

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	Unit 1 30 Gordon Street ORBOST VIC 3888, Unit 2 30 Gordon Street ORBOST VIC 3888 CP: 153580
The application is for a permit to:	Development of Two Additional Dwellings and Extension of the Existing Dwellings
A permit is required under the following clauses of the planning scheme:	
<b>Planning Scheme Clause</b>	<b>Matter for which a permit is required</b>
32.08-7 (GRZ1)	Construct or extend two or more dwellings on a lot
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2026.140.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to the applicant giving notice</b>
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If you object, the Responsible Authority will tell you its decision.

**April McDonald**

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**From:** Snapforms Notifications <no-reply@snapforms.com.au>  
**Sent:** Wednesday, 13 May 2026 12:03 PM  
**To:** Planning Unit Administration  
**Subject:** Planning Permit application  
**Attachments:** APPENDIX C Clause 55 Assessment.pdf; 26032 Planning Submission.pdf; APPENDIX A Plan of Subdivision.PDF; APPENDIX B Development Plans.pdf; APPENDIX D Use Confirmation Letter.pdf; 26032 Letter to Council.pdf; APPENDIX A Copy of Title.PDF; Planning\_Permit\_Application\_2026-05-13T12-02-55\_33572450\_0.pdf

**Planning Permit Application**

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

**Applicant name:**

**Business trading name:** c/- Development Solutions Victoria Pty Ltd

**Email address:** admin@devsolvic.com.au

**Postal address :** 48 Bailey Street, Bairnsdale

**Preferred phone number:** 0351524858

**Owner's name:**

**Owner's postal address:**

**Street number:** 30

**Street name:** Gordon Street

**Town:** Orbost

**Post code:** 3888

**Plan number:** 153580

**Other Legal Description:** Plan of Consolidation, Volume 09466 Folio 104

**Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?:** No

**Will the proposal result in a breach of a registered covenant restriction or agreement?:** No

**Existing conditions :** Two Existing Dwellings

**Description of proposal :** Development of Two Additional Dwellings and Extension of the Existing Dwellings

**Estimated cost of development:** \$850,000

**Has there been a pre-application meeting:** Yes

**Officer's name:** Andrew Bates

**Your reference number:** 26032

**ExtraFile:** 3

**Invoice Payer:** Development Solutions Victoria Pty Ltd

**Address for Invoice:** 48 Bailey Street, Bairnsdale

**Invoice Email:** admin@devsolvic.com.au

**Primary Phone Invoice:** 0351524858

**Declaration:** Yes

**Authority Check:** Yes

**Notice Contact Check:** Yes

**Notice check 2:** Yes

**Privacy Statement Acknowledge:** Yes

**2. Supporting information/reports:** [APPENDIX C Clause 55 Assessment.pdf](#)

**Planning report:** [26032 Planning Submission.pdf](#)

**Full copy of Title:** [APPENDIX A Plan of Subdivision.PDF](#), [APPENDIX A Copy of Title.PDF](#)

**Plans:** [APPENDIX B Development Plans.pdf](#)

**3. Supporting information/reports:** [APPENDIX D Use Confirmation Letter.pdf](#)

**1. Supporting information/reports:** [26032 Letter to Council.pdf](#)



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**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**

VOLUME 09466 FOLIO 104

Security no : 124134393893K  
Produced 06/05/2026 09:55 AM

**LAND DESCRIPTION**

Land in Plan of Consolidation 153580.  
PARENT TITLE Volume 07393 Folio 597  
Created by instrument CP153580 28/05/1982

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE CP153580 FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

**ADMINISTRATIVE NOTICES**

NIL

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Effective from

DOCUMENT END



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REF. N° 3795

CPI 53580

CPI 53580

PLAN OF CONSOLIDATION  
 PART OF CROWN ALLOTMENTS 1 & 2  
 SECTION 39  
 TOWNSHIP OF ORBOST  
 PARISH: ORBOST  
 COUNTY: CROAJINGOLONG



LENGTHS ARE IN METRES

Vol. 7393. Fol. 597.

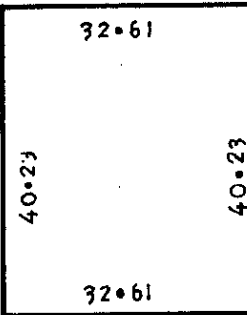


STANLEY STREET

90° 00'

GORDON STREET

0° 00'



180° 00'

270° 00'

APPROVED

*K. Kelly*

13/5/82

8.55

VOL. 9466 FOL 104

SEAL & ENDORSEMENT OF MUNICIPALITY	SURVEYORS CERTIFICATION
<p>SEALED COPY            ATTACHED TO            E.D.'s. REPORT</p>	<p>I CERTIFY THAT THIS PLAN HAS BEEN MADE BY ME OR UNDER MY IMMEDIATE SUPERVISION AND ACCORDS WITH TITLE.</p> <p><i>Michael Sadler</i>            LICENSED SURVEYOR            6/4/82.</p>

THIS PLAN OF CONSOLIDATION HAS BEEN SEALED PURSUANT TO SECTION 569 AB (1) OF THE LOCAL GOVERNMENT ACT 1958.

MAY  
20  
26

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APPLICATION FOR PLANNING PERMIT

**DEVELOPMENT OF TWO ADDITIONAL  
DWELLINGS AND EXTENSION OF THE  
EXISTING DWELLINGS**

30 GORDON STREET, ORBOST

REF: 26032

**CONTENTS**

1	Introduction	4
2	Site Context	5
3	The Proposal	11
4	Zones and Overlays	13
5	Planning Assessment	15
6	Conclusion	17

**APPENDIX**

- A Copy of Title and Plan of Subdivision
- B Proposed Development Plans
- C Residential Assessment - Clause 55
- D Use Confirmation Letter

**DOCUMENT REVISION**

1	Draft Report	DAC	08/05/2026
2	Final Report	CMC	09/05/2026

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## 1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of the owner of the property and the applicant for this planning permit application for the development of two additional dwellings and an extension of the existing dwellings at 30 Gordon Street, Orbost.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposed development of two additional dwellings and the extension of the existing dwellings require planning approval under the provisions of the General Residential Zone.

The proposal will add two additional dwellings to the existing two dwellings on the site, to provide additional housing capacity for hospital employees. The proposed extensions will include an ensuite for each of the existing dwellings.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

<b>Address</b>	<b>30 Gordon Street, Orbost</b>
<b>Site Description</b>	Land in Plan of Consolidation 153580
<b>Title Particulars</b>	Vol 09466 Fol 104
<b>Site Area</b>	1312 m <sup>2</sup>
<b>Proposal</b>	Development of Two Additional Dwellings and an Extension of the Existing Dwellings
<b>Planning Scheme</b>	East Gippsland Planning Scheme
<b>Zone</b>	General Residential Zone – Schedule 1
<b>Overlays</b>	Not Applicable
<b>Aboriginal Cultural Heritage</b>	No
<b>Permit Triggers</b>	Clause 32.08-7 General Residential Zone – Permit Requirement
<b>Notice</b>	Exempt from notice at Clause 32.08-13
<b>Referrals</b>	No referrals required
<b>Work Authority Licence</b>	Not applicable
<b>Planning Scheme requirements</b>	Municipal Planning Strategy – Clause 02 Settlement – Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Built environment and heritage – Clause 15 Housing – Clause 16 General Residential Zone – Clause 32.08 Residential Assessment – Clause 55 Decision guidelines – Clause 65

## 2. SITE CONTEXT

### Site

The subject site is located at 30 Gordon Street, Orbost. A copy of the Title and Plan of Consolidation is contained in **Appendix A**. The title is not affected by any restrictive covenants or agreements.

