**

---

**From:** Snapforms Notifications <no-reply@snapforms.com.au>  
**Sent:** Tuesday, 28 April 2026 10:45 AM  
**To:** Planning Unit Administration  
**Subject:** Planning Permit application  
**Attachments:** LCA.pdf; 21486 CoT Vol\_11352\_Fol\_091.pdf; 11168buildenv.pdf; 21486 Report.pdf; Woolven & Fraser Plans (amended 8.4.26).pdf; Planning\_Permit\_Application\_2026-04-28T10-45-14\_33234604\_0.pdf

**Planning Permit Application**

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

**Applicant name:** Crowther & Sadler Pty Ltd

**Business trading name:** Crowther & Sadler Pty Ltd

**Email address:** contact@crowthersadler.com.au

**Postal address :** PO Box 722 Bairnsdale 3875

**Preferred phone number:** 51 52 5011

**Street number:** 310

**Street name:** Lake Victoria Road

**Town:** Eagle Point

**Post code:** 3878

**Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?:** Yes

**Will the proposal result in a breach of a registered covenant restriction or agreement?:** No

**Existing conditions :** Dwelling

**Description of proposal :** Development of a Dwelling (Replacement Dwelling)

**Estimated cost of development:** 600000

**Has there been a pre-application meeting:** No

**ExtraFile:** 2

**Invoice Payer:** Crowther & Sadler Pty Ltd

**Address for Invoice:** PO Box 722 Bairnsdale 3875

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**Invoice Email:** [contact@crowthersadler.com.au](mailto:contact@crowthersadler.com.au)

**Primary Phone Invoice:** 51 52 5011

**Declaration:** Yes

**Authority Check:** Yes

**Notice Contact Check:** Yes

**Notice check 2:** Yes

**Privacy Statement Acknowledge:** Yes

**2. Supporting information/reports:** [LCA.pdf](#)

**Full copy of Title:** [21486 CoT Vol\\_11352\\_Fol\\_091.pdf](#)

**1. Supporting information/reports:** [11168buildenv.pdf](#)

**Planning report:** [21486 Report.pdf](#)

**Plans:** \_\_\_\_\_ ; (amended 8.4.26).pdf

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958** Page 1 of 1

VOLUME 11352 FOLIO 091

Security no : 124133326741H  
Produced 27/03/2026 08:38 AM

**LAND DESCRIPTION**

Lot 2 on Plan of Subdivision 636920J.  
PARENT TITLES :  
Volume 10959 Folio 032 to Volume 10959 Folio 033  
Created by instrument PS636920J 14/05/2012

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AE639373P 02/10/2006

AGREEMENT Section 173 Planning and Environment Act 1987  
AJ502534N 21/02/2012

**DIAGRAM LOCATION**

SEE PS636920J FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 310 LAKE VICTORIA ROAD EAGLE POINT VIC 3878

**ADMINISTRATIVE NOTICES**

NIL

eCT Control  
Effective from

DOCUMENT END

ADVERTISED PS636920J

**PLAN OF SUBDIVISION**

STAGE No. LR USE ONLY

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**LOCATION OF LAND**

PARISH: BAIRNSDALE  
 TOWNSHIP: —  
 SECTION: —  
 CROWN ALLOTMENT: 173B (PART)  
 CROWN PORTION: —  
 TITLE REFERENCES: VOL 10959 FOL 032  
 VOL 10959 FOL 033  
 LAST PLAN REFERENCE: LOTS 1 & 2 - PS542284J  
 POSTAL ADDRESS: 300 & 310 LAKE VICTORIA ROAD,  
 (At time of subdivision) EAGLE POINT, 3880  
 MGA 94 CO-ORDINATES: E 558 160  
 (Of approx. centre of land in plan) N 5802 600 ZONE: 55

**COUNCIL CERTIFICATION AND ENDORSEMENT**

COUNCIL NAME: EAST GIPPSLAND SHIRE COUNCIL REF: 83/2010 CRT

1. This plan is certified under Section 6 of the Subdivision Act 1988.
2. ~~This plan is certified under Section 11(7) of the Subdivision Act 1988. Date of original certification under Section 6 — / — / —~~
3. ~~This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.~~

**OPEN SPACE**

- (i) A requirement for public open space under Section 18 Subdivision Act 1988 ~~has~~ has not been made.
- (ii) ~~The requirement has been satisfied.~~
- (iii) ~~The requirement is to be satisfied in stage~~  
 Council Delegate *[Signature]*  
 Council seat  
 Date 10 / 09 / 2010  
~~Re-certified under Section 11(7) of the Subdivision Act 1988~~  
~~Council Delegate~~  
~~Council seat~~  
 Date — / — / —

**VESTING OF ROADS AND/OR RESERVES**

IDENTIFIER	COUNCIL / BODY / PERSON
NIL	NIL

**NOTATIONS**

**STAGING** This is / is not a staged subdivision  
 Planning Permit No 280/2010/P

**DEPTH LIMITATION** DOES NOT APPLY

**WATERWAY NOTATION:**  
 LOT 1 IN THIS PLAN MAY ABUT CROWN LAND THAT MAY BE SUBJECT TO A CROWN LICENCE TO USE

SURVEY: THIS PLAN ~~IS~~ IS NOT BASED ON SURVEY  
 THIS SURVEY IS CONNECTED TO PERMANENT MARK No(s)

**EASEMENT INFORMATION**

LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	POWERLINE	14	PS542284J - SECTION 88 OF THE ELECTRICITY INDUSTRY ACT 2000	SPI ELECTRICITY PTY LTD

LR USE ONLY  
 STATEMENT OF COMPLIANCE / EXEMPTION STATEMENT

RECEIVED

DATE 9 / 05 / 2012

LR USE ONLY

PLAN REGISTERED

TIME 12:02pm

DATE 14 / 05 / 2012

SN  
 Assistant Registrar of Titles

SHEET 1 OF 2 SHEETS

**Crowthorpe & Sadler Pty. Ltd.**  
 LICENSED SURVEYORS & TOWN PLANNERS  
 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875  
 TELEPHONE (03) 5162 5011

LICENSED SURVEYOR MICHAEL JOSEPH SADLER  
 SIGNATURE *[Signature]* DATE 22 / 6 / 2010  
 REF 13938 VERSION 3

*[Signature]*  
 DATE 20 / 09 / 2010  
 COUNCIL DELEGATE SIGNATURE

ADVERTISED

# PLAN OF SUBDIVISION

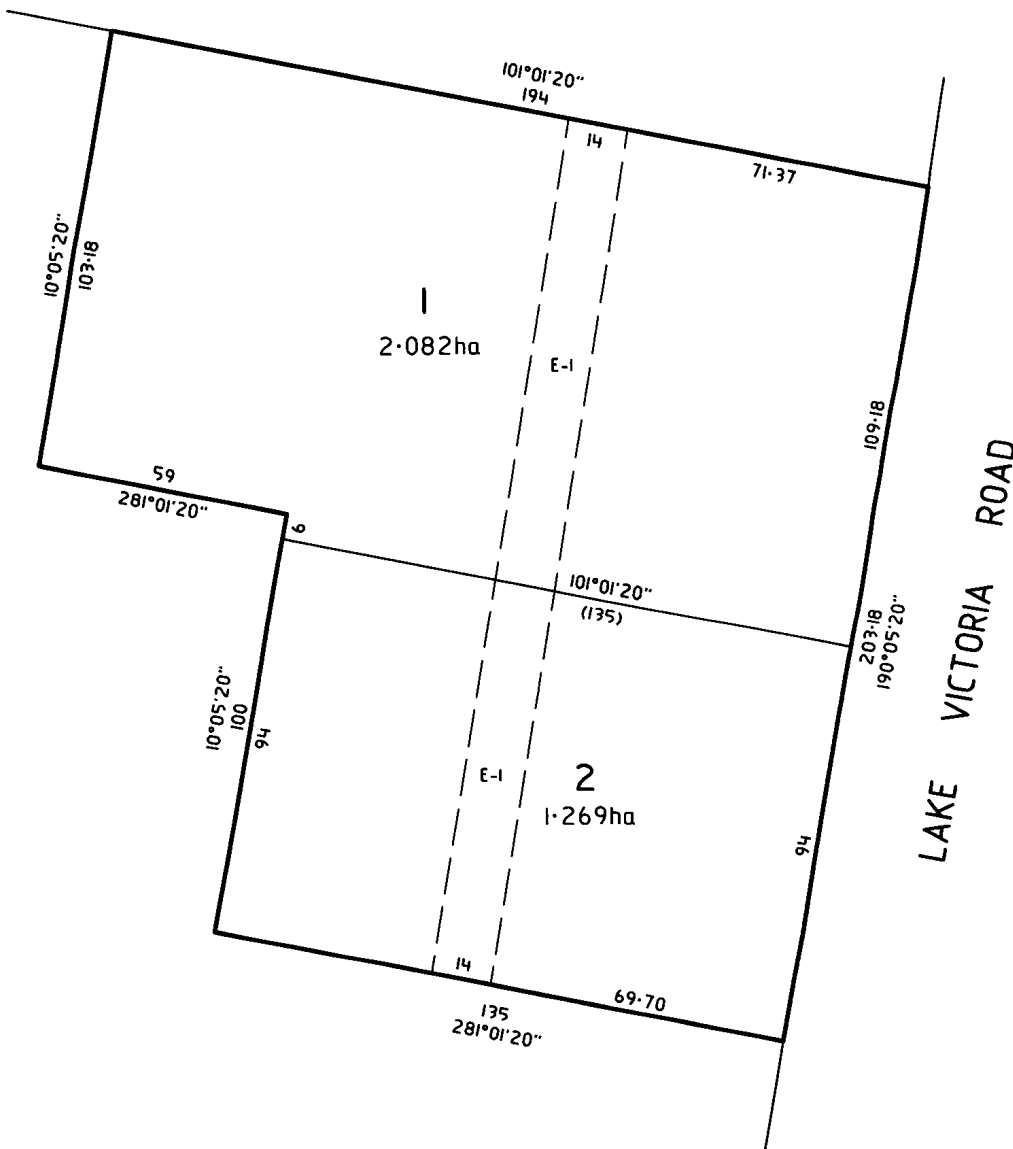
STAGE No.

PLAN NUMBER

PS 636920J

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MGA94 ZONE 55



**Crowther & Sadler** Pty. Ltd.

LICENSED SURVEYORS & TOWN PLANNERS  
162 MACLEOD STREET, BAIRNSDALE, VIC., 3875

TELEPHONE (03) 5162 6011

ORIGINAL	SCALE	12.5 0 12.5 25 37.5 50
SHEET SIZE	A3	1:1250
LENGTHS ARE IN METRES		

LICENSED SURVEYOR: MICHAEL JOSEPH SADLER  
 SIGNATURE: *[Signature]* DATE: 22/6/2010  
 REF: 13938 VERSION: 3

SHEET 2 OF 2 SHEETS

DATE: 20/09/2010  
 COUNCIL DELEGATE SIGNATURE: *[Signature]*

Printed 29/05/2026

LODGED BY Warren, Graham & Murphy,  
CODE 1716W VICTORIA



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Titles Office Use Only

**APPLICATION BY A RESPONSIBLE AUTHORITY under Section 181  
Planning and Environment Act 1987 for ENTRY OF A  
MEMORANDUM OF AGREEMENT under Section 173 of that Act.**

The Responsible Authority under the Planning Scheme having entered into an Agreement with the parties named for the land described requires that a Memorandum of Agreement be entered on the Certificate of Title to the land referred to.

LAND Certificate of Title Volume 10959 Folios. 032, 033 & 034

ADDRESS OF LAND Lake Victoria Road, Forge Creek

RESPONSIBLE AUTHORITY East Gippsland Shire Council

PLANNING SCHEME East Gippsland Planning Scheme

AGREEMENT DATE  
AGREEMENT WITH

A copy of the Agreement is attached to this Application

Signature of the Responsible Authority *[Handwritten Signature]*

Name of Officer *AARON HOLLOWAY, MANAGER DEVELOPMENT*

Date *29/06/2006*

*KL 02/10/06*

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# PLANNING AND ENVIRONMENT ACT 1987 SECTION 173 AGREEMENT

THIS AGREEMENT is made the                      day of                      2006  
BETWEEN

EAST GIPPSLAND SHIRE COUNCIL  
273 Main Street, Bairnsdale  
("Council")

- and -

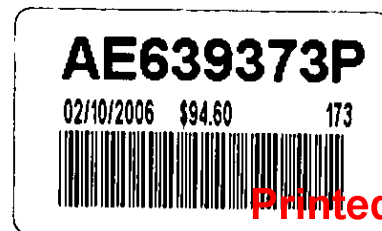
TREVOR JOHN ROBINSON  
("the Owner")

## WHEREAS

- A. The Owner is the registered proprietor of all that piece of land being the whole of the land described in Certificate(s) of Title Volume ~~10939~~ Folios ~~032, 033~~ → ~~034~~
- B. The Owner has made application to the Council for a Planning Permit.
- C. The Council has issued Planning Permit Number 735/2004/P subject to certain conditions, one of which is that the parties enter into an agreement pursuant to Section 173 of the Planning and Environment Act.

## NOW THIS AGREEMENT WITNESSETH:

- 1. The parties confirm the recitals to this agreement.
- 2. This agreement is made pursuant to Section 173 of the Planning & Environment Act.
- 3. The Owner covenants:-
  - (a) Lot 3 on the approved plan of subdivision as part of planning permit 735/2004/P must not be further subdivided so as create any additional lots.
  - (b) Any building development on either of lots 1 or 2 on the approved plan of subdivision must be within the approved building envelope.



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- 4. The Owner must not sell, transfer, dispose of, assign, mortgage or otherwise part with possession of the land or any part of it without first disclosing to its successors the existence and nature of this agreement.
  
- 5. The parties acknowledge and agree that the covenants and agreements entered into by the Owner in this agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the land and which shall bind the Owner, his successors, assignees and transferees, the registered proprietors for the time being of the land and every part thereof.

**EXECUTED** by the parties on the date set out at the commencement of this Agreement.

The **COMMON SEAL** of **EAST GIPPSLAND**)  
**SHIRE COUNCIL** was affixed on behalf of )  
Council by authority of the Chief Executive )  
Officer on the 29<sup>th</sup> day of June )  
, 2006 in exercise of the power delegated )  
under Administrative Procedures (Use of )  
Common Seal) Local Law in the presence of)

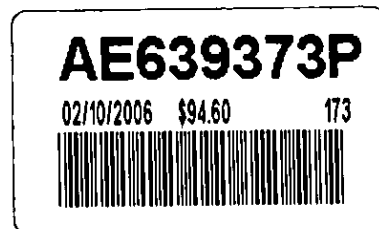


*[Handwritten signature]*  
.....  
.....

SIGNED by the said **TREVOR JOHN** )  
**ROBINSON** in the presence of )

*[Handwritten signature]*  
.....

*[Handwritten signature]* ..... (witness)



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EAST GIPPSLAND SHIRE COUNCIL

- and -

TREVOR JOHN ROBINSON

---

AGREEMENT UNDER SECTION 173  
OF THE PLANNING AND ENVIRONMENT  
ACT 1987

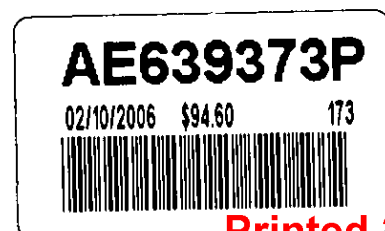
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WARREN GRAHAM & MURPHY,  
Solicitors,  
119 Main Street,  
BAIRNSDALE VIC 3875

REF: GRA:sk robinson.s173.doc)

TEL: (03) 51522 661

D.X.: 82201, Bairnsdale



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Section 181

**APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE MAKING OF A RECORDING OF AN AGREEMENT**

**Planning & Environment Act 1987**

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**AJ502534N**

21/02/2012 \$107.50 173  


Lodged by:

Name: WARREN GRAHAM & MURPHY  
Phone: (03) 5152-2661  
Address: 119 Main Street, Bairnsdale  
Ref: PJC:jl:109210  
Customer Code: 1716W


The Authority having made an agreement referred to in Section 181(1) of the **Planning and Environment Act 1987** requires a recording to be made in the Register for the land.

Land: Certificates of Title Volume 10959 Folio 033 and Volume 10959 Folio 032

Authority: East Gippsland Shire Council, Corporate Centre, 273 Main Street, Bairnsdale, 3875

Section and Act under which agreement made: Section 173 of the Planning & Environment Act 1987

A copy of the Agreement is attached to this Application.

Signature for the Authority:  .....

Name of Officer: Aaron Hollow, Manager Development  
(full name)

Date: 20/02/2012 .....

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Date 20 / 02 / 2012

**Agreement under Section 173  
of the Planning and Environment Act 1987**  
Subject Land: 300 & 310 Lake Victoria Road, Eagle Point

East Gippsland Shire Council  
and

Heath Benjamin Taylor, Elizabeth Margaret Taylor,  
David Robert Dixon and Anna Christine Dixon,

**AJ502534N**

21/02/2012 \$107.50 173



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21/02/2012 \$107.50 173



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# Agreement under Section 173 of the Planning and Environment Act 1987

DATE 20/02/2012

**AJ502534N**

21/02/2012 \$107.50 173  


**BETWEEN**

**EAST GIPPSLAND SHIRE COUNCIL**  
of Corporate Centre, 273 Main Street, Bairnsdale

**(Council)**

**AND**

**HEATH BENJAMIN TAYLOR and ELIZABETH MARGARET TAYLOR**  
of 350 Lake Victoria Road, Eagle Point 3878  
as to the land currently contained in Certificate of Title Volume 10959 Folio 033  
and

**DAVID ROBERT DIXON and ANNA CHRISTINE DIXON**  
of 22 Fahey Crescent, Yallambie 3085  
as to the land currently contained in Certificate of Title Volume 10959 Folio 032

**(Owner)**

## RECITALS

- A. Council is the Responsible Authority pursuant to the Act for the Planning Scheme.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land.
- C. On 2 July 2010 Council issued Planning Permit No. 280/2010/P (**Planning Permit**) allowing the Subject Land to be subdivided into two lots in accordance with the Endorsed Plans. Condition 3 of the Planning Permit requires the Owner to enter into this Agreement to provide for the matters set out in that condition. A copy of the Planning Permit is available for inspection at Council offices during normal business hours upon giving the Council reasonable notice.
- D. Condition 3 of the Planning Permit provides that:

*"Before the issue of the statement of compliance the owner of the land must enter into an agreement with the responsible authority in accordance with Section 173 of the Planning & Environment Act 1987, which will provide that the lots created by planning permit 280/2010/P may not be further subdivided so as to increase the number of lots.*

*This agreement must be prepared by the owner. The cost of the preparation, review and registration on the title of the agreement in accordance with Section 181 of the Planning and Environment Act 1987 to the satisfaction of the responsible authority must be borne by the owner of the land."*

- E. As at the date of this Agreement, the Subject Land is encumbered by Mortgage No. AG605011A in favour of the Mortgagee, Westpac Banking Corporation (as to Certificate of Title Volume 10959 Folio 032) and Mortgage No. AE677705A in favour of the Mortgagee, National Australia Bank (as to Certificate of Title Volume 10959 Folio 033). The

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Mortgagees have consented to the Owner entering into this agreement with respect to the Subject Land.

F. The parties enter into this Agreement:

F.1 to give effect to the requirements of the Planning Permit; and

F.2 to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

THE PARTIES AGREE

1. DEFINITIONS

In this Agreement the words and expressions set out in this clause have the following meanings unless the context admits otherwise:

**Act** means the *Planning and Environment Act 1987*.

**Agreement** means this agreement and any agreement executed by the parties expressed to be supplemental to this agreement.

**Endorsed Plan** means the plan endorsed with the stamp of Council from time to time as the plan which forms part of the Planning Permit. A copy of the Endorsed Plan is available for inspection at Council offices during normal business hours upon giving the Council reasonable notice.

**lot** means a lot on the Endorsed Plan.

**Mortgagee** means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as Mortgagee of the Subject Land or any part of it.

**Owner** means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple of the Subject Land or any part of it and includes a Mortgagee-in-possession.

**party or parties** means the Owner and Council under this Agreement as appropriate.

**Planning Scheme** means the East Gippsland Planning Scheme and any other planning scheme that applies to the Subject Land.

**Subject Land** means the land situated at 300 & 310 Lake Victoria Road, Eagle Point being the land referred to in Certificates of Title Volume 10959 Folio 033 and Volume 10959 Folio 032 and any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.

2. INTERPRETATION

In this Agreement unless the context admits otherwise:

2.1 The singular includes the plural and vice versa.

2.2 A reference to a gender includes a reference to each other gender.

AJ502534N

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- 2.3 A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
- 2.4 If a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.5 A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
- 2.6 A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.7 The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
- 2.8 The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land provided that if the Subject Land is subdivided, this Agreement must be read and applied so that each subsequent owner of a lot is only responsible for those covenants and obligations which relate to that owner's lot.

**3. SPECIFIC OBLIGATIONS OF THE OWNER**

---

The Owner agrees that once the subdivision authorised by the Planning Permit is registered, the Subject Land may not be further subdivided in any way so as to create an additional lot.

**4. FURTHER OBLIGATIONS OF THE OWNER**

---

**4.1 Notice and Registration**

The Owner further covenants and agrees that the Owner will bring this Agreement to the attention of all prospective purchasers, lessees, mortgagees, chargees, transferees and assigns.

**4.2 Further actions**

The Owner further covenants and agrees that:

- 4.2.1 the Owner will do all things necessary to give effect to this Agreement;
- 4.2.2 the Owner will make application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with Section 181 of the Act and do all things necessary for this to be done including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator to enable the recording to be made in the Register under that section.

**4.3 Council's Costs to be Paid**

The Owner further covenants and agrees that the Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, review, finalisation, engrossment, execution,



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registration and enforcement of this Agreement which are not paid will remain a debt due to Council by the Owner.

**5. AGREEMENT UNDER SECTION 173 OF THE ACT**

---

Council and the Owner agree that without limiting or restricting the respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made as a Deed pursuant to Section 173 of the Act, and the obligations of the Owner under this Agreement are obligations to be performed by the Owner as conditions subject to which the Subject Land may be used and developed pursuant to the Planning Permit.

**6. OWNER'S WARRANTIES**

---

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

**7. SUCCESSORS IN TITLE**

---

Without limiting the operation or effect that this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- 7.1 give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- 7.2 execute a deed agreeing to be bound by the terms of this Agreement.

**8. GENERAL MATTERS**

---

**8.1 Notices**

A notice or other communication required or permitted to be served by a party on another party must be in writing and may be served:

- 8.1.1 by delivering it personally to that party;
- 8.1.2 by sending it by prepaid post addressed to that party at the address set out in this Agreement or subsequently notified to each party from time to time; or
- 8.1.3 by sending it by facsimile provided that a communication sent by facsimile shall be confirmed immediately in writing by the sending party by hand delivery or prepaid post.