The site is rectangular in shape with a total area of approximately 1312m<sup>2</sup> and contains two existing dwellings and associated facilities.

The site is gently undulating in nature and contains scattered vegetation throughout. Details of the site are depicted in the photographs provided below.

Access is existing via a concrete crossover and gravel driveway in the southern portion of the western boundary connecting directly to Gordon Street. A second access is existing in the eastern portion of the northern boundary, directly from Stanley Street. Gordon Street is a bitumen sealed road with roll over kerb and channel, traversing in a north to south direction. Stanley Street is a bitumen sealed road with grassed shoulders on one side and roll over curb and channel on the other, traversing in an east to west direction.

The subject site in relation to Orbost as well as the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2**.



**Figure 1** – Locality Plan – 30 Gordon Street, Orbost (source: mapshare.vic.gov.au)



**Figure 2** – Locality Plan – 30 Gordon Street, Orbost (source: mapshare.vic.gov.au)

## Surrounds

The land in this locality is predominantly developed residential land with some public land in the broader landscape.

Adjoining the northern boundary of the subject site is Stanley Street, beyond which is further established residential development. Land adjoining the eastern and southern boundaries contains existing dwellings and associated residential outbuildings. Along the western boundary is Gordon Street, with additional established residential development located opposite the site.

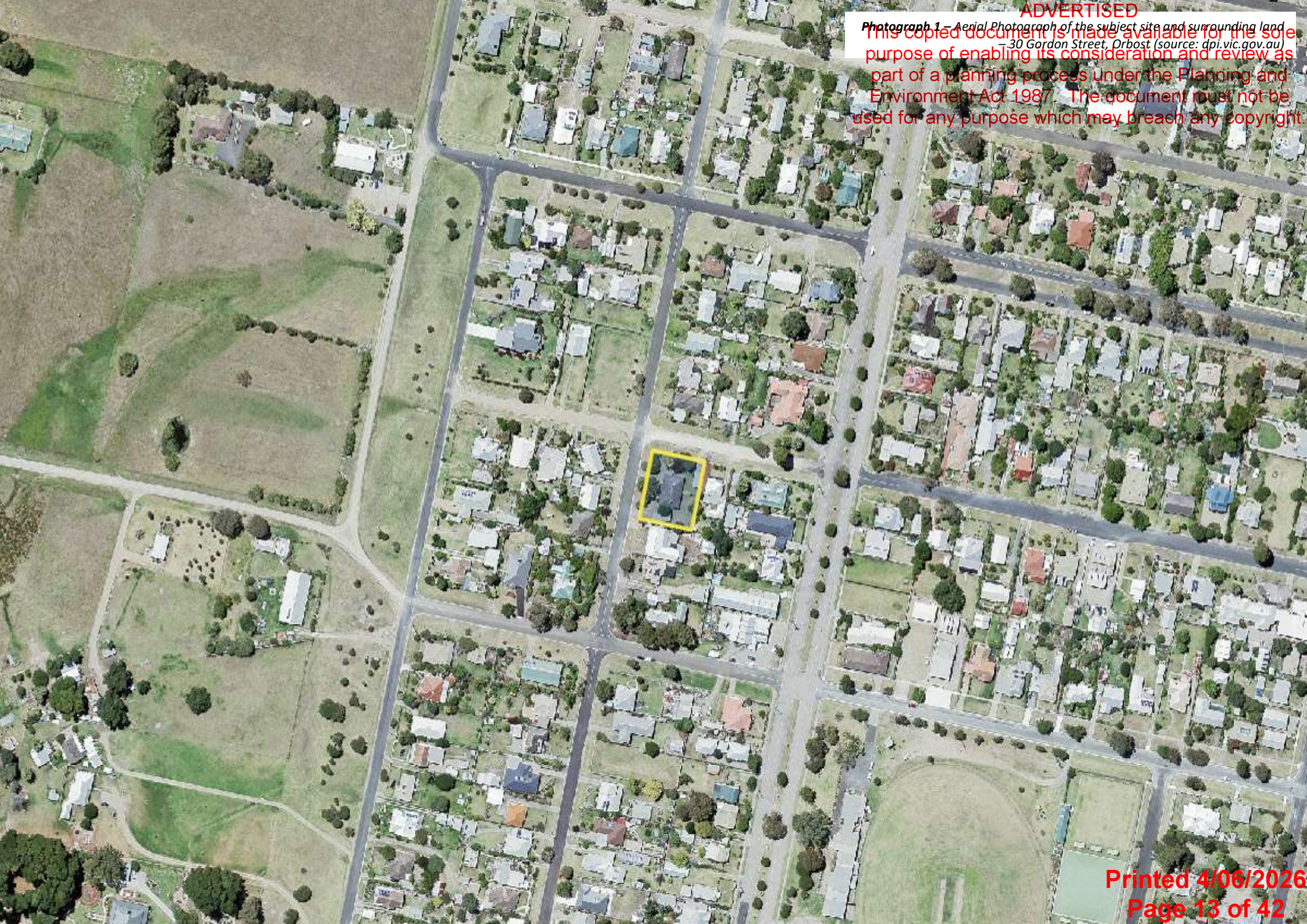
The site is located approximately 800 meters kilometres north of the main central business area of Orbost.

Orbost is a large rural service centre with a range of services and facilities. Orbost is located approximately 89km east of Bairnsdale. Bairnsdale provides a full suite of services and facilities to the area.

The subject site in relation to Orbost is shown in the aerial photograph below.



Photograph 1 – Aerial Photograph of the subject site and surrounding land  
– 30 Gordon Street, Orbst (source: dpi.vic.gov.au)  
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**Photograph 2** – Subject site at 30 Gordon Street, Orbost.



**Photograph 4** – Location of proposed concrete access on the central portion of the western boundary.



**Photograph 6** – Existing units and timber shed on the eastern boundary facing east.



**Photograph 3** – Existing gravel access to subject site on the southern portion of the western boundary.



**Photograph 5** – Location of proposed concrete access on the northern portion of the western boundary.



**Photograph 7** – Existing carport on the northern boundary facing south.



**Photograph 8** – Existing outbuilding on the eastern portion subject site facing south.



**Photograph 10** – Location of proposed Unit 3 facing south.



**Photograph 12** – Neighbouring property along the southern boundary at 27 Gordon Street, Orbost.



**Photograph 9** – Location of proposed Unit 3 facing southeast.



**Photograph 11** – Location of proposed Unit 4 facing east.



**Photograph 13** – Neighbouring property across the road at 31 Gordon Street, Orbost.



**Photograph 14** – Gordon Street, facing north.



**Photograph 16** – Stanley Street, facing east.



**Photograph 18** – Intersection between Gordon Street and Stanley Street, facing north.



**Photograph 15** – Gordon Street, facing south.



**Photograph 17** – Stanley Street, facing west.

### 3. THE PROPOSAL

This application seeks approval for development of two additional dwellings and an extension of the existing dwellings under the provisions of the General Residential Zone. The proposed development plans are contained in **Appendix B**.

The existing outbuilding and carport in the southern portion of the subject site will be demolished.

#### Dwelling 3

The proposed Unit 3 will be located within the northern portion of the subject site, with setbacks of approximately 2 metres to the northern boundary being Stanley Street, 2.16 metres to the existing carport to the east, 4.14 metres to the existing dwelling to the south, and 9 metres to the western boundary adjoining Gordon Street.

#### Dwelling 4

The proposed unit 4 will be located in the southern portion of the subject site, with a setback of approximately 4.92 to the existing dwelling to the north, 8.61 metres to the eastern boundary, 2 metres to the southern boundary and 9 meters to the western boundary being Gordon Street.

Both of the proposed additional dwellings will be identical and will have a building footprint of approximately 73.42m<sup>2</sup>, excluding the porches. The dwellings will be single storey and have an overall height of approximately 4.6 metres.

The proposed dwellings will feature a mix of external wall finishes including Colorbond metal cladding in Colorbond Windspray, composite cladding in Blackbutt and rendered cement sheeting in the Colorbond colour Shale Grey. The roof will be constructed of Colorbond metal roofing in Colorbond Windspray. A colour and material schedule is provided below in **Figure 3** and within the development plans.

MATERIALS SCHEDULE			
REF	DESCRIPTION	FINISH	COLOUR
C1	CLADDING 1 METAL WALL CLADDING MAIL STRIP OR SIMILAR	COLORBOND	WINDSPRAY
C2	CLADDING 2 NEWTECH COMPOSITE CLADDING SHADOW LINE OR SIMILAR	COMPOSITE	BLACKBUTT
C3	CLADDING 3 RENDERED FIBRE CEMENT SHEET	RENDER	SHALE GREY
C4	CLADDING 4 EXISTING FACE BRICK WORK	BRICK	EXISTING
R1	METAL ROOFING CUSTOM GAB RAMP SHEETING	COLORBOND	WINDSPRAY

Figure 3 – Material and colour schedule – TDH Design Pty

The existing dwellings are proposed to be extended to provide an additional ensuite for residents. The proposed ensuites will be located on the eastern side of the existing dwellings as indicated on the proposed development plans. The finished materials for the extensions include face brickwork to match the exiting dwellings.

#### Use

The proposed dwellings are intended to provide accommodation for an essential service being the staff of

The accommodation will support the ongoing operation of the health service by offering convenient, local housing for employees who are required to work on-site or undertake shift-based duties. A letter from contained in **Appendix D** confirms both the intended use of the dwellings for staff accommodation and the demonstrated need for suitable local housing to support staffing requirements and service delivery.

**Access**

Vehicle access to proposed dwelling 4 is existing via a concrete crossover in the southern portion of the western boundary, directly from Gordon Street which will be upgraded to include a concrete driveway and car parking space. Vehicle access and a car parking space to existing dwelling 2 and proposed dwelling 3 will be individually provided via a new concrete crossover and driveway along the western boundary, directly from Gordon Street. Access for dwelling 1 is existing in the eastern portion of the northern boundary via a gravel crossover and driveway directly from Stanley Street which will remain unchanged.

The proposed additional dwellings and extension of the existing dwellings will connect to all available services including electricity, reticulated water, sewerage, telecommunications and the existing road network.

No vegetation removal or extensive earthworks are required to facilitate the proposed development.



Figure 4 – Floor plans – TDH Design Pty Ltd

#### 4. ZONES AND OVERLAYS

##### General Residential Zone – Schedule 1

The purpose of the General Residential Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

An extract of the General Residential Zone Map is provided in **Figure 5**.

Clause 32.08-7 provides a permit is required to construct two or more dwellings on a lot and to extend a dwelling if there are two or more dwellings on a lot. Schedule 1 does not provide any exemptions and as such planning approval is required for the proposed extension and additional two dwellings under the provisions of the General Residential Zone. The relevant

decision guidelines are addressed below in Section 5.

The relevant standards of Clause 55 are addressed in **Appendix C**.



Figure 5 – General Residential Zone – (source - mapshare.vic.gov.au)

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## Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is not recognised as being within an area of Aboriginal Cultural Heritage Sensitivity as such a Cultural Heritage Management Plan is not required. This is not addressed further.

## 5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework by providing appropriate residential accommodation for essential service staff associated with Orbost Regional Health. The proposal will result in a small extension to the existing dwellings and the development of two additional dwellings providing an increase in the availability of staff accommodation whilst remaining respectful of the existing neighbourhood character and surrounding residential development.
- The proposal will contribute to a high standard of environmental sustainability, urban design and residential amenity through the provision of well-designed accommodation that responds appropriately to the existing site conditions and surrounding residential context.
- **Clause 02.03-1** identifies Orbost as a district town. Orbost is a major rural service centre that provides a range of services and facilities to the surrounding region.
- The proposed two new dwellings and the extension to the two existing dwellings will connect to all available services and infrastructure including electricity, reticulated water, sewerage, telecommunications and a good quality road network. The proposal meets the objectives of **Clause 16** by providing two additional dwellings that will be used to accommodate essential workers for the Service.
- The proposal is consistent with the decision guidelines of the General Residential Zone at **Clause 32.08-12** which seeks to encourage development that respects the neighbourhood character.
- The proposal seeks approval for the construction of two additional single storey dwellings and ensuite extensions to the two existing dwellings on the subject site within an established residential area of Orbost. The proposed development has been designed to respond to the constraints and characteristics of the site whilst remaining consistent with the existing neighbourhood character. The scale, setbacks and built form of the proposed dwellings are compatible with the surrounding residential development and will not result in an unreasonable increase in site density.
- The proposed development will provide modern, functional and user-friendly residential accommodation through both the construction of two new dwellings and upgrades to the existing dwellings on the site. The accommodation is intended to be used for essential service staff associated with assisting in the provision of suitable staff housing within Orbost. A letter from outlining the intended use of the accommodation and need is provided in **Appendix D**.
- The proposal has addressed the relevant standards set out in Clause 55 and is contained in **Appendix C**.
- Vehicle access to proposed dwelling 4 will be provided via the existing concrete crossover located in the southern portion of the western boundary, directly from Gordon Street, which will be upgraded to include a concrete driveway and associated car parking space. Vehicle access and parking for existing dwelling 2 and proposed dwelling 3 will be provided via a new individual concrete crossover and driveway along the western boundary, directly from Gordon Street. Access to existing dwelling 1 is currently provided via an existing gravel

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crossover and driveway from Stanley Street along the northern boundary, which will remain unchanged.