**8.2 Service of Notice**

A notice or other communication is deemed served:

- 8.2.1 if delivered, on the next following business day;
- 8.2.2 if posted, on the expiration of 7 business days after the date of posting; or



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8.2.3 if sent by facsimile, on the next following business day unless the receiving party has requested retransmission before the end of that business day.

**8.3 No Waiver**

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

**8.4 Severability**

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

**8.5 No Fettering of Council's Powers**

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

**9. COMMENCEMENT OF AGREEMENT**

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

**SIGNED, SEALED AND DELIVERED** as a Deed by the parties on the date set out at the commencement of this Agreement.

The Common Seal of the East Gippsland Shire Council was hereunto affixed on the 20<sup>th</sup> day of February 2012 in the presence of:

.....  
*[Signature]*

Chief Executive

.....  
*[Signature]*

Witness




**AJ502534N**

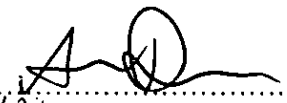


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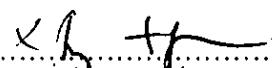
6 This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.


Signed by the said Heath Benjamin Taylor in the presence of:

X   
Heath

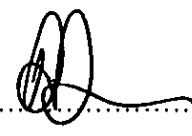
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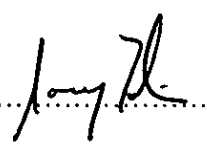
Signed by the said Elizabeth Margaret Taylor in the presence of:

X   
Elizabeth

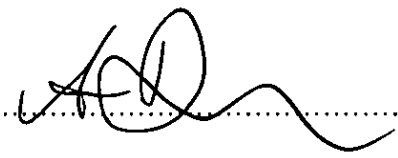
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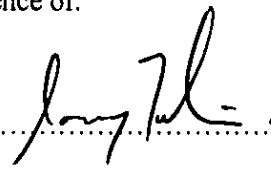
Signed by the said David Robert Dixon in the presence of:





Signed by the said <sup>Anna</sup>~~Christine~~ Dixon in the presence of:





AJ502534N

21/02/2012 \$107.50 173



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**Mortgagee's Consent**

National Australia Bank as Mortgagee of registered mortgage No. AE677705A consents to the Owner entering into this Agreement and in the event that the Mortgagee becomes Mortgagee-in-possession, agrees to be bound by the covenants and conditions of this Agreement.

.....

Executed by National Australia Bank Limited by its Attorney **PING HUANG** who holds the position of Level 3 Attorney under Power of Attorney dated 1/3/2007 (a certified copy of which is filed in Permanent Order Book No 277 Page 025 Item number 35) in the presence of:

*[Signature]*  
.....  
Attorney

.....  
Witness

*[Signature]*  
.....  
Full Name

PAUL MURFITT

**AJ502534N**

21/02/2012 \$107.50 173  


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**Mortgagee's Consent**

Westpac Banking Corporation as Mortgagee of registered mortgage No. AG605011A consents to the Owner entering into this Agreement and in the event that the Mortgagee becomes Mortgagee-in-possession, agrees to be bound by the covenants and conditions of this Agreement.

.....

Please register and hand Certificate of Title/s to issue to Scott Ashwood Pty Ltd. Cust Code 1557Q  
Signed *[Signature]*

Westpac Banking Corporation  
ABN 33 007 457 141 the  
Mortgagee under Mortgage  
No. *AG605011A* ..... HEREBY  
CONSENTS to the within *APPLICATION*  
Dated this *7th* day of *DECEMBER 2011*  
Westpac Banking Corporation  
By Its Attorney *[Signature]* Elizabeth Ann  
General Power of Attorney dated **Barnes**  
17 January 2001 filed in the *Tier 3 Attorney*  
Permanent Order Book No. 277  
at page 016.  
in the presence of *[Signature]*  
.....  
Signature of Witness  
*[Signature]*  
Name of Witness (BLOCK LETTERS)

**AJ502534N**  
21/02/2012 \$107.50 173  


## Planning Report

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Development of a Dwelling (Replacement Dwelling)  
310 Lake Victoria Road, Eagle Point

Our reference – 21486

April 2026



FS 520900



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	Application Form	
	Proposed Site, Floor and Elevation Plans ( <i>Harkaway Homes Pty Ltd</i> )	
	Site Assessment for Wastewater Disposal ( <i>Streeter Civil Engineering Services Pty Ltd</i> )	
	Building Envelope Plan	
	Copy of Title (Lot 2 on PS 636920J)	

*Note: Applicable Planning Application fee is \$1,580.10*

## 1. Introduction

This Planning Report is prepared in support of the proposed development of a dwelling (replacement dwelling) at 310 Lake Victoria Road, Eagle Point. The Report addresses the provisions of the Farming Zone 1 as contained within the East Gippsland Planning Scheme.



*Aerial image of the subject land and immediate surrounds (Source: Google Earth)*

## 2. Subject Land & Surrounding Context

Formally known as Lot 2 on PS636920 or otherwise known as 310 Lake Victoria Road, Eagle Point the subject land is a small parcel of rural land of 1.26 hectares.

The land is developed with a shed is on the west area of the property. The shed currently contains a modest dwelling at the southern end of the building. The existing building is accessed by a gravel driveway from Lake Victoria Road.

The use and development of a dwelling on the subject land was approved in 2019 under Planning Permit 5.2019.5.2. The approved development included the existing shed and a separate detached dwelling to be constructed in the south-west corner of the property however the previous landowner only built the shed. The current landowner converted the southern part of the shed into a dwelling with the approval of amended plans under Planning Permit 5.2019.5.2.

The current owner has always intended to construct a separate detached dwelling but could not afford to do so initially. The location for the dwelling now proposed is consistent with the original approval.

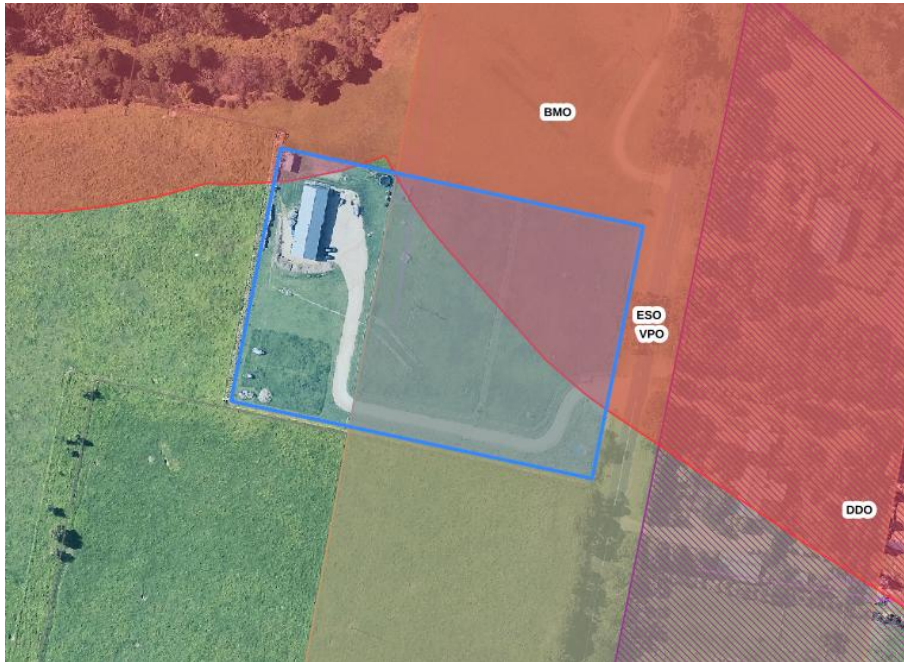


*Image of the shed on the subject land partly used as a dwelling*



*View south-west of proposed dwelling location*

The subject land is contained within the Farming Zone with parts of the property also within the Environmental Significance Overlay (ESO1-43), Vegetation Protection Overlay (VPO1) and Bushfire Management Overlay. The proposed dwelling will be constructed in the south-west corner of the property. The various Overlays do not cover the south-west corner of the property where the proposed dwelling is to be constructed.



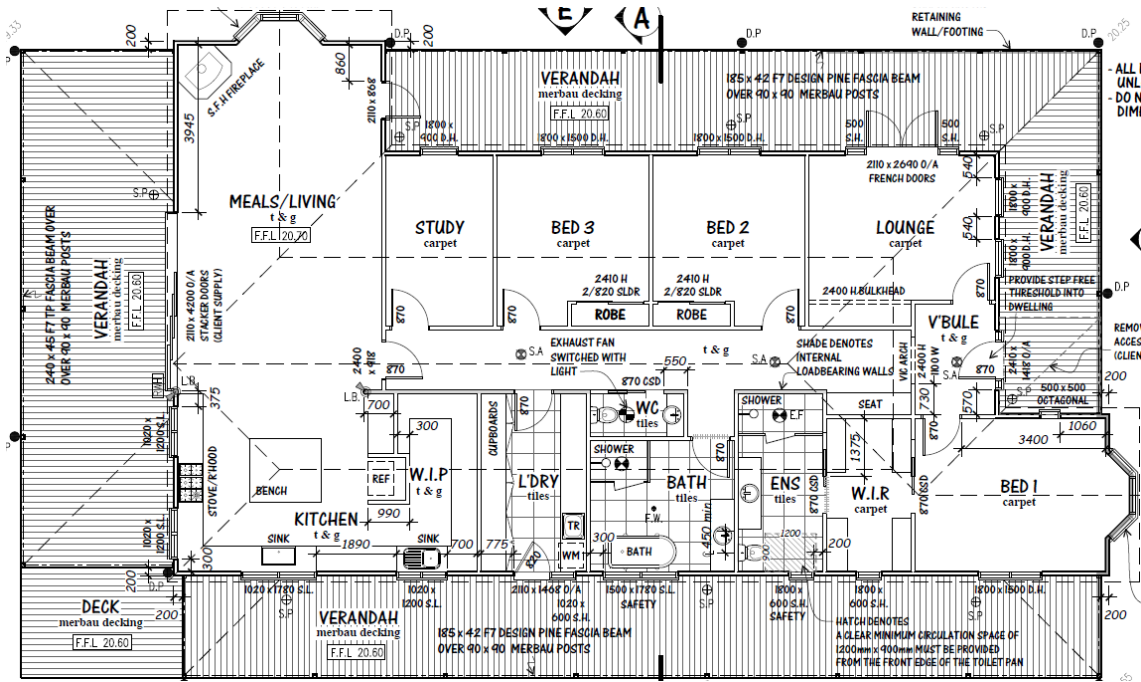
Aerial image of subject land with planning scheme Overlays

Located to the south of Eagle Point and west of Newlands Arm the site is located within a rural living environment, with many properties developed with dwellings and associated shedding.



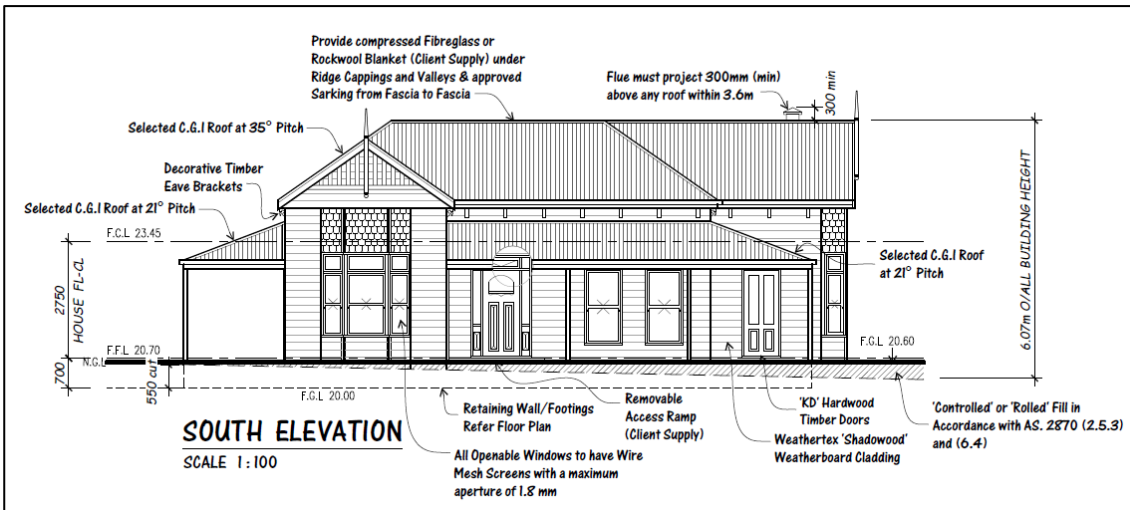
Aerial image of subject land and nearby established residential properties





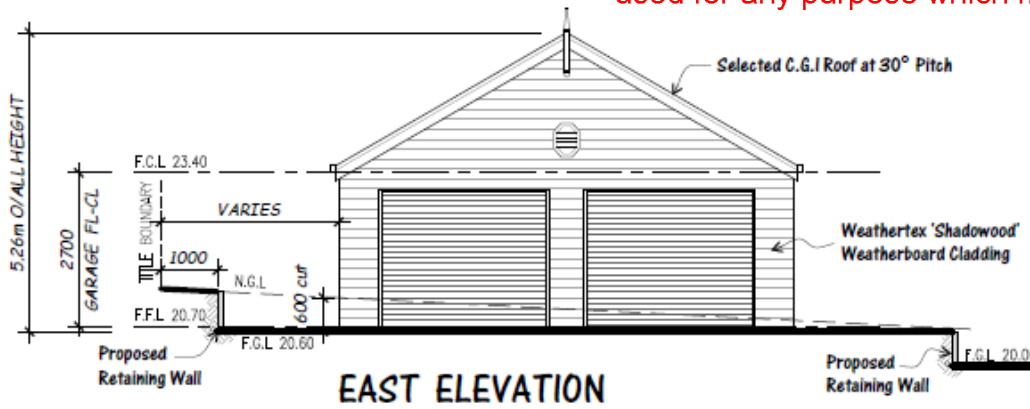
Extract of the proposed floor plan (Source: Harkaway Homes)

The proposed dwelling will be constructed from Weathertex Shadowood weatherboard cladding with corrugated galvanized iron roof. The overall height of the building varies between 6.07 metres and 6.92 metres.



Proposed south elevation (Source: Harkaway Homes)

A standalone garage of 8.0 metres by 8.0 metres equating to a floor area of 64 square metres is proposed. The garage will be constructed in the same materials as the replacement dwelling and will have an overall height of 5.26 metres.



**EAST ELEVATION**

Proposed east elevation of the proposed garage (Source: Harkaway Homes)

The site is subject to a building envelope enshrined within Section 173 agreement AE639373P. The building envelope requires any buildings to be setback 40.0 metres from Lake Victoria Road and 5.0 metres from all other boundaries. The proposed dwelling complies with the building envelope.

It is expected a permit would include a condition requiring the existing dwelling within the shed to be decommissioned within a reasonable time after the proposed dwelling is completed.

Planning approval is required pursuant to the following Clause of the East Gippsland Planning Scheme:

Planning Scheme Clause	Matter for which a Permit is required
35.07-4 Farming Zone 1	Buildings and works associated with a Section 2 use

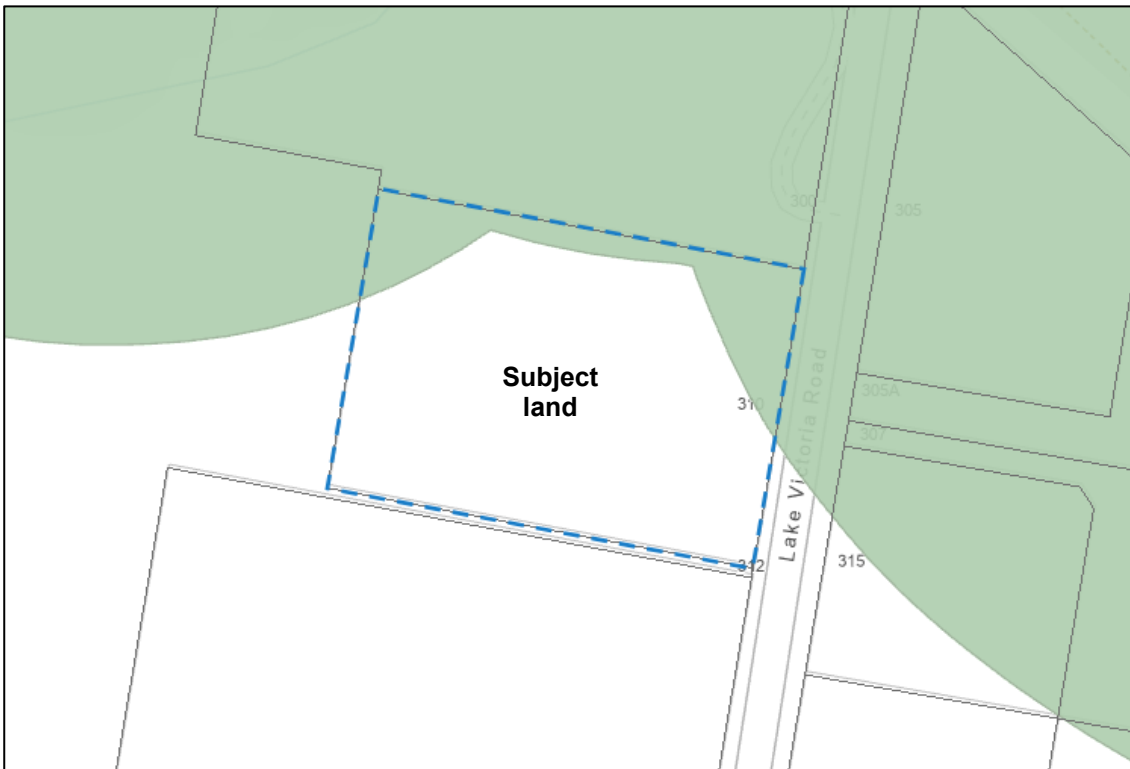
The application is not required to be referred pursuant to section 55 of the *Planning and Environment Act 1987*.

Although parts of the subject land are contained within the Bushfire Management Overlay, Environmental Significance Overlay and Vegetation Protection Overlay the proposed development is located outside of the overlays negating the need to obtain approval under the overlay provisions.

#### 4. Cultural Heritage

Pursuant to Regulation 7 of the *Aboriginal Heritage Regulations 2018*, a Cultural Heritage Management Plan (CHMP) is required under the *Aboriginal Heritage Act 2006* for an activity if:

- (a) All or part of the activity area for the activity is in an area of cultural heritage sensitivity; and
- (b) All or part of the activity is a high impact activity.



Extract from cultural heritage sensitivity mapping, with sensitive areas shown in dark green (Source: VicPlan)

The subject land is partly contained within an area of cultural heritage sensitivity however the construction of one or two dwellings on a lot is an exempt activity. As such, a CHMP is not required for the proposed development.

## 5. Planning Policy

### 5.1 Planning Policy Framework

In accordance with Clause 14.01-1L-03 Rural dwellings the proposed dwelling does not adjoin Crown land requiring a fire protection zone, it has been demonstrated that the existing septic tank system (with some augmentation), will have no detrimental impact on the environment, it will be the only dwelling on the land, legal road access is provided and located close to coastal towns the dwelling will not place unreasonable demands on services.

The proposed development will be sympathetic with the rural character of the area. Setback well within the subject land the visual appearance of the building will be minimised, single storey height and the built form will reflect the housing designs within the immediate area by incorporating common elements including pitched roofing, verandahs and larger window openings as sought within Clause 15.01-6S Design for rural areas.

### 5.2 Municipal Planning Strategy

Clause 02.03-2 Environmental and landscape values – Significant environments and landscape, seeks to protect the scenic value of coastal/lakes areas. The proposed dwelling will be well setback from the Lake edge and is significantly setback from Lake Victoria Road reducing the visual prominence of the building.

The subject land is well setback from the Lake foreshore and is an elevated property which would be unlikely to be impacted by sea level rise. The dwelling will be constructed outside the Bushfire Management Overlay reducing the potential impacts from a bushfire event as sought within Clause 02.03-3 Environmental risks and amenity.

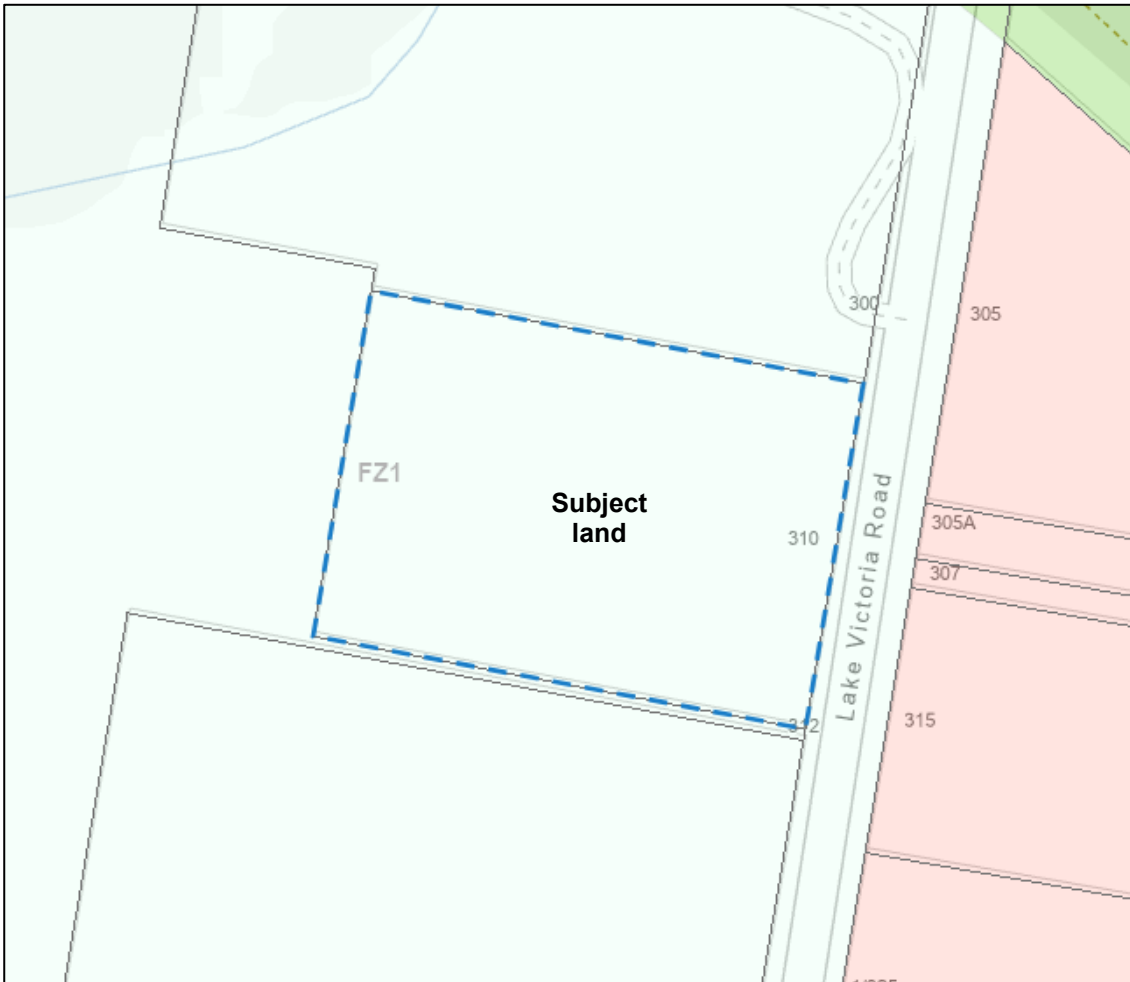
The dwelling will be reliant on onsite wastewater disposal, and it has been demonstrated with some augmentation of the current septic system that wastewater can be effectively managed on the property without impacts to the local environment and water quality of the area as required by Clause 02.03-4 Natural resource management.

The character of the area sees rural residential development throughout the precinct generally with single storey built form within garden settings. The proposed dwelling will positively address the character of the area introducing common building elements such as a pitched roof, verandahs and larger windows as found in the precinct. The building design provides for northern facing living areas and double glazed windows allowing for an energy efficient dwelling as encouraged by Clause 02.03-5 Built environment and heritage.

## 6. Planning Elements

### 6.1 Farming Zone 1

The subject land is contained within the Farming Zone 1 in accordance with the East Gippsland Planning Scheme.



*Planning scheme zone mapping (Source: VicPlan)*

The land is already used for the purposes of a dwelling nevertheless the land is accessed via an all-weather road with dimensions adequate to accommodate emergency vehicles. Wastewater will be treated and retained within the lot in accordance with the EPA Regulations the dwelling will be connected to a reticulated potable water supply and reticulated electricity supply.

### Decision Guidelines

The proposed development of a dwelling meets the relevant decision guidelines:

- The proposed dwelling is consistent with the Planning Policy Framework and Municipal Planning Strategy.
- No native vegetation will be removed to facilitate the development of the dwelling respecting the themes contained within the East Gippsland Regional Catchment Strategy.
- The submitted Site Assessment for Wastewater Disposal demonstrates that the existing septic system (with augmentation) is capable of treating wastewater on the subject land.
- The proposed dwelling development is compatible with the adjoining low density residential and rural living housing within the locality.
- Being a replacement dwelling it will not result in the loss or fragmentation of productive agricultural land.
- There are no identifiable agricultural activities being undertaken on adjoining or nearby land. The dwelling will not adversely affect the operation or expansion of agricultural activities nearby.
- Development of the proposed dwelling will not result in an increase to the number of dwellings in the area and therefore will not impact the use of any nearby agricultural land.
- There are no wind energy facilities or extractive industry operations within 4 kilometres of the subject land.
- The dwellings single storey height, design, muted colours and setback from Lake Victoria Road allows the building to blend in with the rural and natural landscape of the area.

### **7. Conclusion**

The proposed development of a dwelling (replacement dwelling) at 310 Lake Victoria Road, Eagle Point is considered to accord with all relevant provisions of the Farming Zone 1 of the East Gippsland Planning Scheme. The proposal is consistent with the Planning Policy Framework and Municipal Planning Strategy and has been designed to complement the rural character of the area.

For these reasons we respectfully request that Council consider the merits of the application favourably and resolve to issue a Planning Permit.

## Site Assessment for Wastewater Disposal for a new residence at No. 310 Lake Victoria Road - Eagle Point

### INTRODUCTION

The property owners intend to carry out the construction of a new residence at No. 310 Lake Victoria Road, in the Eagle Point area. Reticulated Sewerage is not available to this allotment, so on-site disposal of wastewater is required for the new residence. An existing septic tank system (to which wastewater fixtures from a shed are connected) can continue to be used, but the installation of additional sub-soil absorption trenches will be needed to safely dispose of all wastewater from the extended residence.

### SITE CONDITIONS

The rectangular shaped lot is located on the west side of Lake Victoria Road about 0.2 km north of the Kyra Court intersection. The land is within the Farming Zone (LDRZ) of the East Gippsland planning scheme. The lot is 1.269 hectares in area and has an abuttal of about 94 metres to Lake Victoria Road and a maximum depth of 135 metres. A HV electricity line passes through the middle of the lot to the north.

The building site containing an existing steel framed shed is located within the west (rear) part of the lot. The shed has a setback of about 112 metres from Lake Victoria Road and about 10 metres from the north boundary. The proposed residence is still to be finalised, but will be situated towards the south west part of the lot with a setback of about 15 metres from each boundary.

The land slopes generally towards the north east and then towards a minor drainage line that extends through adjacent properties to Forge Creek. The lot is fenced into several small paddocks that are being grazed by a few sheep. A formed and gravelled driveway provides vehicular access past the proposed house site to the front of the existing shed. The natural soils encountered within the general area of the new residence consist of grey/brown sandy loam topsoil and grey to light grey fine silty sand to a depth of at least 800 mm, overlaying grey or orange clayey sands at greater depth.

The building works being undertaken include the construction of the new four bedroom residence, together with a fit-out within the south end of the shed that will be used for temporary accommodation whilst the building works for the new residence are being undertaken.

### EXISTING WASTEWATER SYSTEM

An existing wastewater system has been installed to cater for wastewater fixtures within the shed. This system comprises of a septic tank located up the slope to the south of the shed, to which wastewater from the bathroom and kitchen within the shed is pumped, using a macerator type pump. Two subsoil absorption trenches have been installed to dispose of primary treated wastewater from the septic tank, which extend towards the south east within a small paddock to the east of the driveway.

The area is elevated and slopes uniformly to the north east at about 6% grade. The existing 3200 litre capacity precast concrete septic tank is accessible, and the distribution pit at the start of each wastewater trench has been located and inspected. The location of the existing wastewater trenches is obvious due to grass growth along the full length of the higher trench. The trench dimensions are each 24 metres long and 600 - 700 mm in width, and confirmed by digging and probing.

## SITE INVESTIGATION

The existing pumped sewerage system is perfectly adequate for the fit-out of the shed to enable it to be used as temporary accommodation. The existing septic tank is suitably located and adequately sized (being 3200 litre capacity) to cater for all the wastewater fixtures from the proposed four bedroom residence.

The area (containing the two existing trenches) within the small paddock to the east of the driveway is well suited for on-site disposal of primary treated wastewater from the existing septic tank. This area has been further investigated.

## DRAINAGE

The existing/proposed wastewater disposal area is elevated and evenly graded, and is adequately drained due to the landform, being linear divergent. The proposed LAA is well clear of the drainage line that crosses the adjacent property to the north, and not directly within its catchment area due to the landform. The existing driveway has been graded to redirect surface runoff to the east and away from the wastewater trenches. The average annual rainfall for the site is 760 mm.

## SITE ASSESSMENT

A site specific assessment has been carried out for the proposed new residence and including the fixtures within the shed. Several boreholes have been excavated to determine the soil profile and to assist in the soil classification. The soils excavated were damp throughout.

A Design Wastewater Loading Rate has been estimated, based on a visual assessment of the soil profile, and reference to Table 4.2A1 of AS1547 – On site Domestic Wastewater Management. The underlying soils encountered have been classified as Category 3 Loams, moderately structured and moderately well drained; with a  $K_{sat}$  (indicative permeability) of 1.5 – 3.0 m/day. A conservative Design Loading Rate of 15 mm/day has been adopted for wastewater absorption disposal trenches.

## WASTEWATER ASSESSMENT

The assessment is based on a design wastewater volume of 150 litres/person/day, in accordance with Table 4.1 - EPA Code 891.4 (Household with standard water saving fixtures – a reliable rainwater tank water supply is available to the site). The proponent has advised that the proposed residence will contain four bedrooms, kitchen, living areas, laundry, bathrooms and toilets, with usual water saving plumbing fixtures.

The basic facilities within the shed will allow for two people, and generate a maximum wastewater loading of 200 litres/day. It is anticipated that the shed will be just occasionally used following the completion of the new residence.

The wastewater allowance for the new residence is 750 litres/day, while the wastewater allowance for occasional use of the shed (following the completion of the new residence) is 100 litres/day. The total length of 700 mm wide absorption trench required is 81 metres.

It is considered that the existing trenches are capable of safely disposing a wastewater loading of up to 400 litres/day. The site assessment indicates that the installation of an additional 48 lineal metres of wastewater trench is necessary so that the system will continue to effectively and safely dispose of domestic wastewater from the temporary accommodation as well as the new residence well into the future.

---

## CONCLUSION

Site analysis and soil sampling have indicated that the site is suitable for disposal of domestic wastewater by subsoil absorption trenches. The existing system, being a septic tank and two subsoil absorption trenches is working effectively, but will not have sufficient capacity for the overall development (including the new residence).

The installation of an additional 48 lineal metres of trench is recommended. The existing trench layout is detailed in the site plan, but two additional trenches will need to be installed within the existing small paddock.

## CONSTRUCTION DETAILS

### ***Existing and Proposed Wastewater Plumbing***

The wastewater plumbing from the existing shed has not been inspected, but it appears that all wastewater is being transferred to the existing septic tank by the macerator pump in this instance.

### ***Existing Septic Tank***

The existing septic tank has been sighted, and is of the precast reinforced concrete type and 3200 litres capacity, installed with reasonable earth cover. It is recommended that the wastewater plumber be engaged to inspect the tank to confirm that it has been manufactured in accordance with the Australian Standard AS 1546-Small Septic Tanks, with a capacity of 3200 litres, and that it has been correctly installed. The existing septic tank must be maintained in accordance with EPA Certificate of Approval CA 1.1/03. The existing tank may need to be de-sludged, but this should be confirmed in a report by the plumber.

### ***Subsoil Absorption Trenches***

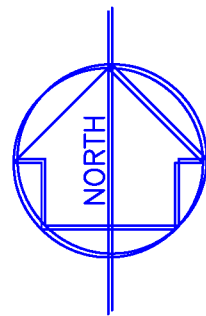
Computations in accordance with the Australian Standard AS1547 show that the existing trenches (in their current good condition) have a wastewater disposal capacity of approximately 400 litres/day, and that an additional length of 48 lineal metres of 700 mm wide absorption trench will need to be installed to safely dispose of all wastewater from the new residence.

The construction of the new trenches must be carried out in accordance with EPA Certificate of Approval CA 1.2/03. The wastewater site is evenly sloping to the north east, but the layout and levels of the system should be carefully planned by the plumber to ensure that the new trenches are installed at a nominal depth of 450 - 500 mm, and backfilled with 150 mm nominal depth of selected topsoil. Subsoil excavated from the wastewater trenches must not be disposed of by spreading over the wastewater disposal area.

The existing distribution pits will need to be inspected and repaired by the plumber, including the mortaring up of the pipes into each pit. The weir within each of the distribution pits may need to be adjusted to ensure that each trench is being fully utilised, and that wastewater is being evenly distributed.

Stormwater flows from the proposed building works and any water tanks must continue to be discharged at a point well clear of the wastewater disposal site. The runoff from driveways and surfaced areas must be directed away from the area.

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(ARBITRARY DATUM)



PROPOSED RESIDENCE

EXISTING SHED

WASTEWATER DISPOSAL AREA

LOT 2  
PS636920

LAKE VICTORIA ROAD

# SITE PLAN

SCALE 1:400

NO. 310 LAKE VICTORIA ROAD

VACANT LAND

PROPERTY BOUNDARIES ARE APPROXIMATE ONLY. FOR EXACT LOCATION CONSULT A LICENSED SURVEYOR FOR A RE-ESTABLISHMENT SURVEY

<b>STREETER</b> Civil Engineering Services Pty Ltd	OFFICE LOCATION 81-101 BROOKS ROAD BRUTHEN	DESIGNED <b>N STREETER</b>	DESIGN FILENAME CIVILCAD V5.7 236881	PROJECT <b>SITE INVESTIGATION NO. 310          LAKE VICTORIA ROAD - EAGLE POINT</b>	DRAWING SCALES 1:400
	P.O. BOX 128 BRUTHEN VIC 3885	DRAWN <b>N STREETER</b>	CHECKED <b>N STREETER</b>	PLOT FILENAME AUTOCAD 2000 236881.dwg	DATE AUG. 2023
	PHONE (03) 5157 5382 MOBILE 0409 575382	APPROVED	CLIENT	DRAWING No.	REVISION 0
					Printed 20/05/2026

Results This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

**SITE ASSESSMENT RESULTS**

Client:  
Property Address: **310 Lake Victoria Road, Eagle Point**

Date: **4-Aug-2023**

A Design Wastewater Loading Rate has been estimated, based on a visual assessment of the soil profile, and reference to Table 4.2A1 of AS1547 – On site Domestic Wastewater Management. The underlying soils encountered have been classified as Category 3 Loams, moderately structured and moderately well drained; with a Ksat (indicative permeability) of 1.5 - 3.0 m/day.  
A Design Loading Rate of 15 mm/day has been adopted for absorption disposal trenches

**SEPTIC TANK AND SUB-SOIL ABSORPTION**

The extended residence will have four bedrooms, a kitchen and living areas, laundry, bathrooms and toilets, with usual water saving plumbing fixtures. Allow for a maximum of five persons.  
Adopt design wastewater volume of 150 litres/person/day, in accordance with Table 4.1 EPA Code 891.4 (Household with standard water saving fixtures - reliable rainwater tank water supply)

The basic fixtures within the shed will allow for two people, and generate a maximum wastewater loading of 200 litres/day. It is anticipated that the shed will be just occasionally used following the completion of the new residence.

The wastewater allowance for the new residence is 750 litres/day  
The wastewater allowance for occasional use of the shed is 100 litres/day

Design Daily Flow is 850 litres/day

<b>Design Soil Percolation Rate</b>	<b>120</b>	mm/hour	estimated from soil percolation testing in
<b>Long-Term Absorption Rate</b>	<b>10.5</b>	l/m <sup>2</sup> /day	similar soils
<b>Design Loading Rate</b>	<b>15.0</b>	mm/day	
<b>Design Daily Flow</b>	<b>850</b>	litres/day	

<b>Trench Width</b>	<b>Length of absorption trench required for design daily flow</b>	
<b>300</b>	189	
<b>500</b>	113	
<b>700</b>	<b>81</b>	
<b>1000</b>	57	

**SEPTIC TANK DESIGN**

Minimum Tank Capacity	$C = (S \times P \times Y) + (P \times DF)$	=	<b>1950</b>	(litres)
where	C = effective capacity in litres			
	S = sludge/scum rate per person		80	From Table 3.1
	P = number of people using system		5	
	Frequency of use		100%	365 days/year
	Y = desludging frequency in years		3	
	DF = daily inflow (litres per person per day)		150	

**THE EXISTING SEPTIC TANK OF 3200 Litres CAPACITY WILL BE SUTABLE**

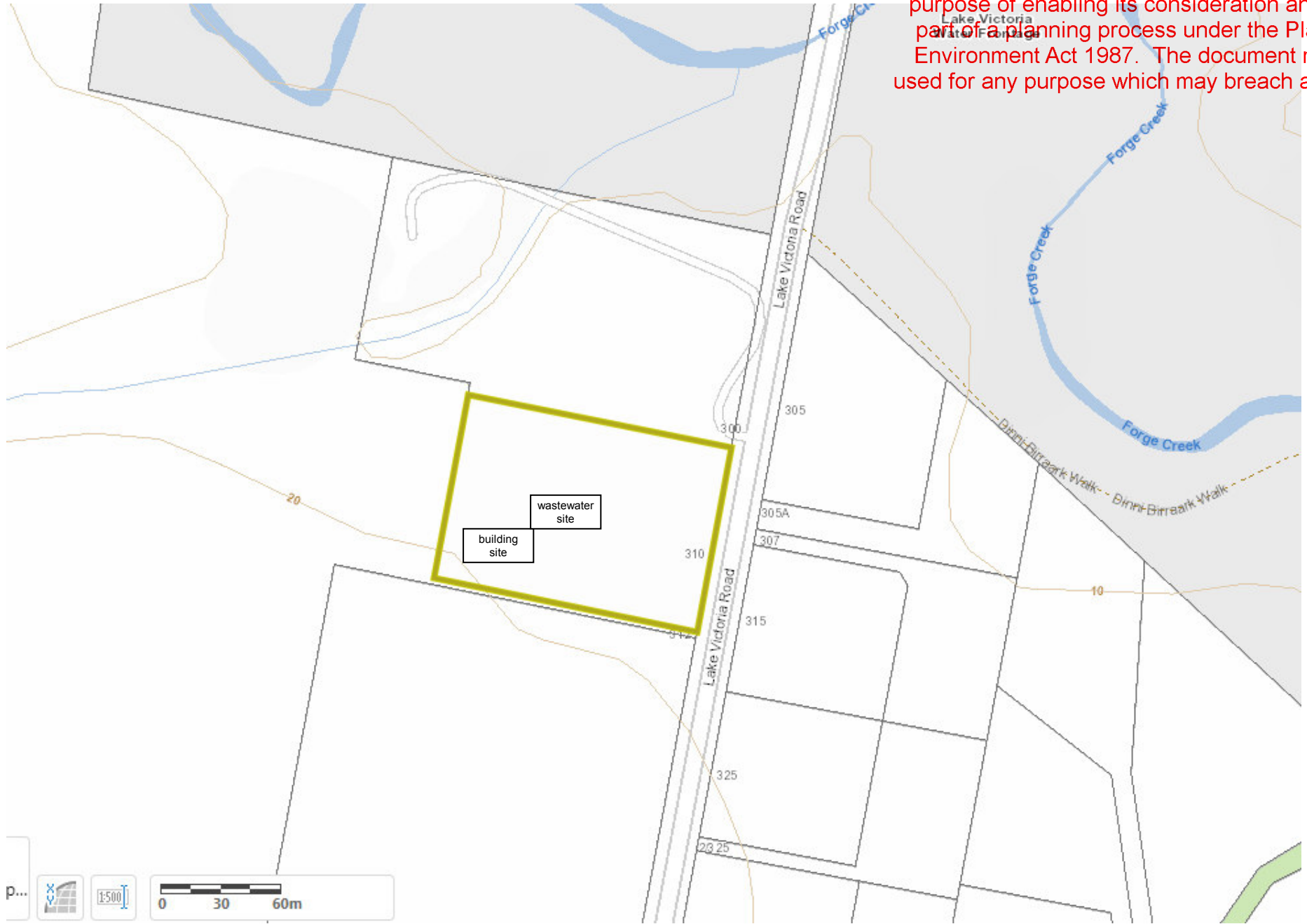
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<b>STREETER CIVIL ENGINEERING SERVICES Pty Ltd</b>	
<i>Consulting Civil Engineer</i>	
(A.C.N. 072 946 760)	
81-101 Brooks Road Bruthen Victoria. 3885      Correspondence : P.O.Box 126, Bruthen Vic 3885	
email: streetercivil@bigpond.com	Tel : (03) 5157 5362
<b>Client:</b>	<b>Job No:</b> 236881
<b>Job:</b> proposed residence	<b>Date:</b> 4-Aug-23
310 Lake Victoria Road	<b>Design:</b> Neil Streeter
Eagle Point	<b>Checked:</b> Neil Streeter

**LOG OF HAND AUGER BORES**

BORE No.	DEPTH		DESCRIPTION	REMARKS
S1	0		grey/brown sandy loam topsoil; damp	
	200		grey silty fine sand, becoming lighter in colour with depth; damp; firm	
	800		lumps of brown clay, within grey fine silty sand; dry; firm	
	1000		end of bore	
S2	0		brown sandy loam topsoil; damp	
	200		grey silty fine sand, becoming lighter in colour with depth; damp; firm	
	800		orange/tan clayey sand, becoming more clayey with depth; damp; dense	
	1100		end of bore	