- No vegetation removal is required to facilitate the construction of the proposed new dwellings, or the ensuite extensions to the existing dwellings.
- This submission has addressed the relevant decision guidelines of **Clause 65**, and the proposed development supports the orderly planning of the area whilst appropriately considering potential impacts on the environment, surrounding residential amenity and human health.
- Vehicle access to the site will be provided via existing and upgraded crossovers and driveways as shown on the proposed development plans. The proposal is not expected to generate unreasonable traffic volumes or negatively impact the surrounding road network.
- There are no aspects of the proposal that are likely to cause or contribute to land degradation, salinity issues or adverse impacts on water quality.

## 6. CONCLUSION

This submission is in support of a planning permit application for the development of two additional dwellings and the extension of the existing dwellings at 30 Gordon Street, Orbost.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed development is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the General Residential Zone.
- The design of the proposal is complementary to the existing surrounding development and is consistent with the character of the area.

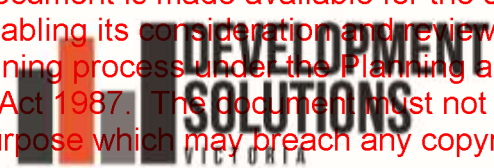
It is requested that a planning permit be granted for this development.

**Development Solutions Victoria**

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## APPENDIX C

### Clause 55 Assessment

## CLAUSE 55 ASSESSMENT

### Clause 55 – Residential Assessment

Under the provisions of Clause 32.08-7 of the General Residential Zone, a development must meet the requirements of Clause 55.

The purpose of Clause 55 is:

*“To implement the Municipal Planning Strategy and the Planning Policy Framework.*

*To encourage residential development that provides reasonable standards of amenity for existing and new residents.*

*To encourage residential development that responds to the site and the surrounding area.”*

Clause 55 provides the following requirements:

*“A development must meet all of the applicable objectives contained in this clause.*

*If a development meets a standard:*

- *The corresponding objective is deemed to be met;*
- *The responsible authority is not required to consider the corresponding decision guidelines.*

*If a development does not meet a standard, the responsible authority must consider the applicable decision guidelines in determining whether the corresponding objective is met.*

*Despite any other provision of this planning scheme, in determining applications to which this clause applies, the responsible authority is exempt from and is not required to consider:*

- *The Municipal Planning Strategy and Planning Policy Framework, unless an applicable decision guideline specifies otherwise.*
- *The purpose or decision guidelines of the relevant zone, unless an applicable decision guideline specifies otherwise.*

- The decision guidelines in Clause 65, unless an applicable decision guideline specifies otherwise.

If there is any inconsistency between the requirements of this clause and another provision of this planning scheme, this clause prevails.

The table below addresses the relevant requirements of Clause 55.

Clause 55.01-1	Site description
<p><b>Response:</b></p>	<p>Residential development surrounding the subject site comprises predominantly single storey dwellings. Built form within the neighbourhood varies in architectural style, materials and setbacks, reflecting the established residential character of Orbost. Adjoining the eastern and southern boundaries are existing residential dwellings and associated outbuildings, whilst further residential development is located opposite the site along Gordon Street and beyond Stanley Street.</p> <p>The proposed development respects the existing neighbourhood character through the construction of two single storey dwellings and ensuite extensions to the existing dwellings. The proposed buildings have been designed to respond to the site and surrounding residential context, with a height, scale and setback consistent with the character of the area. The proposed new dwellings will be located to the north and south of the existing dwellings and will have individual street frontage, consistent with surrounding development.</p> <p>Vehicle access to the site will be provided via existing and upgraded crossovers from Gordon Street and an existing access from Stanley Street, as shown on the proposed plans.</p> <p>Further detail regarding the subject site, surrounding area and proposed development is provided within the planning submission and proposed development plans contained in <b>Appendix B</b>.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
Clause 55.01-2	Design Response
<p><b>Response:</b></p>	<p>The design of the proposed two dwellings has incorporated several elements of surrounding development to ensure an appropriate development result. Overall, the building height, siting, orientation and finished materials respond to the surrounding built form ensuring a positive contribution to the neighbourhood character of this locality. The proposal is not dissimilar to others in the area.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>

<b>Clause 55.02-1 Street setback objective:</b>	<b>To ensure that the setbacks of buildings from a street respond to the existing or preferred neighbourhood character and make efficient use of the site</b>
<b>Response:</b>	<p>Table B2-1 provides that the proposed development needs to be setback at the same distance as any building on the adjoining allotment facing the front street or 6 metres, whichever is lesser. The proposed two new dwellings will be setback 9 metres from Gordon Street, the existing dwelling to the south is setback 8.56 metres and as such the setback requirement is met.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<b>Clause 55.02-2 Building Height objective:</b>	<b>To ensure that the height of buildings respond to the existing or preferred neighbourhood character.</b>
<b>Response:</b>	<p>The height of dwellings in the broader landscape are varied with a combination of double storey, elevated single storey and single storey dwellings, however single storey is the more prominent height. The existing dwelling immediately adjoining the site to the east and south are single storey dwellings. The proposed development will not be visually obtrusive or impede any views from surrounding areas.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<b>Clause 55.02-3 Side and rear setbacks objective:</b>	<b>To ensure that the height and setback of a building from a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings or small second dwellings.</b>
<b>Response:</b>	<p>The schedule to the General Residential Zone does not specify any side or rear setbacks. The proposal does not include any walls on boundaries. The proposed setbacks are considered appropriate and are unlikely to impact the existing neighbourhood character of the area.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<b>Clause 55.02-4 Walls on boundaries objectives:</b>	<b>To ensure that the location, length and height of a wall on a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings and small second dwellings.</b>
<b>Response:</b>	<p>The proposal does not include any walls on boundaries.</p> <p><b>This clause is not relevant to the proposal.</b></p>

<p><b>Clause 55.02-5 Site coverage objectives:</b></p>	<p><b>To ensure that the site coverage responds to the existing or preferred neighbourhood character and responds to the features of the site.</b></p>
<p><b>Response:</b></p>	<p>The subject site has a total area of approximately 1,312m<sup>2</sup>. The proposed development will result in a total site coverage of approximately 420.94m<sup>2</sup>, representing 32.08% of the site area.</p> <p>It is noted that no maximum site coverage requirement is specified within the schedule to the General Residential Zone, therefore the default maximum site coverage of 65% applies.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.02-6 Access objective:</b></p>	<p><b>To ensure the number and design of vehicle crossovers responds to the neighbourhood character.</b></p>
<p><b>Response:</b></p>	<p>Vehicle access to proposed dwelling 4 is existing via a concrete crossover in the southern portion of the western boundary, directly from Gordon Street which will be upgraded to include a concrete driveway and car parking space.</p> <p>Vehicle access and car parking space to existing dwelling 2 and proposed dwelling 3 will be provided via new concrete crossovers and driveways along the western boundary, directly from Gordon Street.</p> <p>Access for existing dwelling 1 is existing in the eastern portion of the northern boundary via a gravel crossover and driveway directly from Stanley Street which will remain unchanged.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.02-7 Tree canopy objective:</b></p>	<p><b>To provide tree canopy that responds to the neighbourhood character of the area and reduces the visual impact of buildings on the streetscape.</b></p> <p><b>To preserve existing canopy cover and support the provision of new canopy cover.</b></p> <p><b>To ensure new canopy trees are climate responsive, support biodiversity, wellbeing and amenity, and help reduce urban heat.</b></p>
<p><b>Response:</b></p>	<p>The proposed development includes canopy tree planting throughout the site, the site has an area of approximately 1,312m<sup>2</sup> which requires a tree canopy requirement of 20% or 262.4m<sup>2</sup>.</p> <p>The landscape plan provides a total proposed canopy coverage of approximately 270.60m<sup>2</sup> through a combination of new canopy tree planting and retention of existing vegetation. The proposed landscaping has been designed to maximise planting opportunities throughout the site, including within front, side and rear setback areas.</p>

	<p>The proposed landscaping outcome will contribute positively to the streetscape, increase vegetation cover and assist in reducing urban heat impacts within the residential environment.</p> <p><b>The proposal meets the objectives and standards of this clause</b></p>
<p><b>Clause 55.02-8 Front fences objective:</b></p>	<p><b>To encourage front fence design that responds to the existing or preferred neighbourhood character.</b></p>
<p><b>Response:</b></p>	<p>The area contains various types and styles of front fencing. Table B2-8 provides that the maximum front fence height applicable to this development is 1.5 metres. There are no existing fences along the northern and western boundaries and no new fences are proposed.</p> <p><b>This clause is not relevant to the proposal.</b></p>
<p><b>Clause 55.03-2 Parking location objectives:</b></p>	<p><b>To minimise the impact of vehicular noise within developments on residents</b></p>
<p><b>Response:</b></p>	<p>The layout of the proposed dwellings has been designed to provide an internal amenity for future occupants, with habitable rooms appropriately separated from vehicle access and parking areas within the site.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.03-3 Street integration objectives:</b></p>	<p><b>To integrate the layout of development with the street to support the safety and amenity of residents.</b></p>
<p><b>Response:</b></p>	<p>The proposed dwellings achieve appropriate street integration by providing passive surveillance and direct visual engagement with both Gordon Street and Stanley Street. The siting and orientation of the dwellings enable clear outlooks to the adjoining streets, allowing for continuous observation of pedestrian and vehicle movement.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>

<p><b>Clause 55.03-4 Entry objectives:</b></p>	<p><b>To provide each dwelling, apartment development or residential building with its own sense of identity.</b>  <b>To provide entries with weather protection, safe design, natural light and ventilation.</b></p>
<p><b>Response:</b></p>	<p>The proposed entry of the two new dwellings is located on the western side of each dwelling fronting Gordon Street. The entry areas will include an individual covered porch as indicated on the proposed development plans, creating their own clear and identifiable entry which will be visible from Gordon Street.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.03-5 Private open space objectives:</b></p>	<p><b>To provide adequate private open space for the reasonable recreation and service needs of residents.</b></p>
<p><b>Response:</b></p>	<p>The proposal does not provide individual private open space areas for each dwelling in this instance, however it is considered that this could be achieved if required. Instead, it relies on the existing open space within the subject site, which is to be retained and used as shared communal amenity for future occupants.</p> <p>Council has previously advised that a flexible approach may be applied in this instance, having consideration to the accommodation being for essential service workers associated with the Orbost Regional Health Service. On this basis, the provision of shared open space is considered an appropriate alternative, supporting the functional needs of the occupants.</p> <p><b>The proposal does not fully meet the objectives and standards of this clause.</b></p>
<p><b>Clause 55.03-6: Solar access to open space objective:</b></p>	<p><b>To allow solar access into the secluded private open space of new dwellings and residential buildings.</b></p>
<p><b>Response:</b></p>	<p>The open space available to the proposed dwellings meets the standard at B3-6.</p> <p>Each dwelling will have access to shared open space areas surrounding the buildings, which will provide sufficient space for outdoor recreation and adequate solar access.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>

<p><b>Clause 55.03-7 Functional layout objective:</b></p>	<p><b>To ensure dwellings provide functional areas that meet the needs of residents.</b></p>
<p><b>Response:</b></p>	<p>The proposed dwellings meet the bedroom and living area requirements as indicated on the proposed development plans.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.03-8 Room depth objective:</b></p>	<p><b>To allow adequate daylight into single aspect habitable rooms.</b></p>
<p><b>Response:</b></p>	<p>The proposal meets the requirements of this Clause. The depth of single aspect habitable room windows does not exceed 2.5 times the ceiling height.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.03-9 Daylight to new windows objective:</b></p>	<p><b>To allow adequate daylight into new habitable room windows.</b></p>
<p><b>Response:</b></p>	<p>The proposed dwellings have been designed to ensure the proposal has suitable daylight to all habitable room windows. Each of the minimum areas are complied with. All habitable room windows face open space with adequate separation.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.03-10 Natural ventilation objectives:</b></p>	<p><b>To encourage natural ventilation of dwellings. To allow occupants to effectively manage natural ventilation of dwellings.</b></p>
<p><b>Response:</b></p>	<p>The proposed dwellings have been designed to ensure appropriate ventilation and meet the requirements of the standard. There are openable windows on 3 sides of the dwellings including to the north, south and west.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>

<p><b>Clause 55.03-11</b> Storage objectives:</p>	<p><b>To provide adequate storage facilities for each dwelling</b></p>
<p><b>Response:</b></p>	<p>Storage areas are provided for each of the new dwellings. The storage area for dwelling 3 will be located on the southern side of the proposed dwelling on top of the retaining wall and the storage area for dwelling 4 will be located adjoining the eastern wall of the proposed dwelling as indicated on the proposed development plans at sheet A2.00. Storage areas meet the minimum 6m<sup>3</sup> requirement. Storage for the existing dwellings will continue to be provided within the exiting outbuilding.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.04-1</b> Daylight to existing windows objective:</p>	<p><b>To allow adequate daylight into existing habitable room windows</b></p>
<p><b>Response:</b></p>	<p>The design and location of the proposed dwellings, particularly in relation to any existing habitable room windows, allows for adequate light court as required.</p> <p>The proposed dwellings are appropriately set back from the boundaries and have appropriate separation from each other.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.04-2</b> Existing north facing windows objective:</p>	<p><b>To allow adequate solar access to existing north-facing habitable room windows.</b></p>
<p><b>Response:</b></p>	<p>There are no north-facing habitable room windows of existing dwellings immediately adjoining the subject site that will be detrimentally impacted by the proposed additional two dwellings.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.04-3</b> Overshadowing objective:</p>	<p><b>To ensure buildings do not significantly overshadow existing secluded private open space.</b></p>
<p><b>Response:</b></p>	<p>The allotments adjoining the eastern and southern boundaries contain existing residential development and associated facilities. Adjoining the northern boundary is Stanley Street and adjoining the western boundary is Gordon Street.</p>