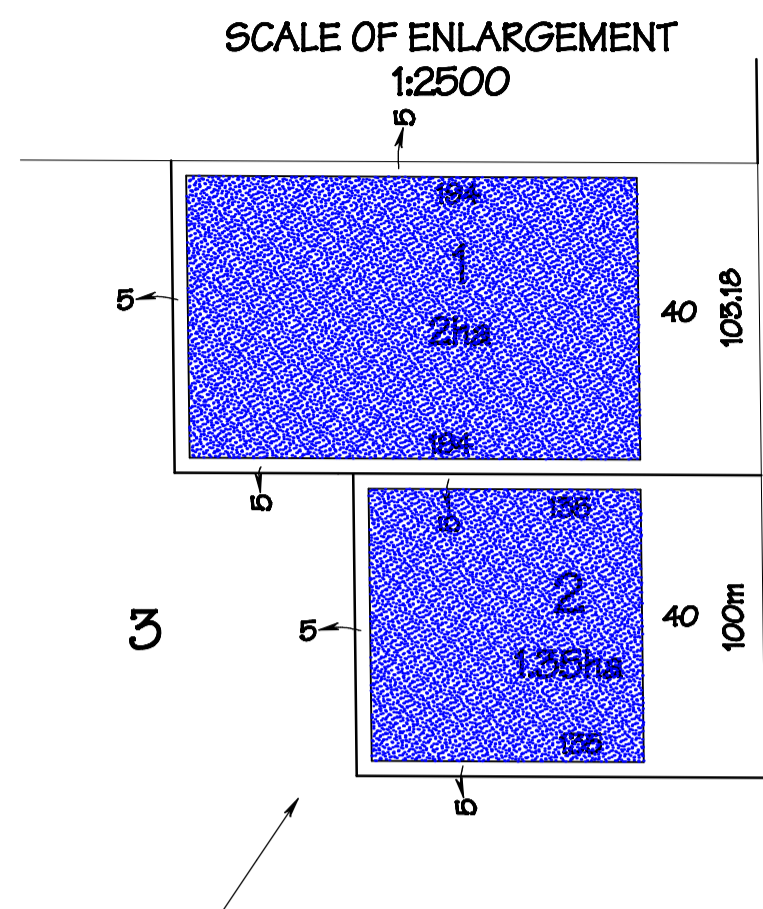
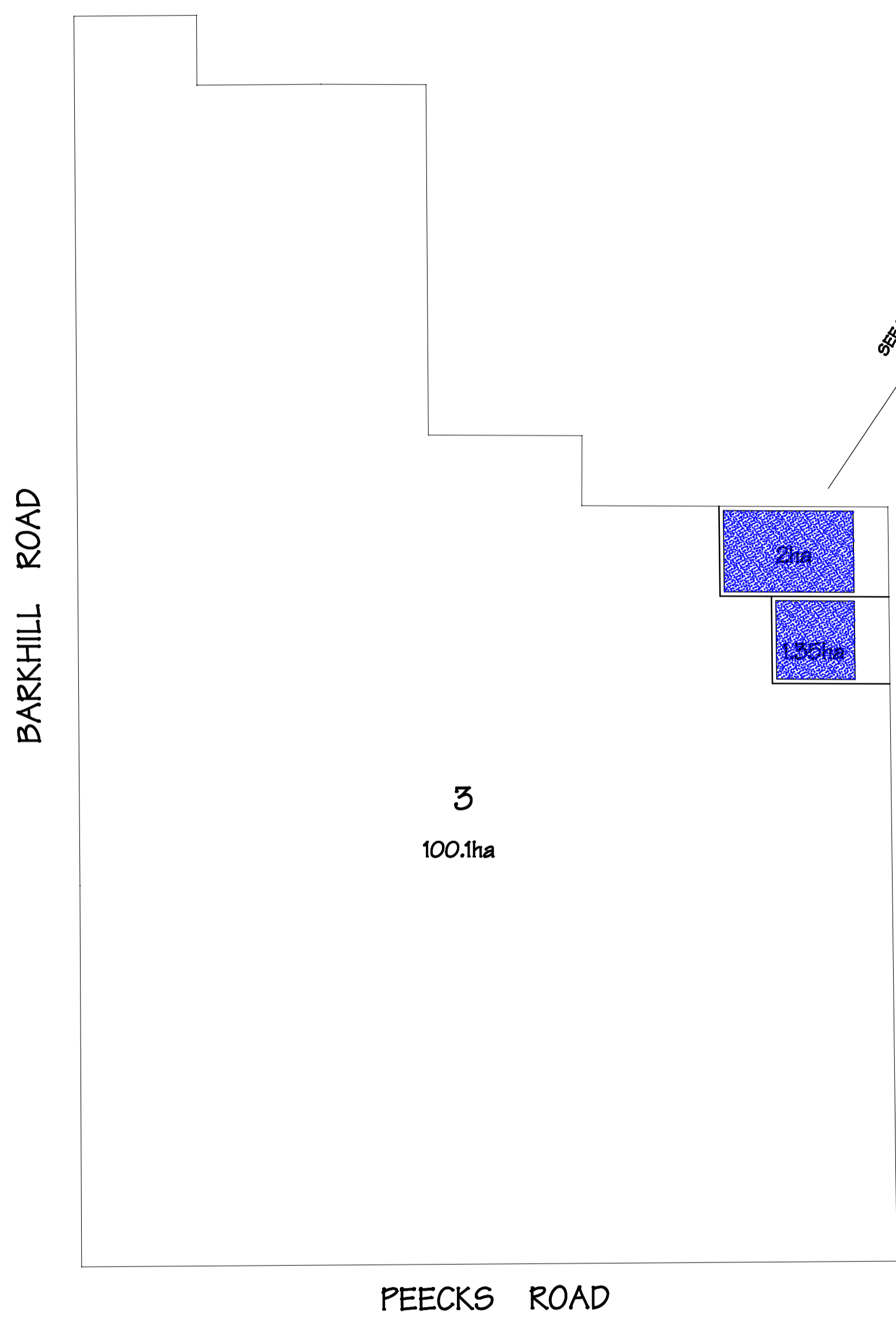
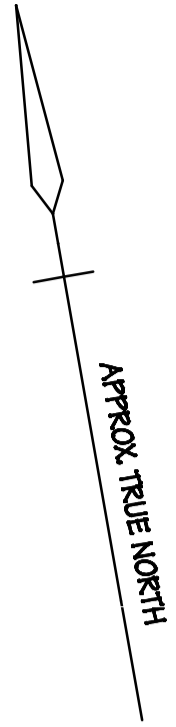
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LOCALITY PLAN

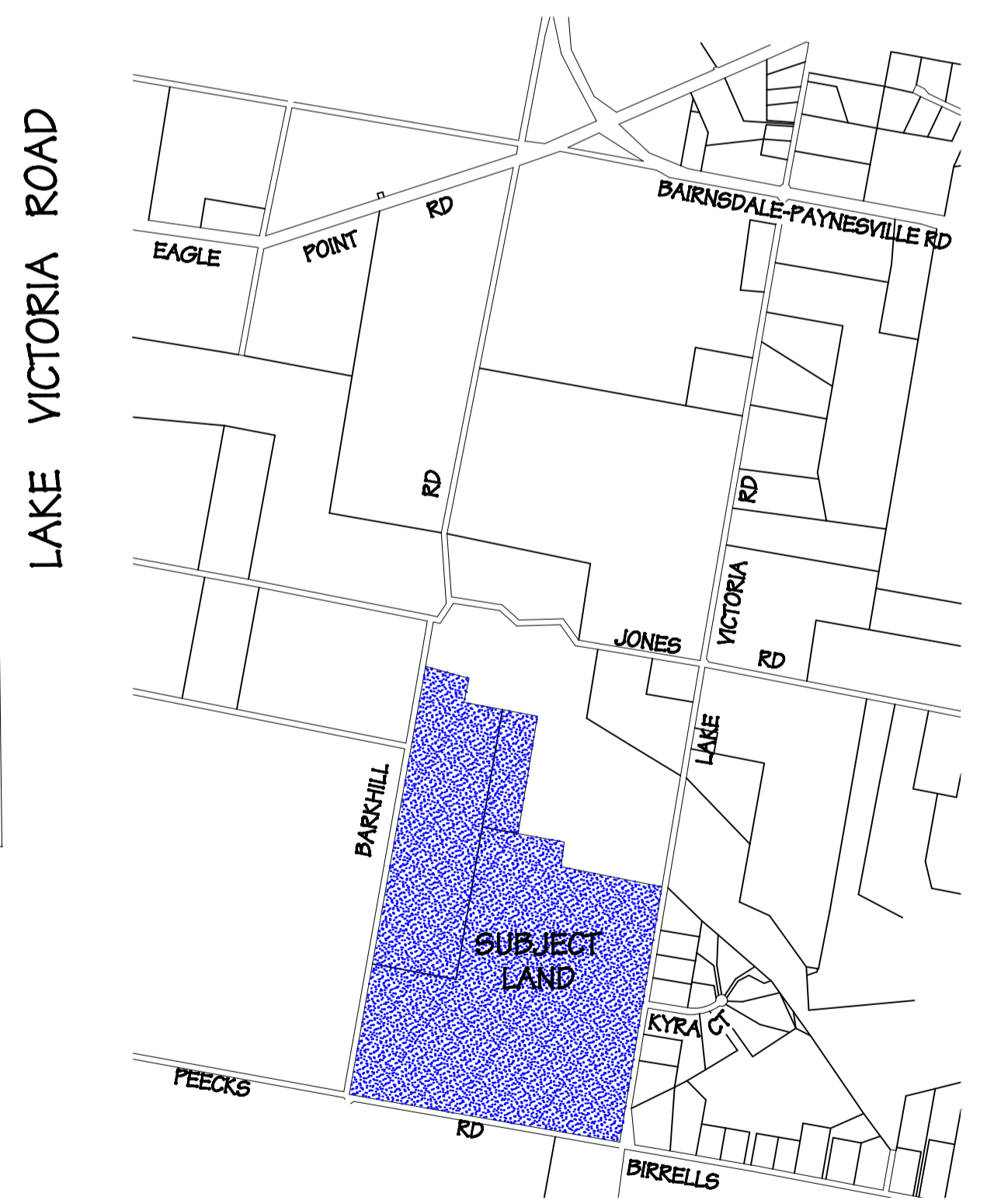
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LAKE VICTORIA ROAD

LOCALITY PLAN  
SCALE 1:20,000



DIMENSIONS ARE SUBJECT TO SURVEY AREAS ARE APPROXIMATE ONLY  DRAWN - 07/06/2006		
<b>Crowther &amp; Sadler</b> Pty. Ltd. LICENSED SURVEYORS & TOWN PLANNERS 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875 TELEPHONE (03) 5152 5011	SURVEYORS REF. <b>11168-1</b>	SCALE <b>1:5000</b>

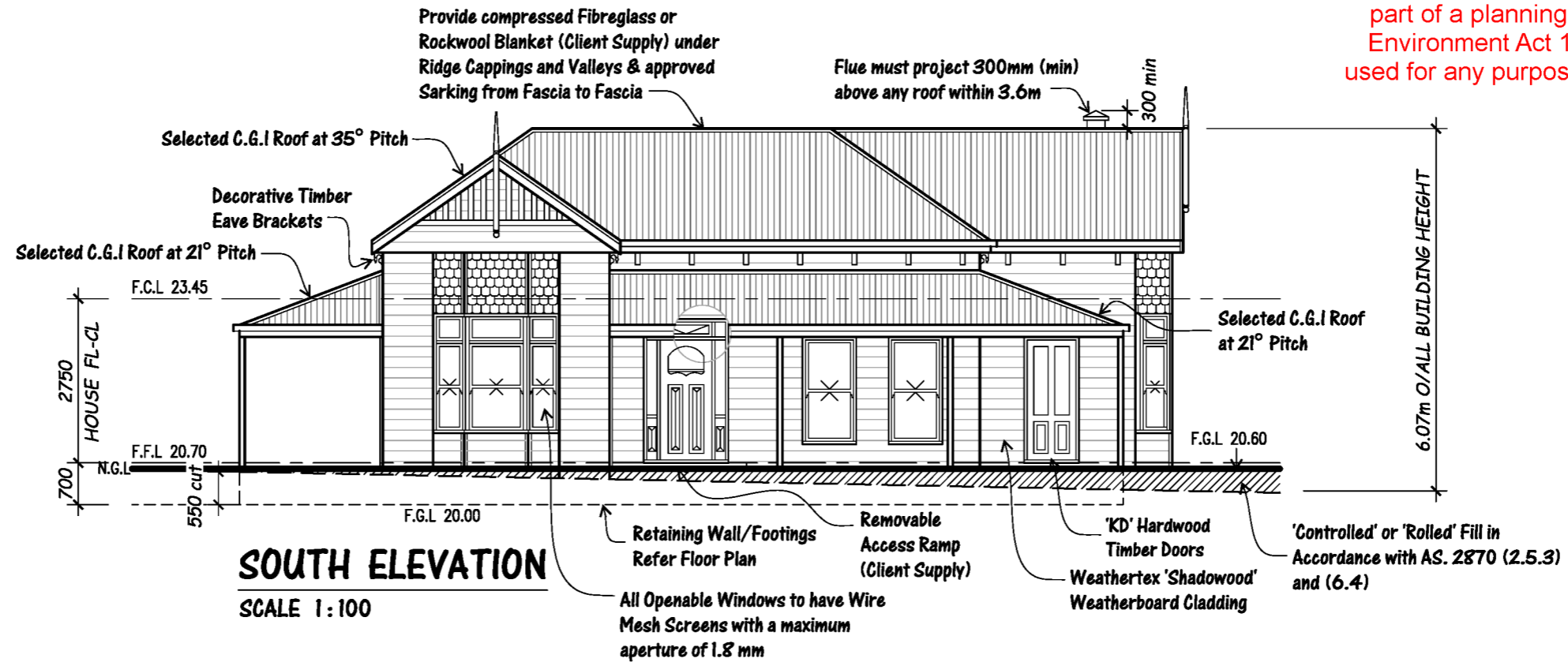
<b>BUILDING ENVELOPE PLAN</b>
PARISH OF BAIRNSDALE CROWN ALLOTMENT 173 <sup>A</sup> , 173 <sup>B</sup> & 173 <sup>C</sup>  C/T VOL 7508 FOL 163
<b>TREVOR ROBINSON</b>
LAKE VICTORIA ROAD, FORGE CREEK

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IT IS THE RESPONSIBILITY OF THE CLIENT TO CONFIRM ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCING ANY WORK.

**NOTE:**  
All Construction Methods to be in accordance with BAL - 12.5 A.S. 3959 - 2018 Construction of Buildings in Bushfire Prone Areas, Local Council and CFA requirements.

**NOTE:**  
These drawings shall be read in conjunction with any House Energy Rating Report and shall be constructed in accordance with the stamped plans endorsed by the Accredited Thermal Performance Assessor without alterations



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**PROPOSED WEATHERBOARD RESIDENCE**

**AT No.310 LAKE VICTORIA ROAD, EAGLE POINT, VIC**

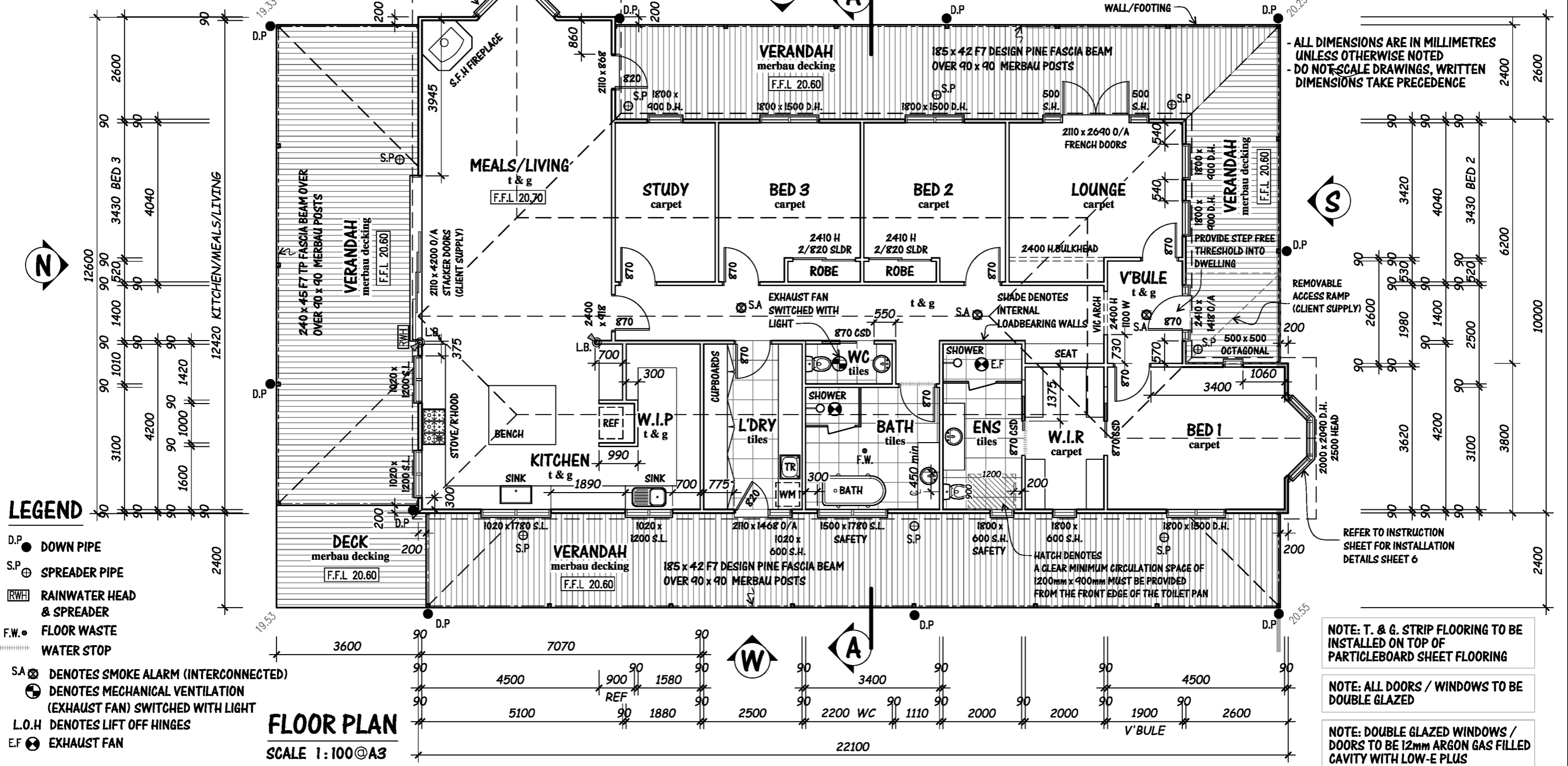
R.B.P: DP-AD 41902 | DRAWN BY: J.U | JOB No 727 | DWELLING 217.88m2 | PLOT DATE :13 Apr 2026 | SHEET, 1 of 15



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**LEGEND**

- D.P. ● DOWN PIPE
- S.P. ⊕ SPREADER PIPE
- [RW] RAINWATER HEAD & SPREADER
- F.W. ● FLOOR WASTE
- ===== WATER STOP
- SA ⊗ DENOTES SMOKE ALARM (INTERCONNECTED)
- ⊕ DENOTES MECHANICAL VENTILATION (EXHAUST FAN) SWITCHED WITH LIGHT
- L.O.H. DENOTES LIFT OFF HINGES
- E.F. ⊕ EXHAUST FAN

**FLOOR PLAN**  
SCALE 1:100 ©A3

LOADBEARING WALL LAYOUT - N.T.S.  
L.B. ⊕ CRITICAL LOADBEARING POINT  
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED  
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE

NOTE: T. & G. STRIP FLOORING TO BE INSTALLED ON TOP OF PARTICLEBOARD SHEET FLOORING  
NOTE: ALL DOORS / WINDOWS TO BE DOUBLE GLAZED  
NOTE: DOUBLE GLAZED WINDOWS / DOORS TO BE 12mm ARGON GAS FILLED CAVITY WITH LOW-E PLUS

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**PROPOSED WEATHERBOARD RESIDENCE**  
**AT No.310 LAKE VICTORIA ROAD, EAGLE POINT, VIC**

R.B.P: DP-AD 41902	DRAWN BY: J.U	JOB No 727	DWELLING 217.88m <sup>2</sup>	PLOT DATE :13 Apr 2026	SHEET, 3 of 15
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VERANDAH NOTES

2400mm STRAIGHT  
SELECTED 0.47mm THICK CORRUGATED IRON ROOFING ON:  
140 x 45 MGPIO PINE BATTENS AT 850 cts. max.  
140 x 45 MGPIO PINE RAFTERS AT 1200 cts. max.  
140 x 45 F17 HIP AND VALLEY RAFTERS  
140 x 45 F7 TP WALL PLATE  
RAFTERS FIXED TO 185 x 42 F7 DESIGN PINE FASCIA BEAM CHECKED INTO 90 x 90 MERBAU POSTS  
\*NOTE: UNDERSIDE OF FASCIA BEAM TO LINE UP LEVEL WITH 2110 WINDOW HEADS

ROOFING  
SELECTED CORRUGATED IRON ROOFING AT 35° PITCH ON PREFABRICATED ROOF TRUSSES

Gutters and Downpipes to Comply with NCC 2022 Vol.2 Part H2D6  
Installation of Valley Gutters and Overflow  
Measures to be in Accordance with ABCB Housing Provisions Part 7.4.4 or AS/NZS 3500.3

PREFABRICATED WALLFRAME AND ROOF TRUSSES COMPUTATIONS (INCLUDING BRACING AND LINTEL DESIGNS) PROVIDED TO APPROPRIATE AUTHORITIES PRIOR TO FRAME INSPECTION

VERANDAH NOTES (READ AVAILABLE FOR THE SOLE CONSIDERATION AND REVIEW AS PART OF THE PLANNING AND BUILDING PROCESS UNDER THE Planning and Environment Act 1987. The document must not be used for any purpose which may infringe any copyright.

ROOF TRUSSES  
PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS TO COMPLY WITH A.S. 1170 1 AND 2 - 2021 A.S. 1720, A.S. 1644

ROOFING ON:  
140 x 45 MGPIO PINE BATTENS AT 1200 cts. max.  
140 x 45 MGPIO PINE RAFTERS AT 1500 cts. max.  
140 x 45 F17 HIP AND VALLEY RAFTERS  
140 x 45 F7 TP WALL PLATE  
RAFTERS FIXED TO 240 x 45 F7 TREATED PINE FASCIA BEAM CHECKED INTO 90 x 90 MERBAU POSTS  
\*NOTE: UNDERSIDE OF FASCIA BEAM TO LINE UP LEVEL WITH 2110 WINDOW HEADS

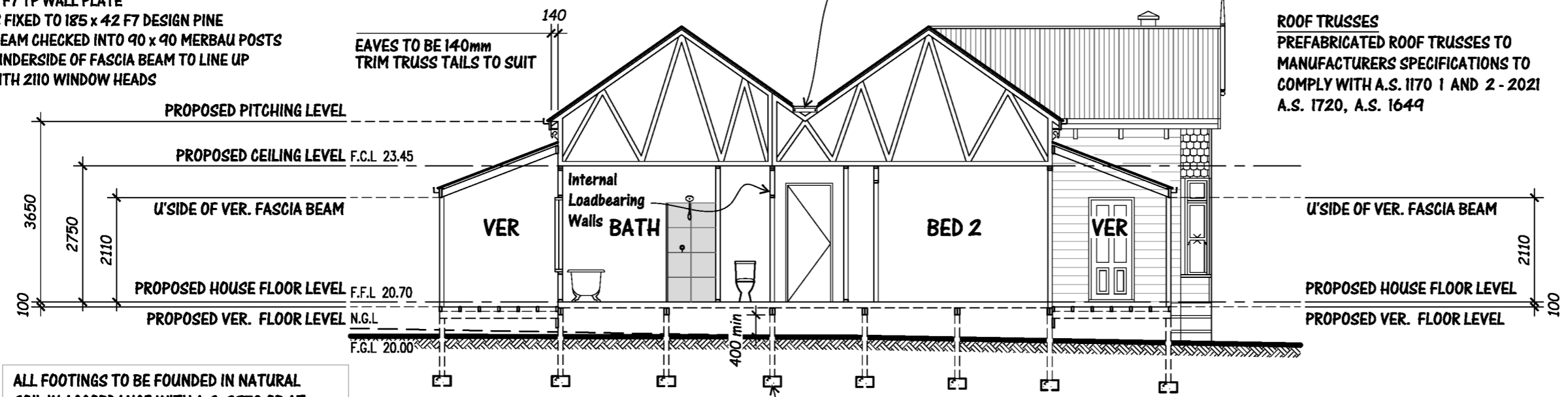
WALL FRAMES  
PREFABRICATED WALL FRAMES MANUFACTURED TO COMPLY WITH A.S. 1684.2 - 2021

NCC 2022 Vol.2 PART H4D2 - WET AREAS  
WET AREAS TO COMPLY WITH AS3740 or ABCB HOUSING PROVISIONS PART 10.2 - WET AREAS ARE TO BE PROTECTED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS OF 10.2.1 TO 10.2.6 OF THE ABCB HOUSING PROVISIONS

NCC 2022 Vol.2 PART H4D3 - MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS  
(A) BUILDING ELEMENTS IN WET AREAS ARE WATER RESISTANT OR WATERPROOF IN ACCORDANCE WITH 10.2.1 TO 10.2.6 OF THE ABCB HOUSING PROVISIONS; AND  
(B) THEY COMPLY WITH EITHER-  
(i) AS3740 AND 10.2.12 OF THE ABCB HOUSING PROVISIONS; OR  
(ii) 10.2.7 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS

NCC 2022 Vol.2 PART H4P7 - CONDENSATION AND WATER VAPOUR MANAGEMENT

ABCB HOUSING PROVISIONS PART 10.8.2 - EXHAUST SYSTEMS  
EXHAUST SYSTEMS TO ACHIEVE 25L/S FOR BATHROOM AND SANITARY COMPARTMENTS. 40L/S FOR KITCHEN AND LAUNDRY  
EXHAUST FROM A KITCHEN RANGE HOOD, BATHROOM, SANITARY COMPARTMENT, LAUNDRY, AND WHERE A VENTING CLOTHES DRYER IS INSTALLED MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR



SECTION : A - A

SCALE 1:100

SOIL CLASSIFICATION : 'M'  
SITE CLASSIFICATION : 'P' DUE TO FILL  
(REFER TO SPECIFIC RECOMMENDATIONS IN SOIL REPORT)

SOIL REPORT SUPPLIED BY: STREETER CIVIL ENGINEERING  
REPORT NO: 236881  
DATE: 31 JULY 2025

WIND CLASSIFICATION : N2- 40m/s

ALL FOOTINGS TO BE FOUNDED IN NATURAL SOIL IN ACCORDANCE WITH A.S. 2870 OR AT FOUNDING DEPTHS RECOMMENDED IN SOIL REPORT WHICHEVER IS GREATER

- NOTE:  
Protection From Subterranean Termites To Be In Accordance With AS.3660

NOTE:  
All Construction Methods to be in accordance with BAL - 12.5 A.S. 3959 - 2018 Construction of Buildings in Bushfire Prone Areas, Local Council and CFA requirements.