	<p>The height and setback of the proposed new dwellings is not expected to result in any overshadowing in order to be detrimental. Shadow diagrams are provided within the proposed development plans on sheet number A4.00.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.04-4 Overlooking objective:</b></p>	<p><b>To limit views into existing secluded private open space and habitable room windows.</b></p>
<p><b>Response:</b></p>	<p>The proposed dwellings have been designed to ensure overlooking into existing secluded private open space and habitable windows will not occur. The heights of the proposed dwellings are similar to the existing development surrounding the site and in the broader area.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.04-5 Internal views objective objectives:</b></p>	<p><b>To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.</b></p>
<p><b>Response:</b></p>	<p>The proposed development has been designed to minimise any overlooking into adjoining residential properties through the siting of windows, building orientation and the setbacks between dwellings. The development consists of single storey dwellings, further reducing the potential for unreasonable overlooking impacts.</p> <p>Boundary fencing and canopy trees throughout the site will provide additional screening and privacy between dwellings and adjoining properties, as shown on the proposed development plans.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.05-1 Permeability and stormwater objectives:</b></p>	<p><b>To reduce the impact of increased stormwater run-off on the drainage system and downstream waterways.</b></p> <p><b>To facilitate on-site stormwater infiltration.</b></p> <p><b>To encourage stormwater management that maximises the retention and reuse of stormwater.</b></p> <p><b>To contribute to urban cooling.</b></p>

<p><b>Response:</b></p>	<p>The subject site will maintain a substantial proportion of permeable surface area through the provision of landscaping, garden areas and unpaved surfaces throughout the development. The development provides a permeable surface area in excess of the minimum 20% requirement.</p> <p>The provision of permeable surfaces throughout the site will assist with stormwater infiltration, support landscaping outcomes and reduce the extent of impervious surfaces within the development.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.05-2 Overshadowing domestic solar energy systems objective:</b></p>	<p><b>To ensure that the height and setback of a building from a boundary allows reasonable solar access to existing domestic solar energy systems on the roofs of buildings.</b></p>
<p><b>Response:</b></p>	<p>The height and setback of the proposed two new dwellings has been designed to ensure appropriate separation and will not overshadow any surrounding domestic solar energy systems. Refer to shadow diagrams contained within the proposed development plans.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.05-3 Rooftop solar energy generation area objectives:</b></p>	<p><b>To support the future installation of appropriately sited rooftop solar energy systems for a dwelling.</b></p>
<p><b>Response:</b></p>	<p>The proposed dwellings will contain a suitable amount of roof space, the roof design is a skillion style with an east to west aspect, future solar installation may require elevated frames to achieve optimal sun exposure.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.05-4: Solar protection to new north facing windows space objective:</b></p>	<p><b>To encourage external shading of north facing windows to minimise summer heat gain.</b></p>
<p><b>Response:</b></p>	<p>The proposed dwellings incorporate a skillion roof form with eave overhangs as shown on the elevations. The eaves provide general weather protection and some degree of shading to windows.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>

<p><b>Clause 55.05-5 waste and recycling objectives:</b></p>	<p><b>To ensure dwellings are designed to facilitate waste recycling.</b>  <b>To ensure that waste and recycling facilities are accessible and are of sufficient size to manage organic and general waste, and mixed and glass recycling.</b>  <b>To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity.</b></p>
<p><b>Response:</b></p>	<p>The bin storage area is identified for each dwelling and meets the requirements set out in table B5-5.1. Each bin storage area has a minimum area of 1.8 m<sup>2</sup>.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>
<p><b>Clause 55.05-6 Noise impact objective:</b></p>	<p><b>To minimise the impact of mechanical plant noise located in the development.</b></p>
<p><b>Response:</b></p>	<p>The location of the external air conditioning units and hot water services have been strategically located. The external air conditioning units will be located on the eastern wall adjoining bedroom 1 and the hot water services will be located on the northern wall adjoining the ensuites, ensuring no noise impact to habitable rooms of adjoining and nearby dwellings.</p> <p>There are no obvious noise sources from the adjoining properties that are likely to detrimentally affect the proposed dwellings.</p> <p><b>The proposal meets the objectives and standards of this clause.</b></p>



May 12, 2026  
Planning Department  
East Gippsland Shire Council  
273 Main Street  
Bairnsdale VIC 3875

**Re: Support for Proposed Two Additional Dwellings – 30 Gordon Street, Orbost**

To Whom It May Concern,

Orbost Regional Health writes in support of the proposed development of two additional dwellings at 30 Gordon Street, Orbost.

Orbost Regional Health are the owners of the land the subject of this application.

As a major health service provider within the region, Orbost Regional Health continues to experience significant challenges associated with the recruitment and retention of essential healthcare professionals. One of the key barriers to attracting and retaining employees within Orbost is the limited availability of suitable residential accommodation.

The proposed dwellings are intended solely to provide accommodation for healthcare workers associated with Orbost Regional Health. The additional housing stock will assist in addressing ongoing accommodation shortages for medical professionals and support the delivery of critical healthcare services within Orbost and surrounding areas.

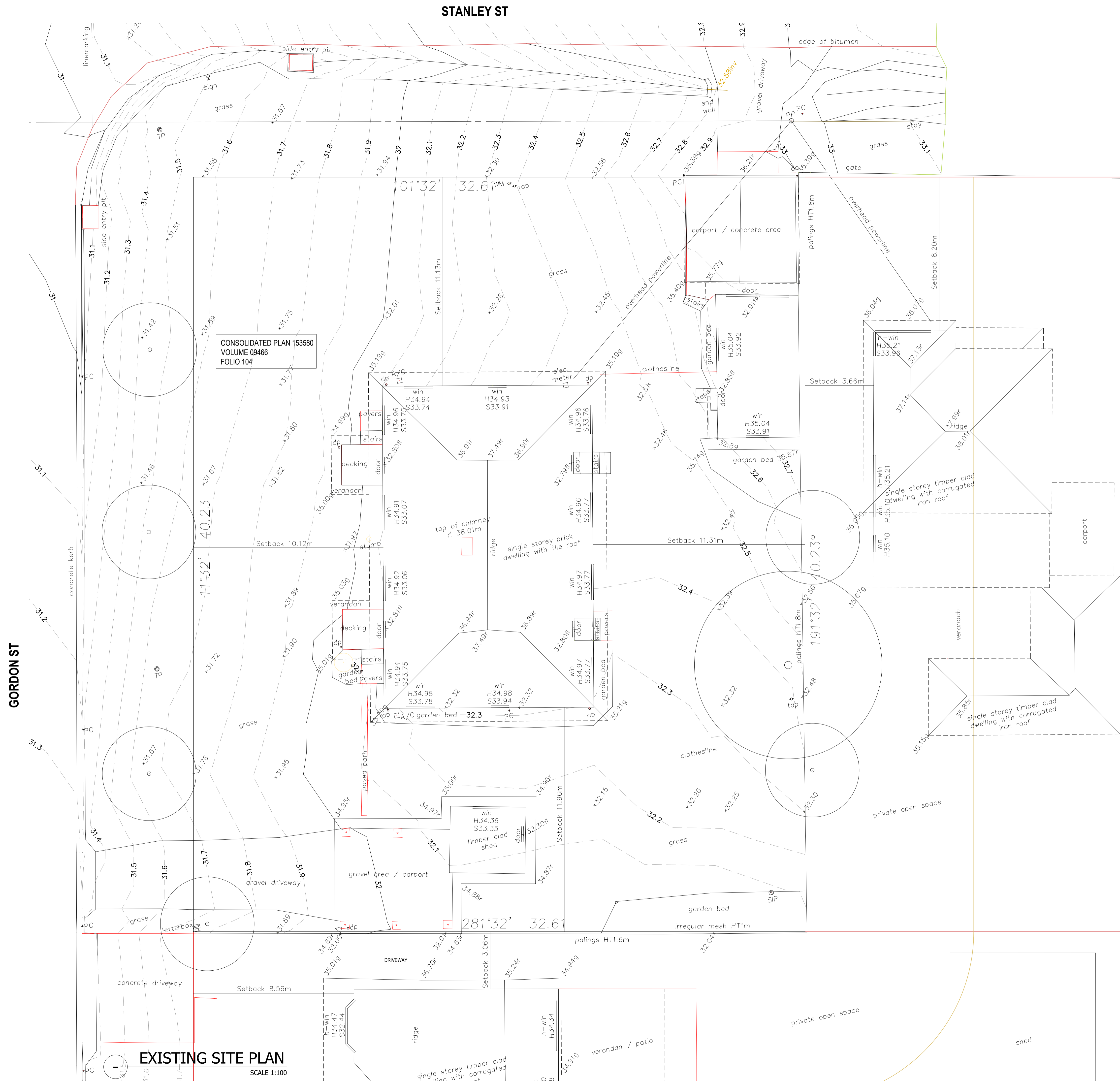
The dwellings are expected to be utilised for a combination of temporary and longer-term accommodation for medical professionals, nurses, allied health practitioners, and visiting specialists engaged by Orbost Regional Health. Access to appropriate accommodation is critical in enabling Orbost Regional Health to continue servicing the needs of the local population and maintaining continuity of care across the region.

Orbost Regional Health considers the proposal to represent an important contribution toward increasing the availability of staff accommodation and supporting the ongoing operation of regional healthcare services.

Accordingly, Orbost Regional Health respectfully requests that East Gippsland Shire Council give favourable consideration to the proposal.

Should you require any further information, please do not hesitate to contact the undersigned.