GENERAL NOTES

- ALL WALL AND ROOF FRAMING , BRACING AND TIE-DOWNS TO BE IN ACCORDANCE WITH AS.1684.2-2021 .  
- PROTECTION FROM SUBTERRANEAN TERMITES TO BE IN ACCORDANCE WITH AS.3660.  
- SUB-FLOOR VENTILATION TO BE PROVIDED AT A RATE OF 6000mm² VENT PER METRE EXTERNAL WALL.  
- WALL SARKING TO COMPLY WITH AS.4200.1. INSTALLED TO AS.4200.2 AND BE VAPOUR PERMEABLE.  
- EXHAUST SYSTEMS TO ACHIEVE 25L/S FOR BATHROOM AND SANITARY COMPARTMENTS. 40L/S FOR KITCHEN AND LAUNDRY  
EXHAUST FROM A KITCHEN RANGE HOOD, BATHROOM, SANITARY COMPARTMENT, LAUNDRY, AND WHERE A VENTING CLOTHES DRYER IS INSTALLED MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR

- ALL SUB-FLOOR DETAILS AND FOOTINGS TO BE IN ACCORDANCE WITH AS.2870-2011.  
- ALL GLAZING TO COMPLY WITH AS.1288-2021 and AS.2047.  
- SMOKE ALARM TO BE INTERCONNECTED AND HARD WIRED WITH BATTERY BACKUP AND COMPLY WITH AS.3786.  
- THERMAL INSULATION: R2.5 FLOOR R2.5 TO EXTERNAL WALLS R2.0 TO INTERNAL WALLS R6.0 TO CEILINGS R1.3 TO ROOF  
- STAIRS/STEPS - MIN. 115 RISER MAX. 190 RISER MIN. 240 GOING MAX. 355 GOING. TREADS TO HAVE NON-SLIP RESISTANCE NOT LESS THAN P4 OR R11 (WET SURFACE AREA NCC 3.9.1.3 SLIP RESISTANCE CLASSIFICATION)  
125mm MAX. GAP BETWEEN OPEN RISERS.  
- HANDRAILS, MINIMUM 1.04m IN HEIGHT TO BE PROVIDED WHERE VERANDAH FLOOR EXCEEDS 1.0m ABOVE GROUND LEVEL. WHERE VERANDAH FLOOR EXCEEDS 4.0m ABOVE GROUND LEVEL, HORIZONTAL ELEMENTS WITHIN BALUSTRADE BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING. MAXIMUM 125mm BETWEEN RAILS.

- WET AREAS TO BE IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS PART 10.2  
A WATERSTOP ACROSS DOOR OPENINGS MUST BE PROVIDED BETWEEN THE FLOORING IN THE WET AREA ROOMS AND ADJACENT FLOORING AND WATERPROOF FLASHING MUST BE PROVIDED TO ALL WALL/FLOOR JUNCTIONS AROUND THE PERIMETER OF THE ROOMS  
-PROVIDE AN IMPERVIOUS SUBSTRATE AND SELECT SURFACE FINISH TO FLOORS WITHIN 1500mm OF AN UNENCLOSED SHOWER AND SAME TO WALLS AT 1800mm ABOVE FLOORS AND 150mm ABOVE BATH, SINKS, BASINS AND TROUGH SPLASH BACKS AND THE LIKE.  
- ROOF DRAINAGE AND EFFLUENT WASTES AND PIPES TO BE IN ACCORDANCE WITH AS.2180, AS.3500 - 2021 AND BE CONNECTED TO LEGAL POINT OF DISCHARGE.



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PROPOSED WEATHERBOARD RESIDENCE

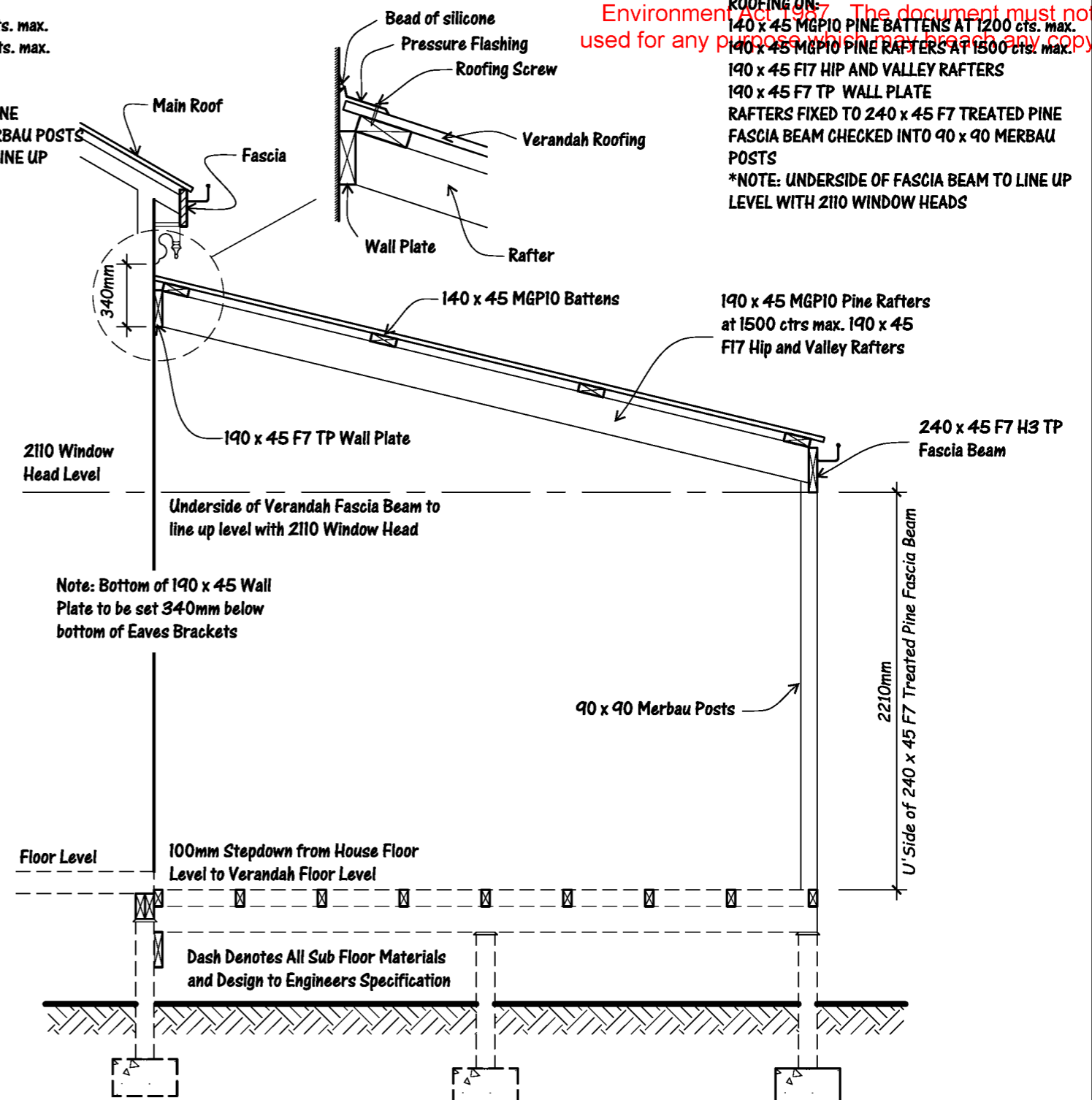
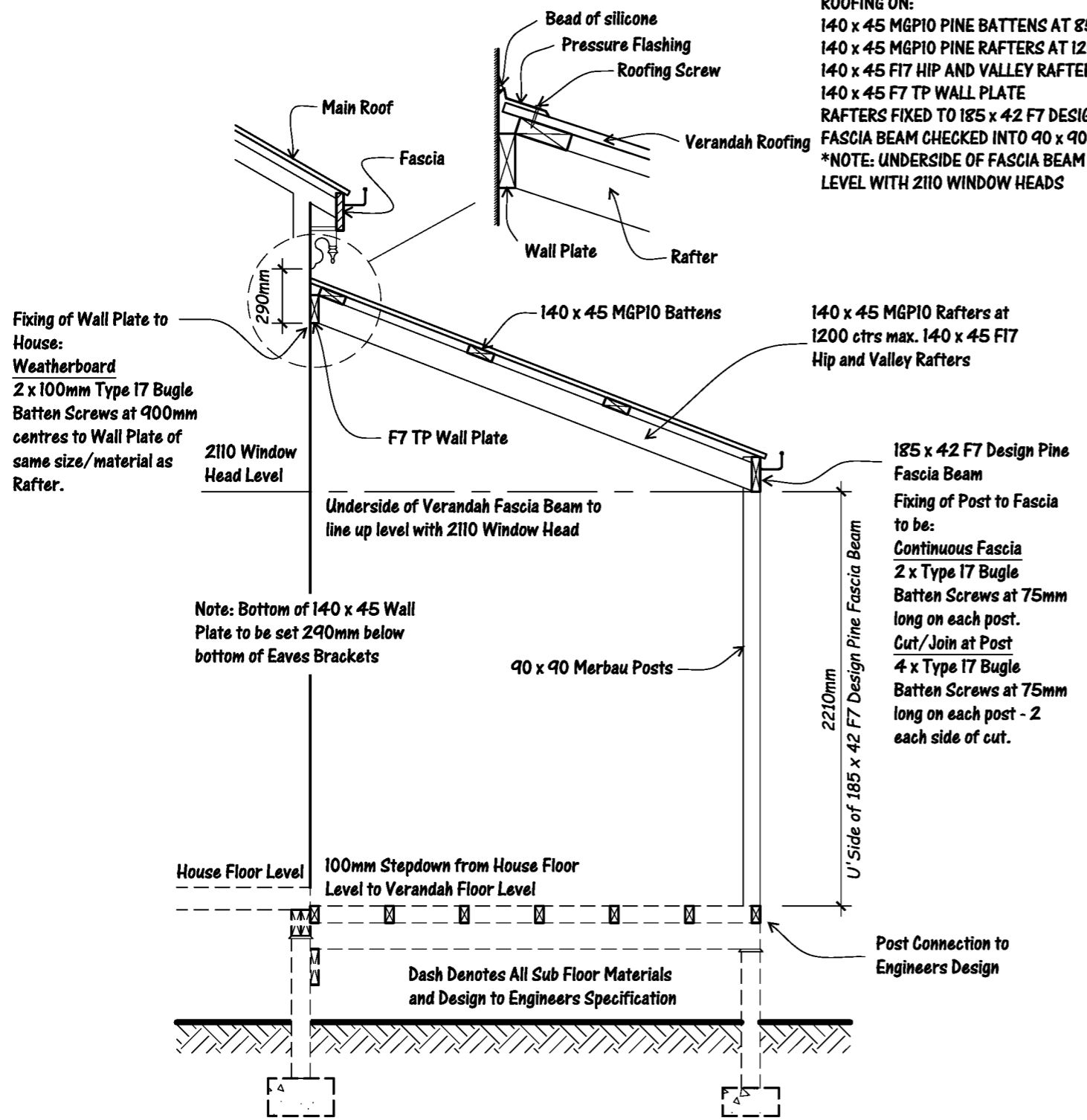
AT No.310 LAKE VICTORIA ROAD, EAGLE POINT, VIC

R.B.P: DP-AD 41902 DRAWN BY: J.U JOB No 727 DWELLING 217.88m2 PLOT DATE :13 Apr 2026 SHEET 4 of 15

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**VERANDAH NOTES**  
 2400mm STRAIGHT  
 SELECTED 0.47mm THICK CORRUGATED IRON  
 ROOFING ON:  
 140 x 45 MGP10 PINE BATTENS AT 850 cts. max.  
 140 x 45 MGP10 PINE RAFTERS AT 1200 cts. max.  
 140 x 45 F17 HIP AND VALLEY RAFTERS  
 140 x 45 F7 TP WALL PLATE  
 RAFTERS FIXED TO 185 x 42 F7 DESIGN PINE  
 FASCIA BEAM CHECKED INTO 90 x 90 MERBAU POSTS  
 \*NOTE: UNDERSIDE OF FASCIA BEAM TO LINE UP  
 LEVEL WITH 2110 WINDOW HEADS

**VERANDAH NOTES (REAR)**  
 3600mm STRAIGHT  
 SELECTED 0.47mm THICK CORRUGATED IRON  
 ROOFING ON:  
 140 x 45 MGP10 PINE BATTENS AT 1200 cts. max.  
 140 x 45 MGP10 PINE RAFTERS AT 1500 cts. max.  
 190 x 45 F17 HIP AND VALLEY RAFTERS  
 190 x 45 F7 TP WALL PLATE  
 RAFTERS FIXED TO 240 x 45 F7 TREATED PINE  
 FASCIA BEAM CHECKED INTO 90 x 90 MERBAU  
 POSTS  
 \*NOTE: UNDERSIDE OF FASCIA BEAM TO LINE UP  
 LEVEL WITH 2110 WINDOW HEADS



**2400 WIDE VERANDAH DETAILS**  
 NOT TO SCALE

**3600 WIDE VERANDAH DETAILS**  
 NOT TO SCALE

Note: Refer to Instruction Manual for Verandah Corner Formation Details



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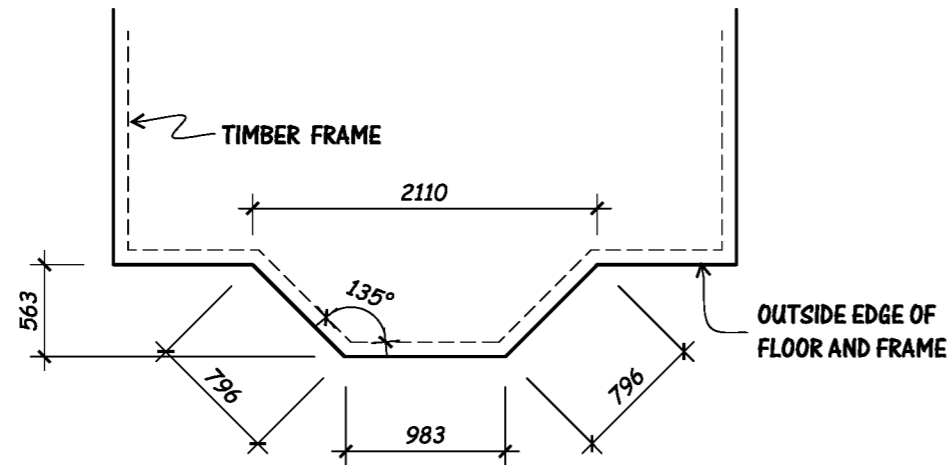
**PROPOSED WEATHERBOARD RESIDENCE**

**AT No.310 LAKE VICTORIA ROAD, EAGLE POINT, VIC**

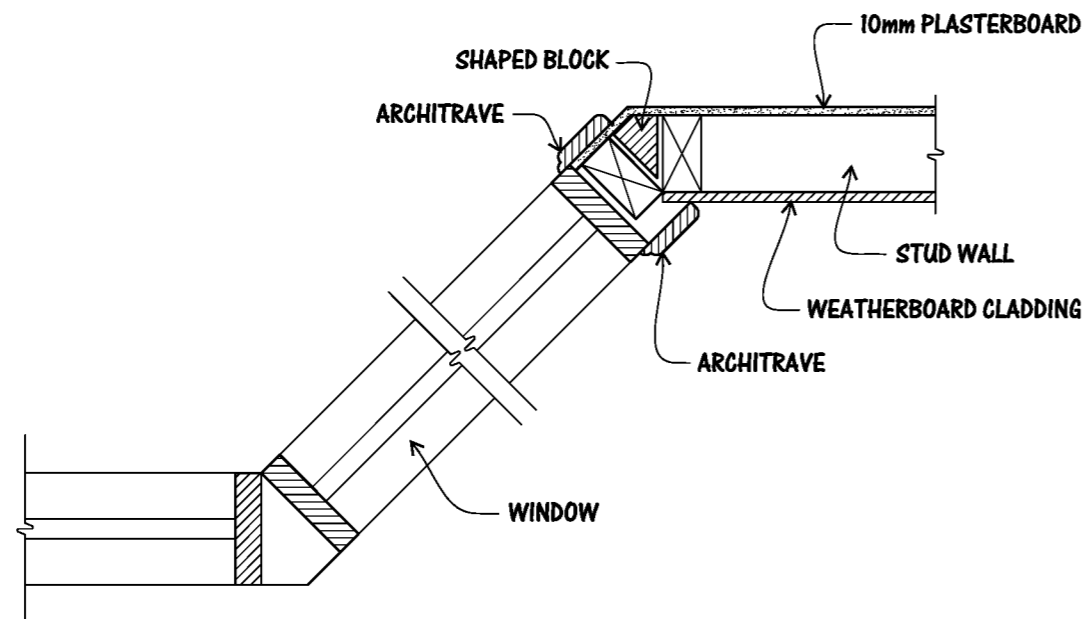
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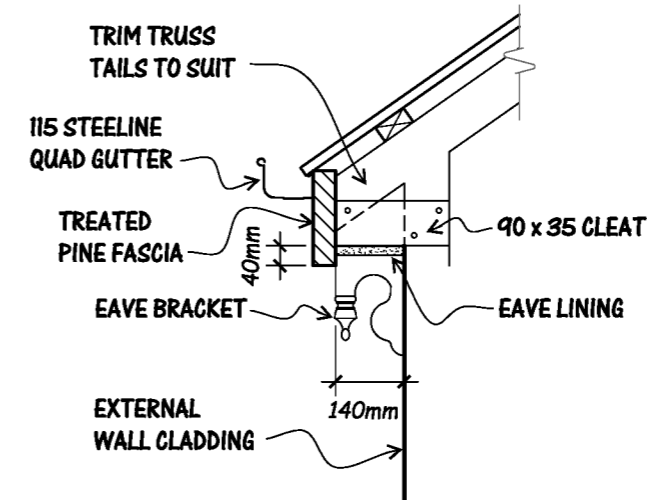
### VICTORIAN BAY WINDOW DETAILS - Weatherboard Cladding



### BAY WINDOW SUB-FLOOR DETAIL Weatherboard Cladding



### BAY WINDOW FRAMING DETAIL Weatherboard Cladding



WEATHERBOARD:  
ALLOW 150mm BETWEEN FRAME AND  
INSIDE OF FASCIA

### EAVE DETAILS NOT TO SCALE



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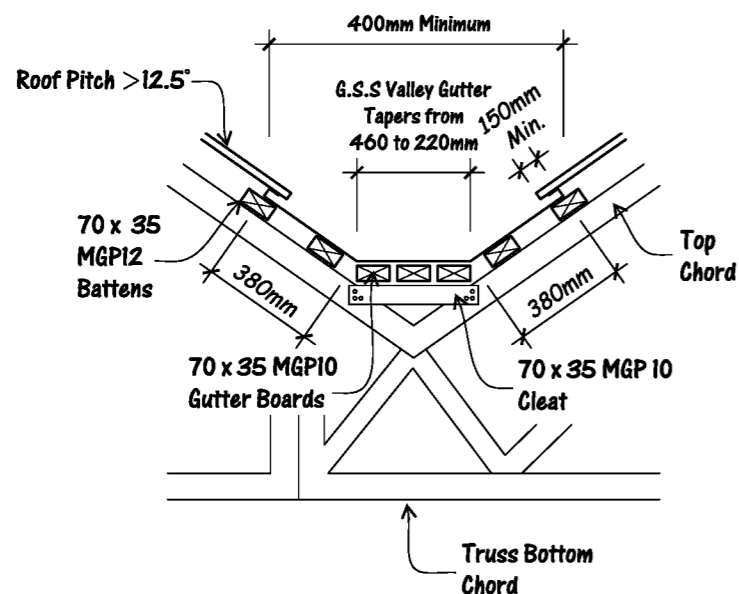
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**ROOF PLUMBING AND DRAINAGE NOTE**

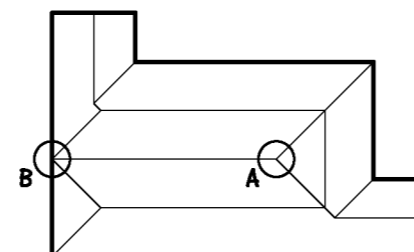
Gutters and Downpipes to Comply with NCC 2022 Vol.2 Part H2D6

Installation of Valley Gutters and Overflow Measures to be in Accordance with ABCB Housing Provisions Part 7.4.4 or AS/NZS 3500.3

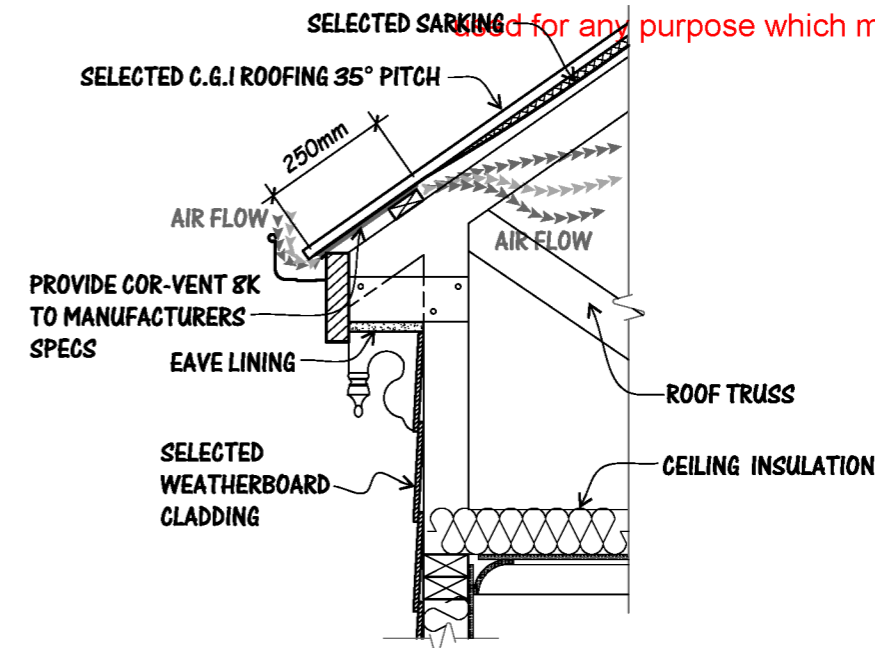


**VALLEY GUTTER DETAILS**

NOT TO SCALE



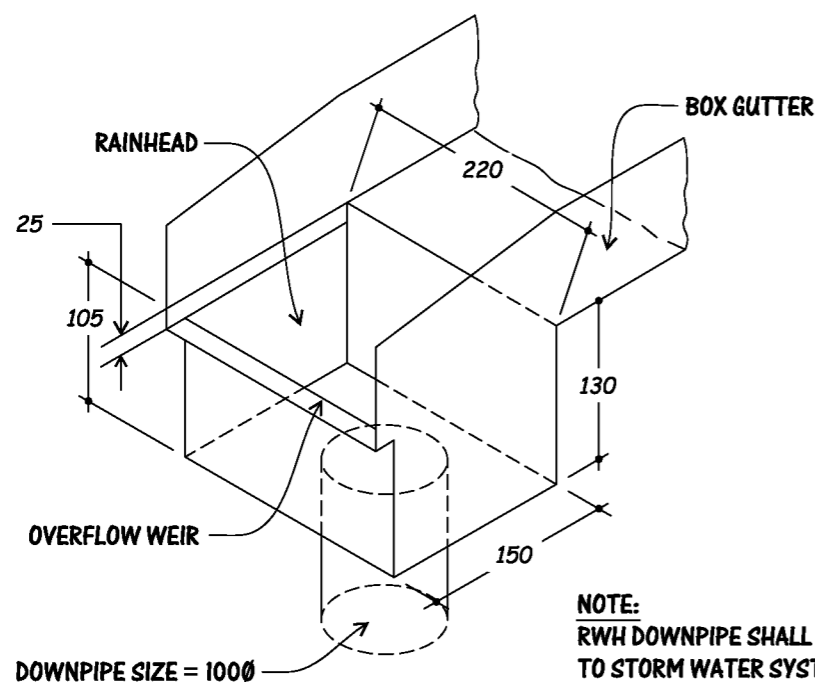
VALLEY GUTTER TO FALL FROM POINT A TO POINT B



NCC VENTILATION REQUIREMENTS  
(REFER TABLE 10.8.3)  
ROOF PITCH ≥15° TO <75°  
7000mm<sup>2</sup>/m PROVIDED AT THE EAVES

**LOW LEVEL ROOF VENTILATION DETAILS**

NOT TO SCALE



NOTE:  
RWH DOWNPIPE SHALL BE CONNECTED TO STORM WATER SYSTEM

**STANDARD RAINHEAD DETAILS**

NOT TO SCALE (AS PER FIGURE 12 OF AS3500.3)

**10.8.3 - NCC ROOF VENTILATION REQUIREMENT CALCULATION**

Roof Pitch = 35°  
Longest Horizontal Dimension = 22.1m  
Ventilation Opening Required - Low Level  
Calculations of Minimum Ventilation Opening Area Requirements for Low and High Level.  
The Vent Device Calculations Must Meet or Exceed These Values.  
• Low Level 2 x 7000mm<sup>2</sup> x 22.1m (Longest Horizontal Dimension of the Roof) = 309,400mm<sup>2</sup>  
• High Level 2 x 5000mm<sup>2</sup> x 22.1m (Longest Horizontal Dimension of the Roof) = 221,000mm<sup>2</sup>



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**PROPOSED WEATHERBOARD RESIDENCE**

**AT No.310 LAKE VICTORIA ROAD, EAGLE POINT, VIC**

R.B.P: DP-AD 41902 | DRAWN BY: J.U | JOB No 727 | DWELLING 217.88m<sup>2</sup> | PLOT DATE :13 Apr 2026 | SHEET: 7 of 15

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**ENERGY RATING REQUIREMENTS**

Provide rainwater tank with a minimum capacity of 2000 litres and a minimum roof catchment of 50m<sup>2</sup>. The tank is to be connected to the sanitary flushing system.

- Draught Seal External Doors and Windows.
- Weatherstrip Entry Door.
- Draught Seal all Doors to Utility Rooms ie. Bathroom, W.C. & L'dry.
- Draught Seal all gaps and cracks around Door and Window frames.
- Provide R2.5 Thermal Insulation to Floors
- Provide R2.0 Thermal Insulation to Internal Walls.
- Provide R2.5 Thermal Insulation to External Walls.
- Provide R6.0 Thermal Insulation to Ceiling.
- Provide R1.3 Thermal Insulation to Roof.
- Provide Foil Wrap (anti-glare) to outside walls and under roofing.
- Windows where specified on plan to be Double Glazed.
- All internal lighting not to exceed 5 watts per m<sup>2</sup>
- All external lighting not to exceed 4 watts per m<sup>2</sup>

**NOTE:**

These drawings shall be read in conjunction with any House Energy Rating Report and shall be constructed in accordance with the stamped plans endorsed by the Accredited Thermal Performance Assessor without alterations

**ARTIFICIAL LIGHTING CALCULATORS**

Artificial Lighting must not exceed the following;

House Floor Area	217.88 m <sup>2</sup> x 5Wm <sup>2</sup>
Watts Allowed =	1089 Watts
Verandah Floor Area	151.44 m <sup>2</sup> x 4Wm <sup>2</sup>
Watts Allowed =	606 Watts
Garage Floor Area	64.00 m <sup>2</sup> x 3Wm <sup>2</sup>
Watts Allowed =	192 Watts

**ROOF TRUSS AND WALL FRAME INFORMATION**

**PREFABRICATED WALLFRAME AND ROOF TRUSS COMPUTATIONS PROVIDED TO APPROPRIATE AUTHORITIES PRIOR TO FRAME INSPECTION**

Radiata Wall Frames Built to AS.1684-2-2021 Timber Framing Code

**EXTERNAL AND LOADBEARING WALLS**

Bottom Plates 90 x 45 MGP 10  
 Top Plates 90 x 45 MGP 10 and 90 x 45 MGP 10 Ribbon Plate  
 Studs 90 x 35 MGP 10 at 450 cts  
 Noggings 90 x 35 MGP 10 at 1350 max. ctrs

**INTERNAL NON-LOADBEARING WALLS**

Bottom Plate 90 x 45 MGP 10  
 Top Plate 90 x 45 MGP 10  
 Studs 90 x 35 MGP 10 at 450 cts  
 Noggings 90 x 35 MGP 10 at 1350 max. ctrs

**TRUSSES: To suit the following**

Standard cut off trusses and valley sets at 900 cts  
 Bracing of tie down information as to AS.1684, designed to suit terrain category and wind loadings as nominated.

**\*NOTE**

Prefabricated wallframe and roof truss computations provided to appropriate authorities prior to frame inspection.  
 Wall Frames and Roof Trusses to be Termite Resistant Structural Pine.

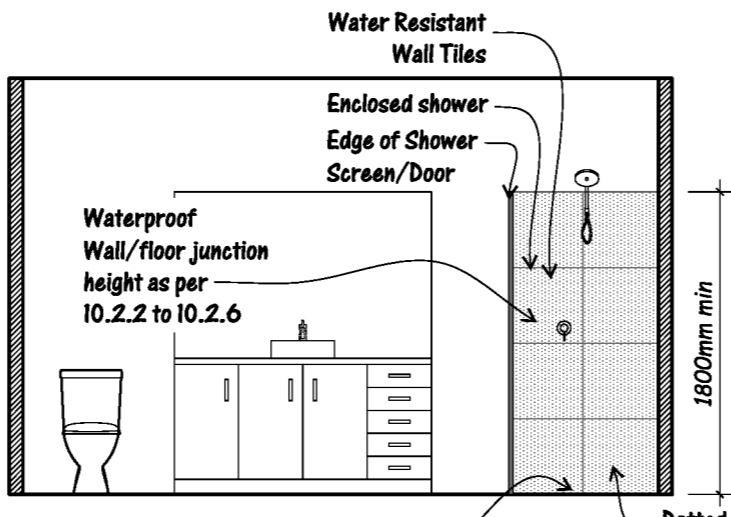
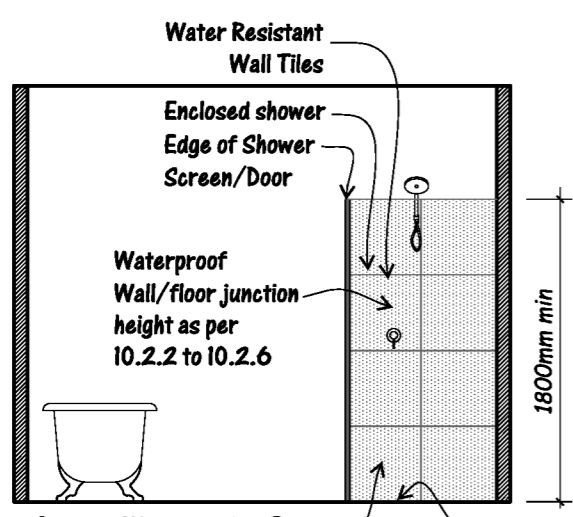
<b>BUSH FIRE ATTACK LEVEL (BAL) - 12.5</b>	
Tested Systems	AS 1530.8.1 at 12.5 kw/m <sup>2</sup>
Timber Summary	Window joinery - 650 kg/m <sup>3</sup> Remainder - 750 kg/m <sup>3</sup>
Roof	- Fully sarked (Flammability index not more than 5) - Foil-backed insulation blankets may be installed over battens - Gaps greater than 3 mm to be sealed with (a) Mesh with a max 2 mm aperture made of corrosion resistant steel, bronze or aluminum or (b) Mineral wool or (c) Other non-combustible material
Windows	- Behind bushfire shutters - NR, or - Behind screens - NR, or - Less than 400 mm off horz surface Frames (a) Bushfire-resisting timber or (b) Timber species from E2 or (c) Metal or (d) Metal reinf PVC-U Glazing : 4 mm Grade A safety and openable part screened - Greater than 400 mm off horz surface - openable part screened
External Doors	(Side Hung) - Behind bushfire shutters - NR, or - Behind - NR, or - Unglazed Door Joinery (a) Non-combustible or (b) Solid having min thickness of 35 mm for the lower 400 mm or (c) Hollow core with a non-combustible kickplate for the lower 400 mm - Glazed Door Glazing : as per windows Joinery less than 400 mm from horz surface (a) Bushfire-resisting timber or (b) Timber species from E2 or (c) Metal or (d) Metal reinf PVC-U Joinery greater than 400 mm from horz surface - NR - Door Jambs Less than 400 mm from horz surface (a) Bushfire-resisting timber or (b) Timber species from E2 or (c) Metal or (d) Metal reinf PVC-U Greater than 400 mm from horz surface - NR
	Sliding door - Behind bushfire shutters - NR, or - Behind screens - NR, or - Glaze door - grade A safety glass Joinery less than 400 mm from horz surface (a) Bushfire-resisting timber or (b) Timber species from E2 or (c) Metal or (d) Metal reinf PVC-U
External Walls	<u>Light-weight Cladding</u> - Any Cladding within 400 mm from a horz surface (a) Non-combustible material or (b) Fibre-cement min 6 mm thick or (c) Bushfire-resisting timber or (d) Timber species listed in E1
Deck, ramps etc	Enclosed - Wall enclosed subfloor deck space first 400 mm from horz surface is to be same as walls above - Supports - NR - Framing - NR - Decking - less than 300 mm from glazed element is to be (a) Non-combustible (b) Bushfire resisting timber (c) Timber species from E1 Unenclosed - Supports - NR - Framing - NR - Decking - less than 300 mm from glazed element is to be (a) Non-combustible (b) Bushfire resisting timber (c) Timber species from E1

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NCG 2022 Vol.2 PART H4D2 - MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS  
(A) BUILDING ELEMENTS IN WET AREAS ARE WATER RESISTANT OR WATERPROOF IN ACCORDANCE WITH 10.2.1 TO 10.2.6 OF THE ABCB HOUSING PROVISIONS; AND  
(B) THEY COMPLY WITH EITHER:  
(i) AS3740 AND 10.2.12 OF THE ABCB HOUSING PROVISIONS; OR  
(ii) 10.2.7 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS

NCG 2022 Vol.2 PART H4D2 - WET AREAS  
WET AREAS TO COMPLY WITH AS3740 or ABCB HOUSING PROVISIONS PART 10.2 - WET AREAS ARE TO BE PROTECTED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS OF 10.2.1 TO 10.2.6 OF THE ABCB HOUSING PROVISIONS

**ABCB HOUSING PROVISIONS PART 10.2.3 AREA OUTSIDE SHOWER AREA**  
(1) FOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET FLOORING, THE FLOOR OF THE ROOM MUST BE WATER RESISTANT  
(2) FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER BASED FLOORING MATERIALS, THE FLOOR OF THE ROOM MUST BE WATERPROOFED - NOT APPLICABLE  
(3) WALL/FLOOR JUNCTIONS MUST BE:  
(A) WATERPROOFED WITH DAVCO K10 PLUS OR EQUIVALENT, AND  
(B) WHERE A FLASHING IS USED, THE HORIZONTAL LEG MUST NOT BE LESS THAN 40mm



Dotted Denotes Waterproofing Entire Shower Wall and to 1800mm High Above Floor Substrate

Area of shower floor is required to be waterproofed and drained (falls between 1:60 and 1:80), walls to be water resistant and junctions and penetrations to be water proofed

Dotted Denotes Waterproofing Entire Shower Wall and to 1800mm High Above Floor Substrate

**BATH - ELEVATION A**

SCALE 1:50

**ENSUITE - ELEVATION A**

SCALE 1:50

Wall Adjoining Vessels (eg Sinks, Basins, Laundry Tubs), Walls Must be Water Resistant to a Height of Not Less Than 150mm Above The Vessel, For The Extent of The Vessel, Where The Vessel is Within 75mm of The Wall. Waterproof Wall Junctions Where a Vessel is Fixed to The Wall. Waterproof Tap and Spout Penetrations Where They Occur in Surfaces Required to be Waterproof or Water Resistant

Provide Waterstop With Base Sealed to Floor and Upstand Flush With The Finished Floor Surface

Waterproof Shower Wall Area and Corners to 1800mm high from finished floor level

Penetrations Within the Shower Area Must be Waterproof

Penetrations Within the Shower Area Must be Waterproof

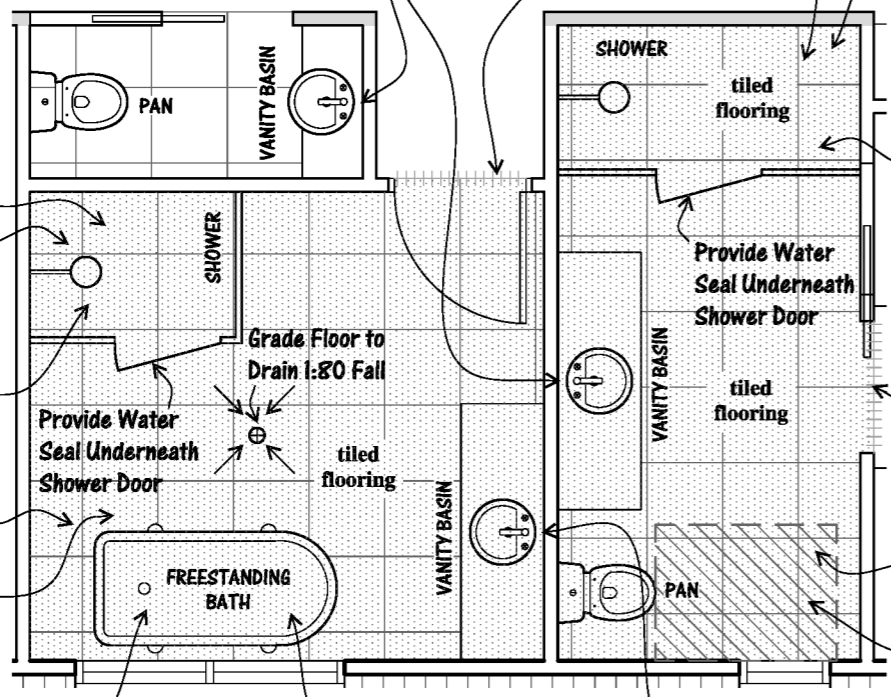
Waterproof Shower Wall Area and Corners to 1800mm high from finished floor level

Enclosed Shower Base Construction. Refer Figure 10.2.17 Section Detail

Dotted Hatch Denotes Waterproofing

Water Resistant Floor Tiles

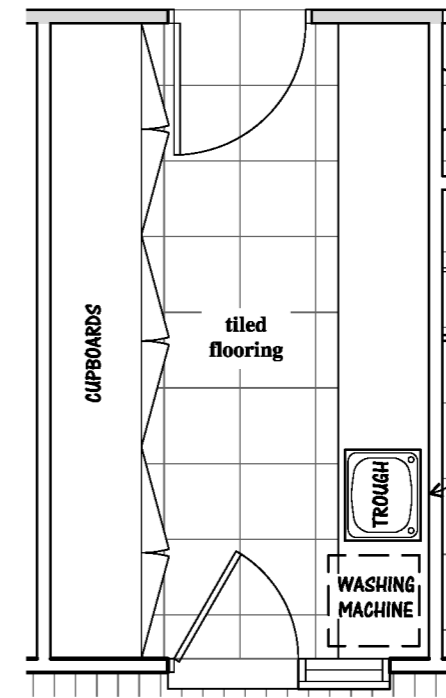
Taps and Spout Penetrations Must be Waterproof Where they Occur in Horizontals Surfaces



**BATH/ENSUITE - PLAN**

SCALE 1:50

Wall Adjoining Vessels (eg Sinks, Basins, Laundry Tubs), Walls Must be Water Resistant to a Height of Not Less Than 150mm Above The Vessel, For The Extent of The Vessel, Where The Vessel is Within 75mm of The Wall. Waterproof Wall Junctions Where a Vessel is Fixed to The Wall. Waterproof Tap and Spout Penetrations Where They Occur in Surfaces Required to be Waterproof or Water Resistant



**LAUNDRY - PLAN**

SCALE 1:50



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**PROPOSED WEATHERBOARD RESIDENCE**

**AT No.310 LAKE VICTORIA ROAD, EAGLE POINT, VIC**

R.B.P: DP-AD 41902 | DRAWN BY: J.U | JOB No 727 | DWELLING 217.88m2 | PLOT DATE :13 Apr 2026 | SHEET, 9 of 15

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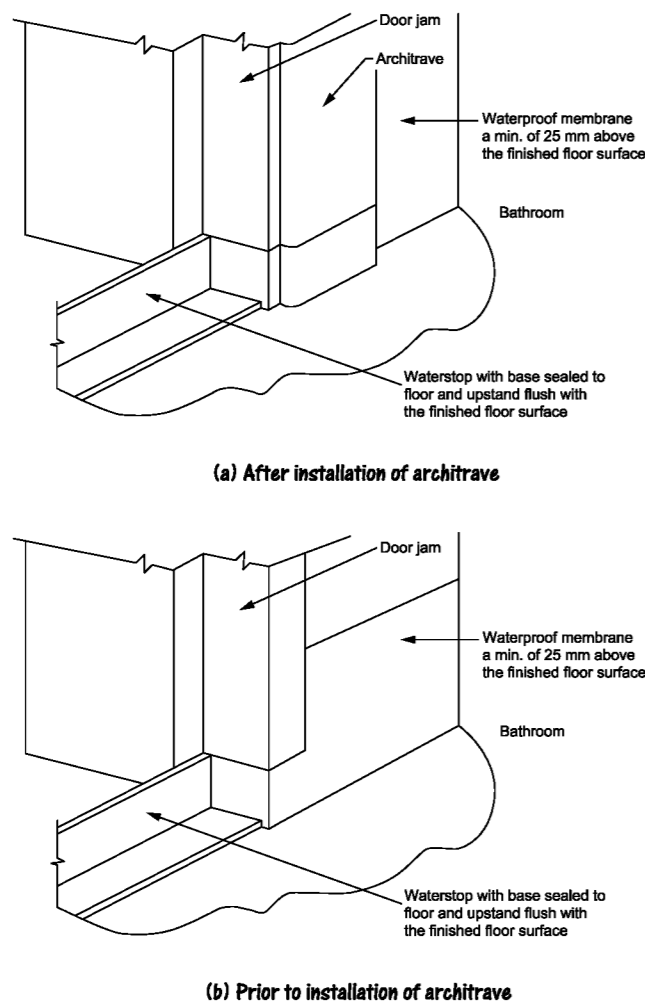
## 10.2 WET AREA WATERPROOFING

### 10.2.24 Flashings/junctions

Flashings must be installed in accordance with 10.2.2 to 10.2.5 and the following:

- (a) Perimeter flashing to wall/floor junctions must have a—
  - (i) vertical leg that extends a minimum of 25 mm above the finished floor level, except across doorways; and
  - (ii) horizontal leg that has a minimum width of not less than 50 mm.
- (b) Where a water resistant substrate is used in conjunction with a water resistant surface material, a waterproof sealant must be installed at the substrate junction at the wall/floor junction.
- (c) Perimeter flashings at a floor level opening must comply with the following:
  - (i) Where the whole wet area floor is waterproof, at floor level openings, a waterstop must be installed that has a vertical leg finishing flush with the top of the finished floor level with the floor membrane being terminated to create a waterproof seal to the waterstop and to the perimeter flashing (see Figure 10.2.24).
  - (ii) In any other case, at a floor level opening a waterstop must be installed that has a vertical leg finishing flush with the top of the finished floor level and waterproofed to the perimeter flashing.
- (d) A vertical flashing, either external to the wet area or internal, must extend a minimum of 1800 mm above the finished floor level.

Figure 10.2.24: Typical bathroom door details for whole bathroom waterproofing

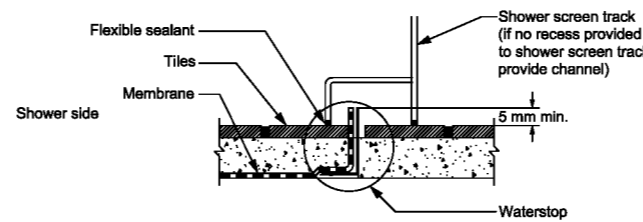


### 10.2.17 Enclosed showers with level threshold (without hob or set down)

For enclosed showers without a stepdown or a hob, at the extremity of the shower area, a waterstop must be positioned so that its vertical leg finishes—

- (a) where a shower screen is to be installed, not less than 5 mm above the finished floor level (see Figure 10.2.17); and
- (b) where the waterstop intersects with a wall or has a joint, the junction must be waterproof.

Figure 10.2.17: Typical hobless construction

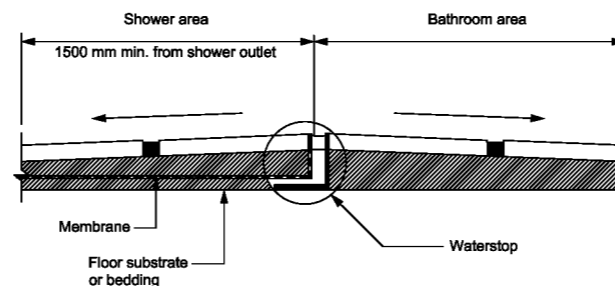


### 10.2.18 Unenclosed showers

(1) Unenclosed showers must be constructed as follows:

- (a) A waterstop must be installed a minimum horizontal distance of 1500 mm from the shower rose.
- (b) The vertical leg of the waterstop must finish—
  - (i) flush with the top surface of the floor (see Figure 10.2.18); and
  - (ii) where the waterstop intersects with a wall or is joined—
    - (A) the junction must be waterproof; or
    - (B) the whole wet area floor must be waterproofed and drained to a floor waste as for the shower area.
- (2) In the case of (1) (b) (ii) (B), at doorways, where the height of the tiling angle needs to be adjusted for tiling purposes, the angle must be fixed with a sealant compatible with the waterproofing membrane without damaging the waterproofing system.

Figure 10.2.18: Typical termination of membrane at extent of shower area



#### Figure Notes

Fall is to be provided in accordance with 10.2.12.

### 10.2.25 Shower area floor membrane application

For hobless showers, or showers with hobs or stepdowns, the membrane must be applied over the floor and up the vertical face of the wall substrate to a minimum height of 1800 mm above the finished tile level of the floor.

### 10.2.26 Shower area membrane requirements for wall sheeting substrates

- (1) Where wall sheeting is used with an external membrane system in a shower area it must be waterproof to prevent water movement by capillary action.
- (2) Where water resistant plasterboard is used all cut edges that have the potential to be affected by water and moisture must be waterproofed, including the bottom edge over a preformed shower base.



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## PROPOSED WEATHERBOARD RESIDENCE

AT No.310 LAKE VICTORIA ROAD, EAGLE POINT, VIC

R.B.P: DP-AD 41902 DRAWN BY: J.U JOB No 727 DWELLING 217.88m2 PLOT DATE :13 Apr 2026 SHEET 10 of 15

10.2.27 Bond breaker installation for bonded membranes

- (1) Bond breakers must be installed at all wall/wall, wall/floor, hob/wall junctions and at movement joints where the membrane is bonded to the substrate.
- (2) Bond breakers must be of the type compatible with the flexibility class of the membrane to be used.

Figure 10.2.27 (explanatory): Typical bond breaker details

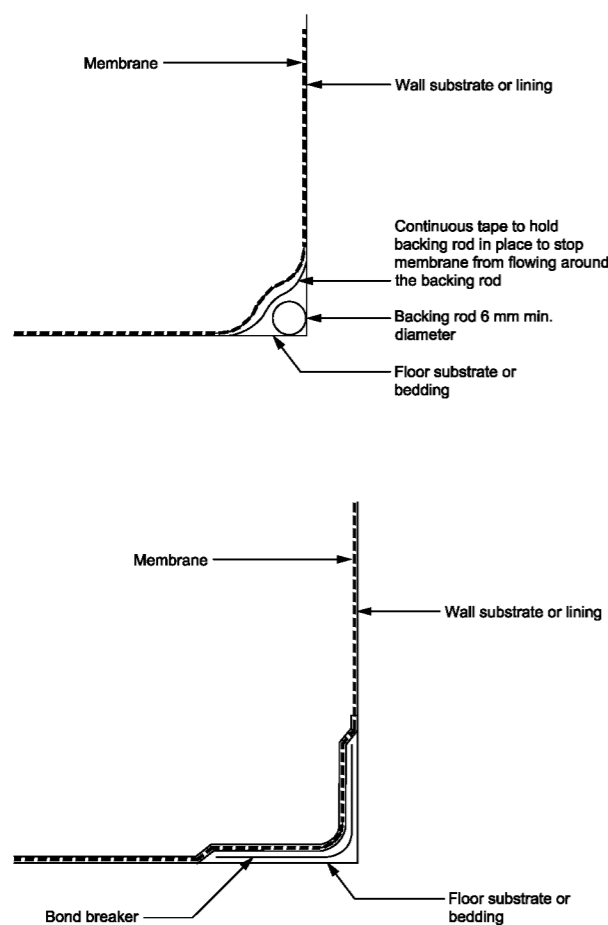


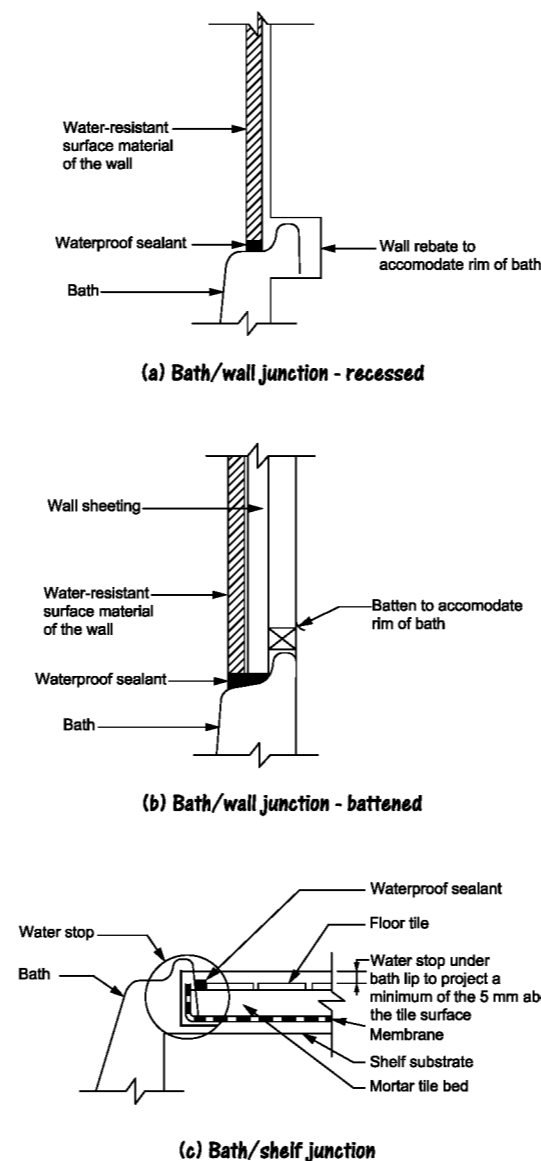

Figure Notes

- (1) Bond breakers for Class I membranes (low extensibility) allow the membrane to flex rather than stretch.
- (2) Bond breakers for Class II membranes (medium extensibility) allow the membrane to stretch. If a tape is used as a bond breaker, either the membrane must not bond to the tape or the tape must have elastic properties similar to the membrane.
- (3) Bond breakers for Class III membranes (high extensibility) allow the membrane to have an even thickness.

10.2.20 Baths and spas

- Baths and spas, except freestanding baths and spas, must—
- (a) have an upturn lip; and
  - (b) be recessed into the wall (see Figure 10.2.20); and
  - (c) have the water resistant substrate materials of the wall pass down inside the upturn lip (see Figure 10.2.20).

Figure 10.2.20: Typical bath junctions

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# LIVABLE HOUSING DESIGN NOTES

## PART 1 - DWELLING ACCESS

### 1.1 Step-free access path

- (1) A continuous path to a dwelling entrance door must be provided from--
- (a) the pedestrian entry at the allotment boundary from the ground level of the adjoining land; or
  - (b) an appurtenant Class 10a garage or carport; or
  - (c) a car parking space within the allotment that is provided for the exclusive use of the occupants of the dwelling.
- (2) Access for the purposes of (1) must be--
- (a) via a pathway that--(i) has no steps; and
  - (ii) except for a step ramp provided under (5), has a maximum gradient of 1:14 in the direction of travel; and
  - (iii) if crossfall is provided, has a crossfall not more than 1:40; and
  - (iv) has a minimum width of 1000 mm; and
  - (v) if it incorporates a section suspended above finished ground level, is able to take loading forces in accordance with AS/NZS 1170.1; and
  - (vi) connects to a dwelling entrance door that complies with Section 2; or
  - (b) provided directly from an attached Class 10a garage or carport, via a door complying with the requirements of Section 2, other than Clause 2.3.
- (3) For the purposes of (2), the following applies:
- (a) Any gates along the access path must have a minimum clear opening width of 820 mm, measured as if the gate were an entrance door.
  - (b) A deck or boardwalk-style path constructed in accordance with AS 1684 or NASH Standard - Residential and Low-rise Steel Framing would satisfy the requirements of (2) (a) (v).
- (4) Where one or more ramps are used, the following applies:
- (a) The aggregate length of ramping (excluding landings) must not be more than--(i) 9 m for a 1:14 gradient; or
  - (ii) 15 m for a 1:20 gradient; or
  - (iii) a length determined by linear interpolation for ramps with a gradient between 1:14 and 1:20.
  - (b) The minimum width of the ramp must be maintained at 1000 mm between any handrails and/or kerbs (if provided) at each side of the ramp.
  - (c) At each end of a ramp there must be a landing that is--(i) not less than 1200 mm long; and
  - (ii) at least as wide as the ramp to which it connects; and
  - (iii) level, or has a gradient not more than 1:40 if a gradient is necessary for drainage.
  - (d) A landing area required by Clause 2.3 may also be counted as a landing for the purposes of (c).
  - (5) The access path may incorporate one step ramp having a--(a) height of not more than 190 mm; and
  - (b) gradient not more than 1:10; and
  - (c) width of at least 1000 mm or equivalent to that of the access path, whichever is the greater; and
  - (d) maximum length of 1900 mm.

### 1.2 Parking space incorporated into step-free access path

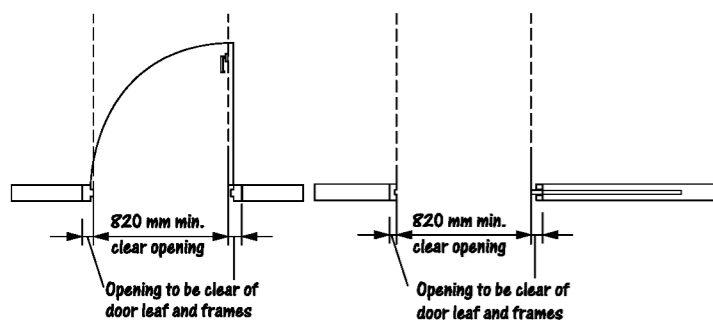
- (1) Where one or more car parking spaces are connected to or form part of a required access path, at least one of the car parking spaces must have--
- (a) a minimum unobstructed car parking space of 3200 mm wide x 5400 mm long; and
  - (b) a gradient not more than 1:33 for bitumen, or 1:40 for any other surface material.
- (2) For the purposes of (1), a required access path means an access path provided for the purposes of compliance with Clause 1.1.

## PART 2 - DWELLING ENTRANCE

### 2.1 Clear opening width

- (1) At least one entrance door to the dwelling must have a minimum clear opening width of 820 mm.
- (2) The minimum clear opening width required by (1) must be measured in accordance with Figure 2.1.

Figure 2.1: Measurement of clear opening width



### 2.2 Threshold

- The threshold of an entrance door that is subject to Clause 2.1 must--
- (a) be level; or
  - (b) have a sill height not more than 5 mm if the lip is rounded or bevelled; or
  - (c) have a ramped threshold that--
    - (i) does not extend beyond the depth of the door jamb; and
    - (ii) has a gradient not steeper than 1:8; and
    - (iii) is at least as wide as the minimum clear opening width of the entrance door; and
    - (iv) does not intrude into the minimum dimensions of a landing area that is required by Clause 2.3; or
  - (d) where the requirements of (a), (b) or (c) cannot meet the weatherproofing requirements of the NCC, for external entrance doors containing a raised door or sill--
    - (i) have no lip or upstand greater than 15 mm within the sill profile; and
    - (ii) have no more than 5 mm height difference between the edge of the top surface of the sill and the adjoining finished surface.

Figure 2.2a: Example of a threshold treatment

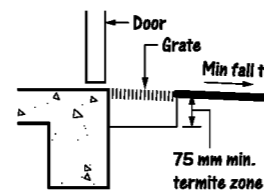


Figure 2.2c: Example of a threshold treatment

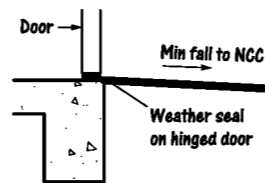


Figure 2.2b: Weather protection - 1:8 ramped threshold

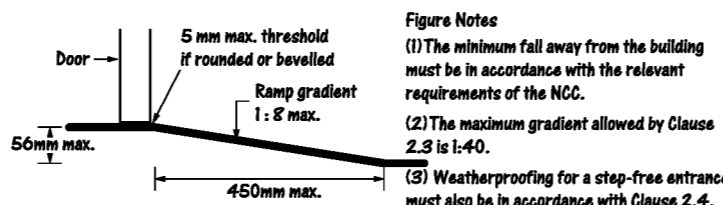


Figure Notes

- (1) The minimum fall away from the building must be in accordance with the relevant requirements of the NCC.
- (2) The maximum gradient allowed by Clause 2.3 is 1:40.
- (3) Weatherproofing for a step-free entrance must also be in accordance with Clause 2.4.

### 2.3 Landing area

- An entrance door that is subject to Clause 2.1 must have a space of at least 1200 mm x 1200 mm on the external (arrival) side of the door that is--
- (a) unobstructed (other than by a gate or a screen door); and
  - (b) level, or has a gradient not more than 1:40 if a gradient is necessary to allow for drainage.

### 2.4 Weatherproofing for external step-free entrance

- Weatherproofing for an external step-free entrance must be provided in accordance with one or a combination of the following:
- (a) Where the external surface is concrete or another impermeable surface, a channel drain that meets the requirements of Volume Two H2D2 is to be provided for the width of the entrance.
  - (b) Where the external trafficable surface is decking or another raised permeable surface, a drainage surface below the trafficable surface is to be provided that meets the requirements of Volume Two H2D2, and drainage gaps in the trafficable surface, such as those between decking boards, are to be no greater than--
    - (i) 8 mm; or
    - (ii) in a designated bushfire prone area, that permitted by AS 3959.
  - (c) A roof covering an area no smaller than 1200 mm by 1200 mm, where the area is provided with a fall away from the building not greater than 1:40.

## PART 3 - INTERNAL DOORS AND CORRIDORS

### 3.1 Clear opening width

- Internal doorways must provide a minimum clear opening width of 820 mm, measured in accordance with Figure 2.1.

### 3.2 Threshold

- The threshold of an internal doorway that is subject to Clause 3.1 must--
- (a) be level; or
  - (b) have a height not more than 5 mm if the lip is rounded or bevelled; or
  - (c) have a ramped threshold that--(i) does not extend beyond the depth of the door jamb; and
  - (ii) has a gradient not steeper than 1:8; and
  - (iii) is at least as wide as the minimum clear opening width of the doorway it serves.

### 3.3 Corridor width

- Internal corridors, hallways, passageways or the like, if connected to a door that is subject to Clause 3.1, must have a minimum clear width of 1000 mm, measured between the finished surfaces of opposing walls.

## PART 4 - SANITARY COMPARTMENT

### 4.1 Location

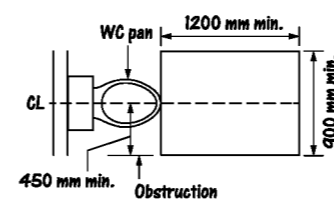
- There must be at least one sanitary compartment located on the ground or entry level of a dwelling.

### 4.2 Circulation space

- A sanitary compartment that is subject to Clause 4.1 must be constructed in accordance with the following:

- (a) For a toilet pan located in a separate sanitary compartment, there must be a clear width of not less than 900 mm between the finished surfaces of opposing walls either side of the toilet pan.
- (b) For a room containing a toilet pan, any fixed obstruction, such as a basin or a vanity unit, must be located at least 450 mm from the centreline of the toilet pan normal to the front face of the cistern.
- (c) A clear minimum circulation space of 1200 mm by 900 mm must be provided from the front edge of the toilet pan.
- (d) Compliance with (c) must be determined in accordance with Figure 4.2.

Figure 4.2: Circulation space for a toilet pan



## PART 5 - SHOWER

### 5.1 Application

- At least one shower must comply with Clause 5.2.

### 5.2 Hobless and step-free entry

- (1) At least one shower must have a hobless and step-free entry.
- (2) A lip not more than 5 mm in height may be provided for water retention purposes.

## PART 6 - REINFORCEMENT OF BATHROOM AND SANITARY COMPARTMENT WALLS

### 6.1 Location

- (1) Reinforcing in accordance with Clause 6.2 must be provided to any--
- (a) sanitary compartment that is subject to Part 4; and
  - (b) bathroom containing a--(i) shower that is subject to Part 5; or
  - (ii) bath (if provided), other than a freestanding bath where the bath is located in a room that also contains a shower that is subject to Part 5.
- (2) The requirements of (1) need not be complied with if the walls of the room are constructed of concrete, masonry or another material capable of supporting grabrails without additional reinforcement.
- (3) Where the wall supporting the reinforcement includes a cavity slider, it must be designed and constructed in way to support loads imposed by reinforcement, linings and the future provision of handrails and provided for the extent required by Figures 6.2a, 6.2b, 6.2c, 6.2d, 6.2e, 6.2f and 6.2g.

### 6.2 Construction

- (1) Reinforcing constructed in accordance with the requirements of (3) must be provided in the locations depicted in--(a) Figures 6.2a or 6.2b for walls surrounding a bath; and
- (b) Figures 6.2c or 6.2d for shower walls; and
  - (c) Figure 6.2e for a wall adjacent to and within 450 mm of the centreline of a toilet pan; and
  - (d) Figures 6.2f or 6.2g for a wall behind a toilet pan where a wall described in (c) is not provided or a window sill or a door encroaches on the area required to be provided with reinforcing or where the toilet pan is not provided in a corner of the bathroom.
- (2) Reinforcing need only be provided across the available width of the wall where a wall referred to in (1) (a) or (b)--
- (a) is narrower than the width of the area required to be provided with reinforcing; or
  - (b) terminates at a window sill lower than the height of the area required to be provided with reinforcing.
- (3) Reinforcing required by (1) must be constructed using one of the following materials:
- (a) A minimum of 12 mm thick structural grade plywood, or similar.
  - (b) Timber noggings with a minimum thickness of 25 mm.
  - (c) Light gauge steel framing noggings or metal plate in accordance with the NASH Standard.

Figure 6.2a: Location of noggings for walls surrounding a bath

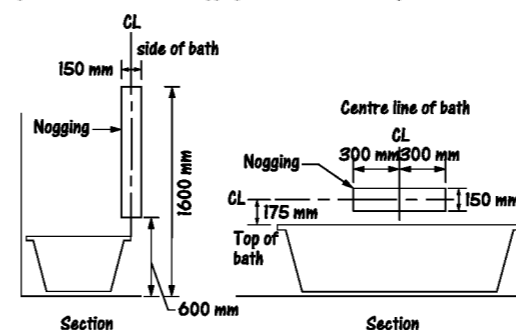


Figure Notes

- (1) Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.
- (2) Where the height of the bathtub is not yet known, an assumed height of 500 mm above finished floor level may be used to determine the location of wall reinforcing.

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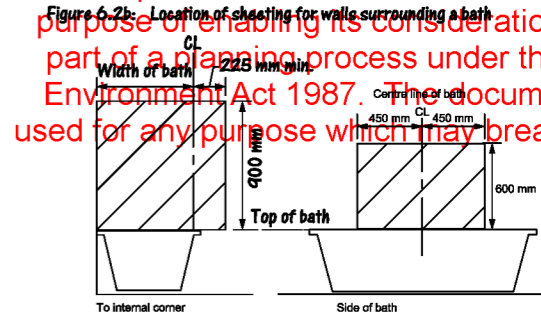


Figure Notes

- (1) Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.
- (2) Where the height of the bath tub is not yet known, an assumed height of 500 mm above finished floor level may be used to determine the location of wall reinforcing.

Figure 6.2c: Location of noggings for shower walls

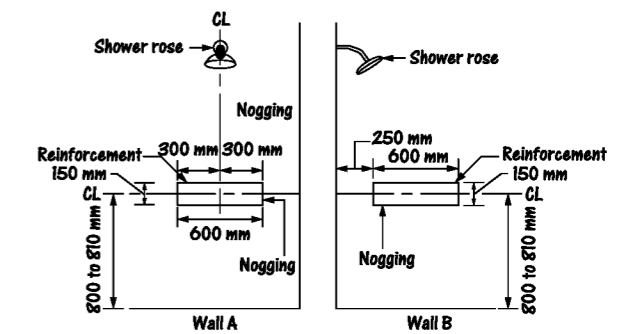


Figure Notes

- Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.

Figure 6.2e: Minimum extent of sheeting for wall adjacent to a toilet pan

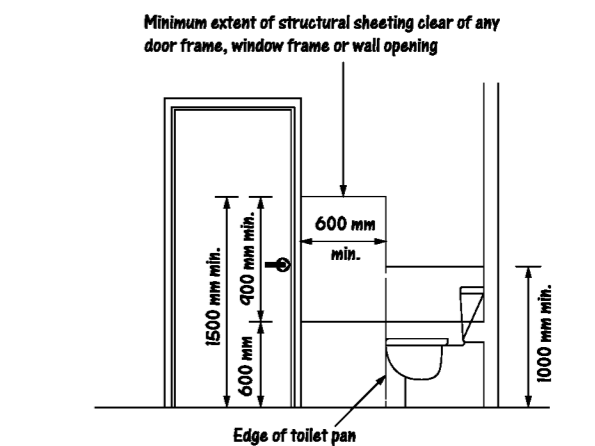
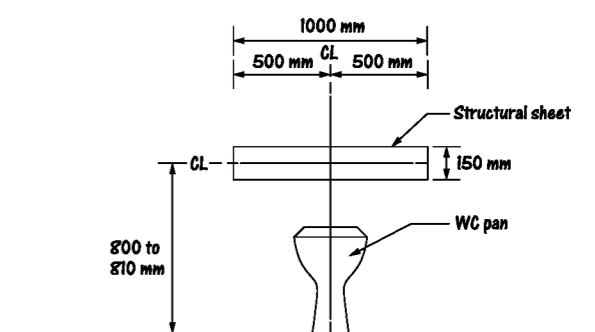


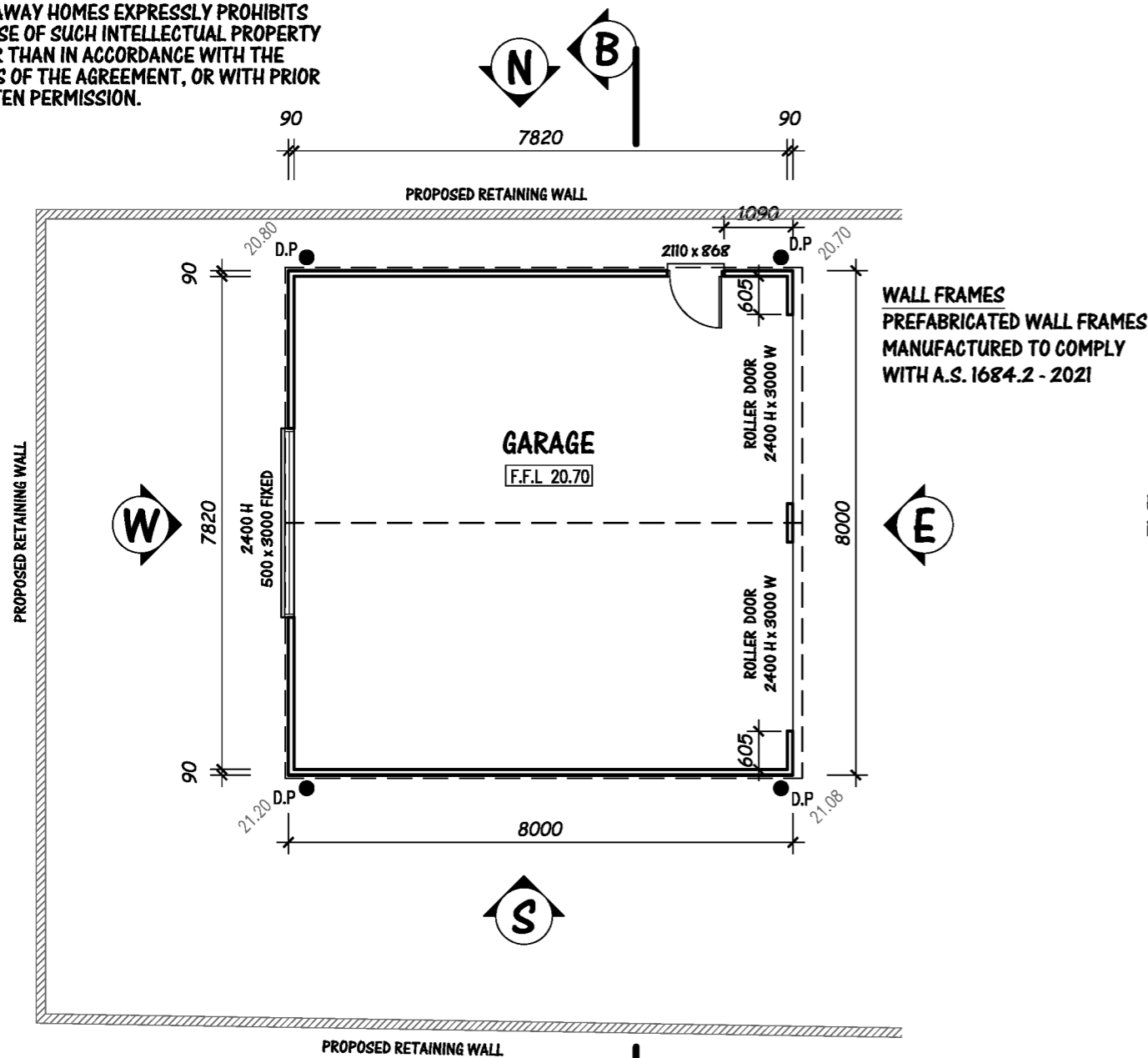
Figure 6.2f: Location of noggings for a wall behind a toilet pan



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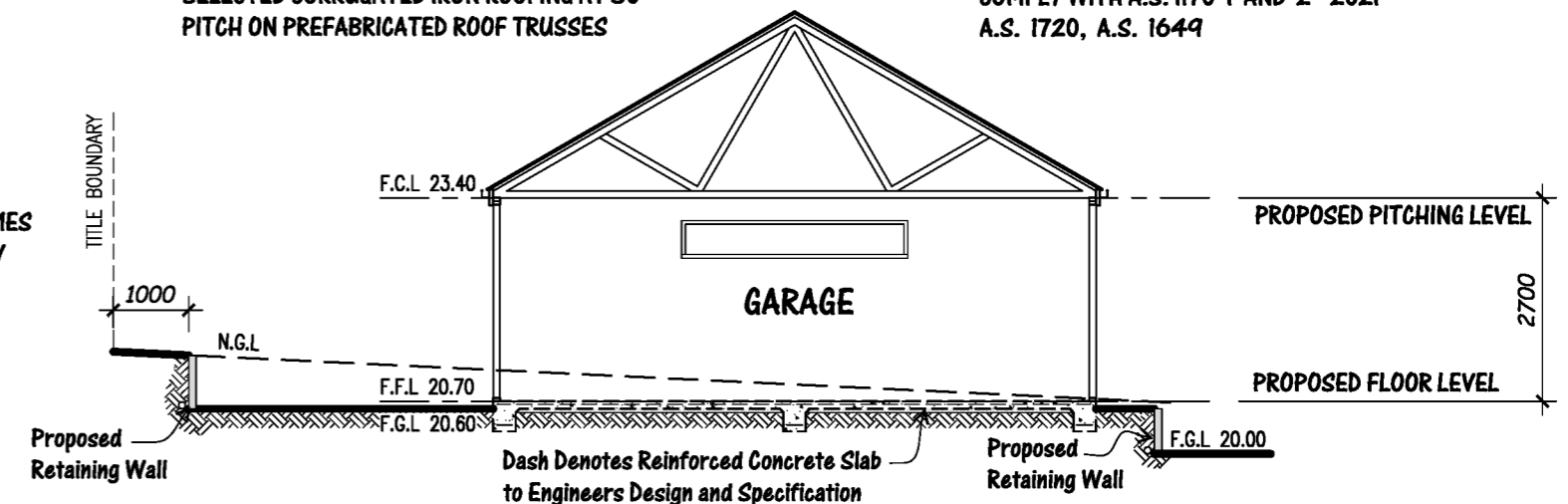
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WALL FRAMES  
PREFABRICATED WALL FRAMES  
MANUFACTURED TO COMPLY  
WITH A.S. 1684.2 - 2021

ROOFING  
SELECTED CORRUGATED IRON ROOFING AT 30°  
PITCH ON PREFABRICATED ROOF TRUSSES

ROOF TRUSSES  
PREFABRICATED ROOF TRUSSES TO  
MANUFACTURERS SPECIFICATIONS TO  
COMPLY WITH A.S. 1170 1 AND 2 - 2021  
A.S. 1720, A.S. 1644



ALL FOOTINGS TO BE FOUNDED IN NATURAL SOIL IN ACCORDANCE WITH A.S. 2870 OR AT FOUNDING DEPTHS RECOMMENDED IN SOIL REPORT WHICHEVER IS GREATER

**SECTION : B - B**

SCALE 1:100

SOIL CLASSIFICATION : 'M'  
(REFER TO SPECIFIC RECOMMENDATIONS IN SOIL REPORT)

SOIL REPORT SUPPLIED BY: STREETER CIVIL ENGINEERING  
REPORT NO: 236881  
DATE: 31 JULY 2025

WIND CLASSIFICATION : N2- 40m/s

**LEGEND**

D.P. ● DOWN PIPE

- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED
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**PROPOSED WEATHERBOARD GARAGE**

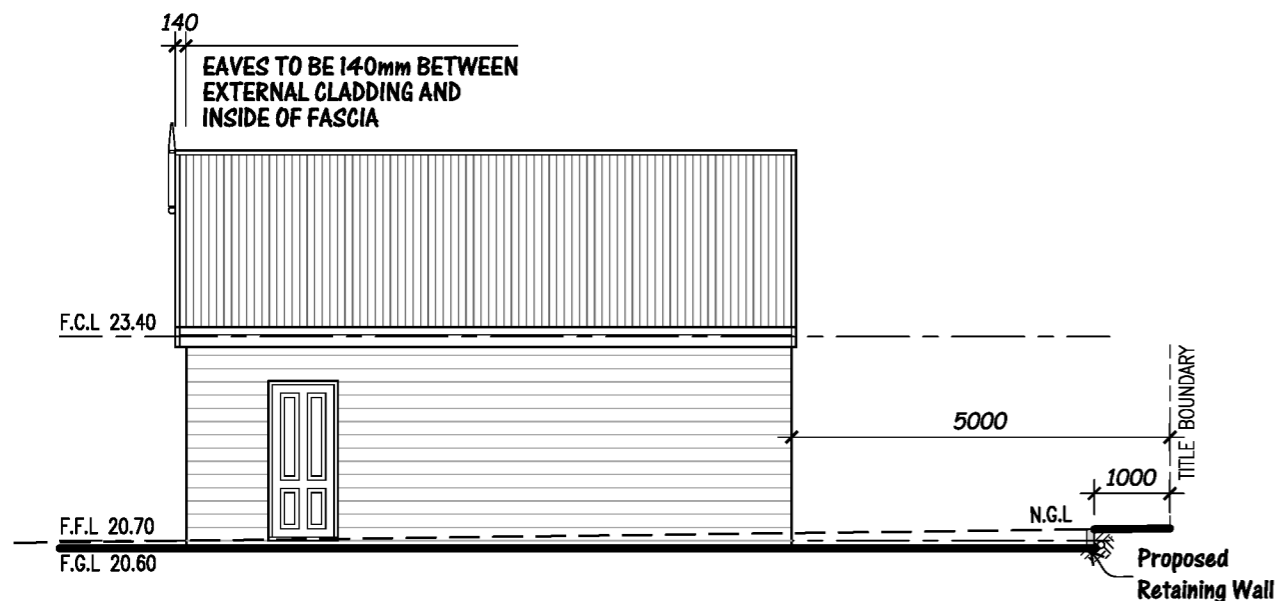
**AT No.310 LAKE VICTORIA ROAD, EAGLE POINT, VIC**

R.B.P: DP-AD 41902	DRAWN BY: J.U	JOB No 727	AREA 64m2	PLOT DATE :13 Apr 2026	SHEET. 13 of 15
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IT IS THE RESPONSIBILITY OF THE CLIENT TO CONFIRM ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCING ANY WORK.

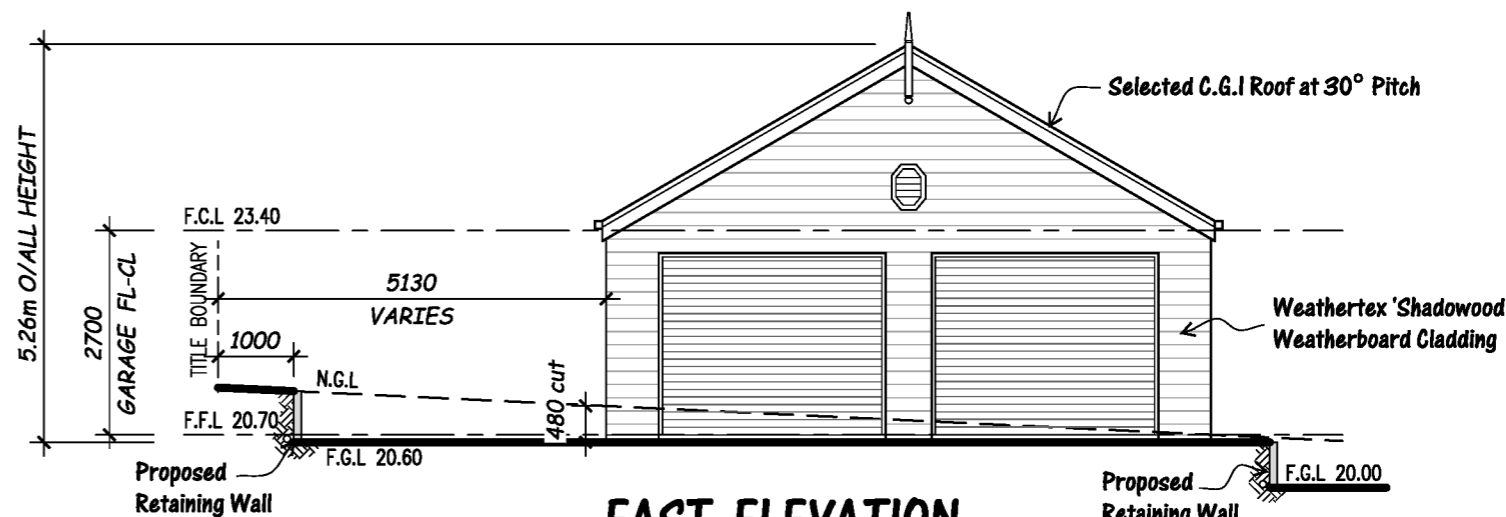
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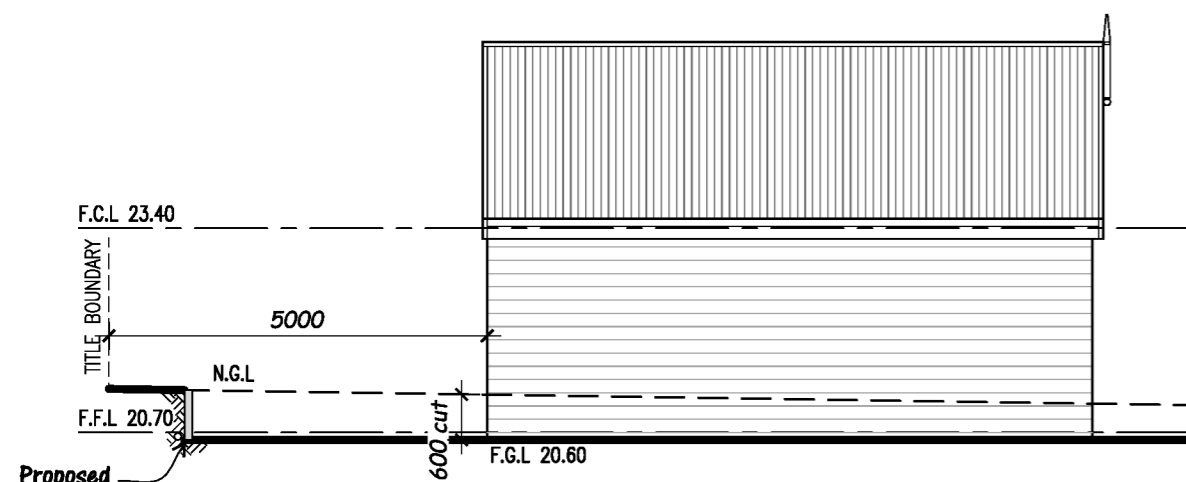
**NORTH ELEVATION**

SCALE 1:100



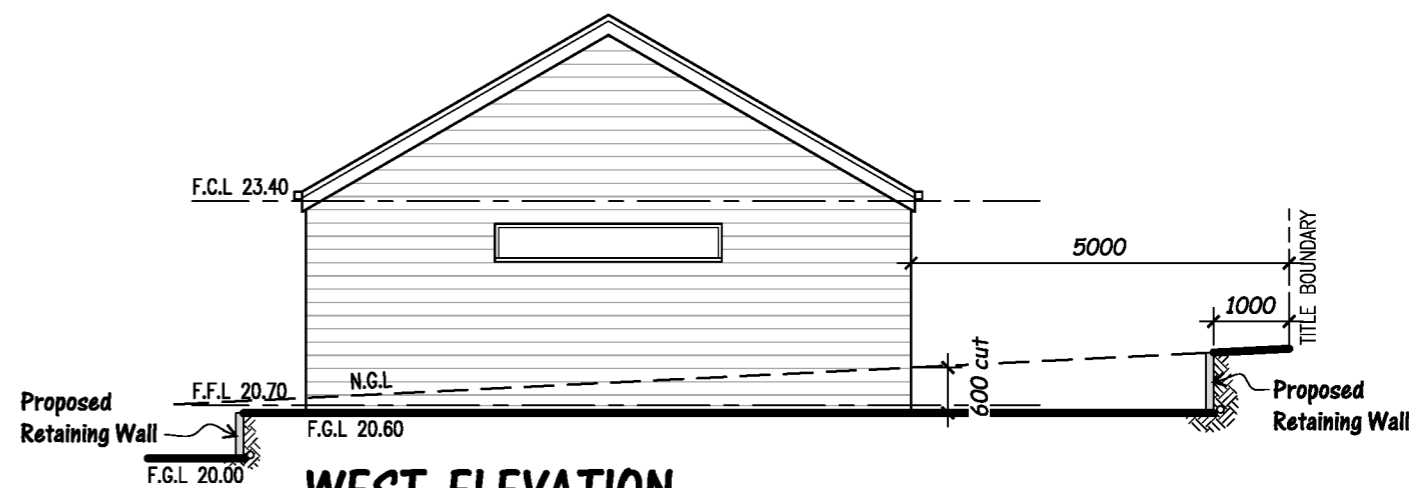
**EAST ELEVATION**

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**SOUTH ELEVATION**

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**WEST ELEVATION**

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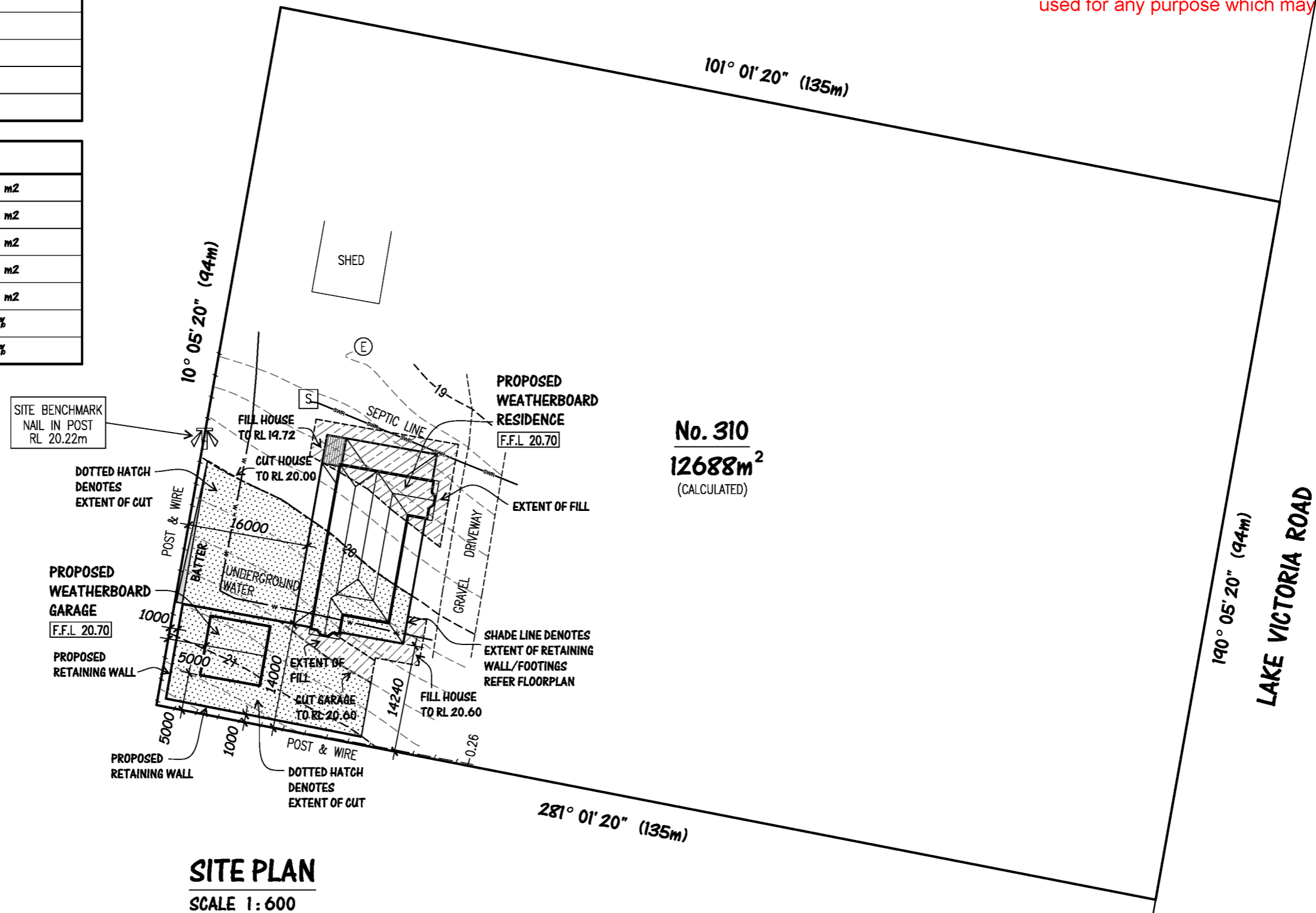
SCHEDULE OF COLOURS AND MATERIALS	
COMPONENT	DESCRIPTION
EXTERIOR WALLS	
ROOF	Main and Verandah:
TRIM	Window Frames:
	Eave Brackets:
	Posts and Fascias:

DEVELOPMENT SUMMARY BOX	
SITE AREA	12688 m <sup>2</sup>
HOUSE & VERANDAH	369.32 m <sup>2</sup>
DECK	9.84 m <sup>2</sup>
GARAGE	64.00 m <sup>2</sup>
TOTAL IMPERVIOUS AREA	443.16 m <sup>2</sup>
PERMEABILITY INDEX	96.51 %
SITE COVERAGE	3.49 %

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**SITE PLAN**  
SCALE 1:600




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