Nikki Brown  
Acting CEO



**EXISTING SITE PLAN**  
SCALE 1:100

# 30 GORDON ST ORBST PROPOSED UNIT DEVELOPMENT

PROJECT NUMBER 0515\_26  
PROPOSED  
PROPOSED UNIT  
DEVELOPMENT

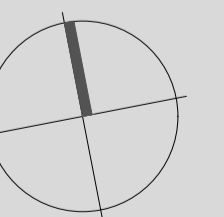
ISSUE DATE 29.04.26  
REVISION

- DD - DESIGN DEVELOPMENT
- TP1 - PLANNING FOR REVIEW
- TP2 - ISSUED FOR PLANNING APPLICATION



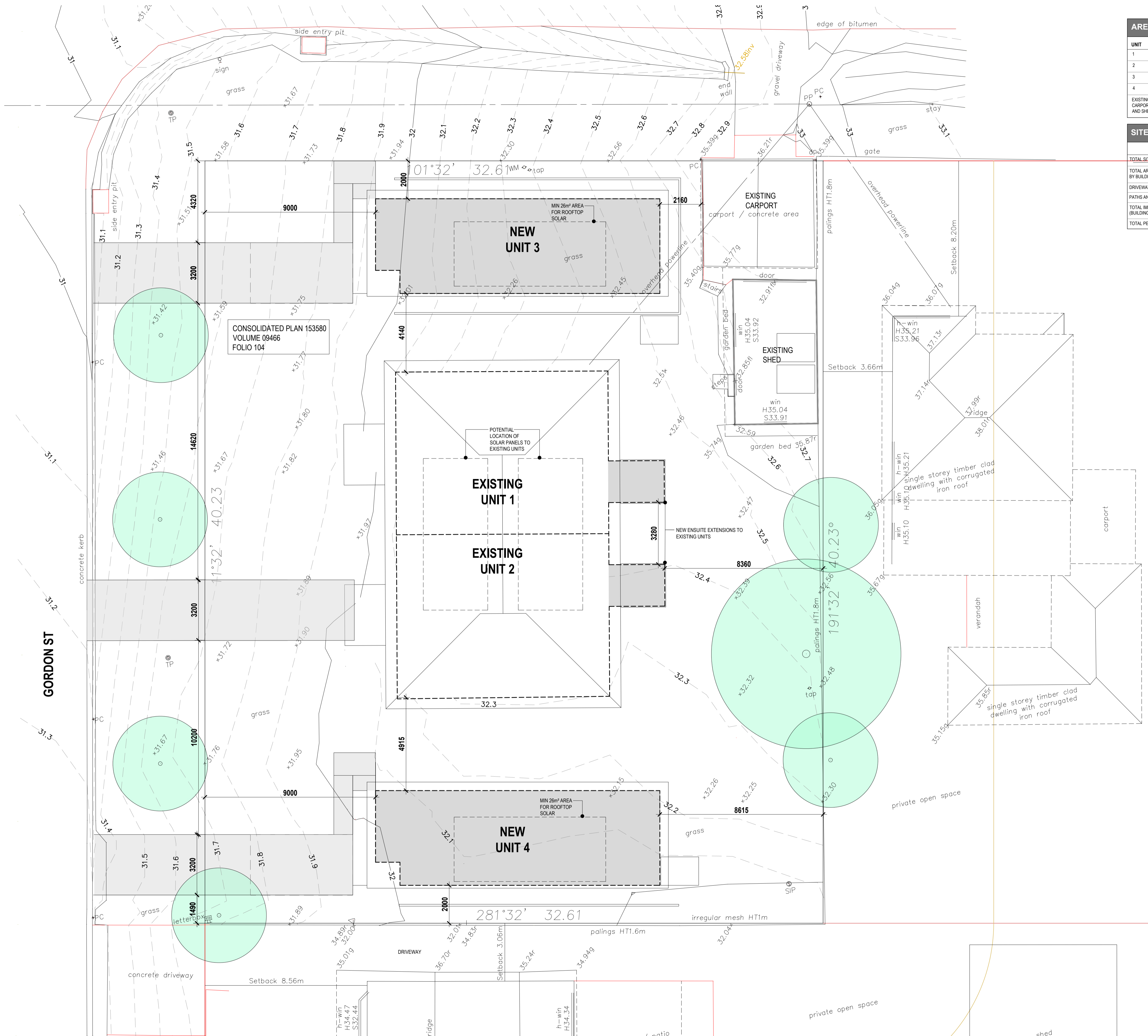
**TOM HARDY**  
DESIGNS  
0417 054 594

NORTH



SHEET CONTENT  
**EXISTING SITE PLAN**

**A1.00**



AREA SCHEDULE	
UNIT	FLOOR AREA
1	102.6m²
2	102.6m²
3	73.42m²
4	73.42m²
EXISTING CARPORT AND SHED	68.90m²

SITE COVERAGE 55.05-5		
	AREA	PERCENTAGE
TOTAL SITE AREA	1312m²	
TOTAL AREA COVERED BY BUILDINGS SQUARE METERS	420.94m²	32.08%
DRIVEWAY AREA	75.31m²	5.74%
PATHS AND SERVICE AREAS	13.4m²	1.02%
TOTAL IMPERVIOUS (BUILDING-HARD SURFACE)	509.65m²	38.84%
TOTAL PERVIOUS (GRASS/GARDEN)	802.32m²	61.16%

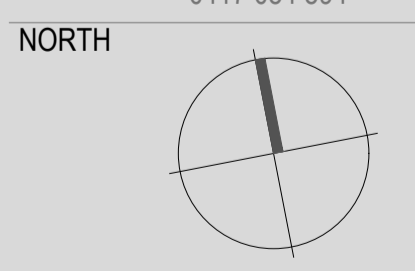
CONSOLIDATED PLAN 153580  
VOLUME 09466  
FOLIO 104

**SITE PLAN**  
SCALE 1:100

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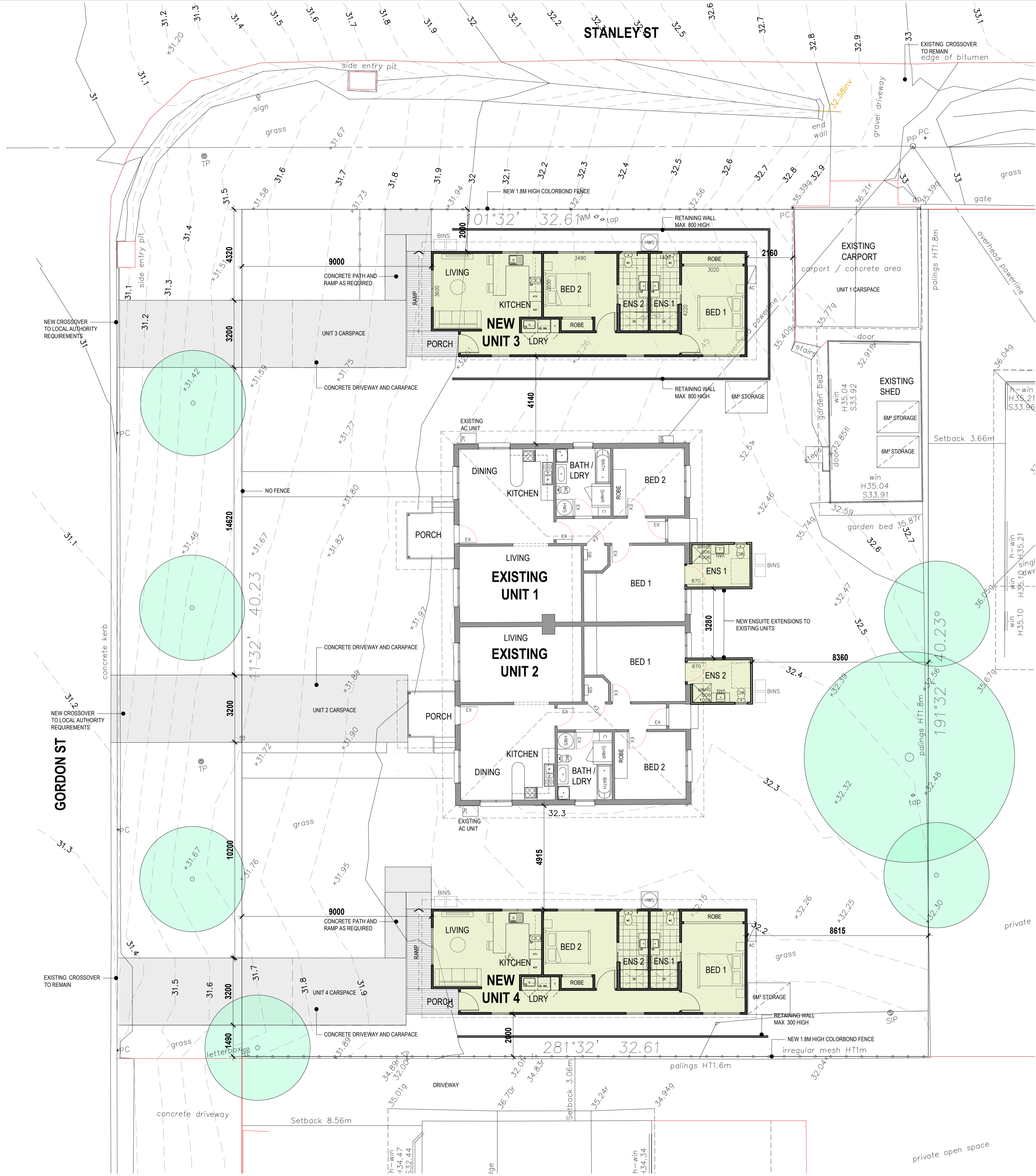
# 30 GORDON ST ORBOST PROPOSED UNIT DEVELOPMENT

PROJECT NUMBER 0515\_26  
PROPOSED PROPOSED UNIT DEVELOPMENT  
ISSUE DATE 29.04.26  
REVISION  
DD - DESIGN DEVELOPMENT  
TP1 - PLANNING FOR REVIEW  
TP2 - ISSUED FOR PLANNING APPLICATION



SHEET CONTENT  
SITE PLAN

**A1.01**  
30 GORDON ST  
ORBOST  
29.04.26  
Page 38 of 42

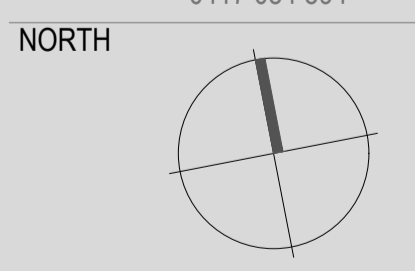
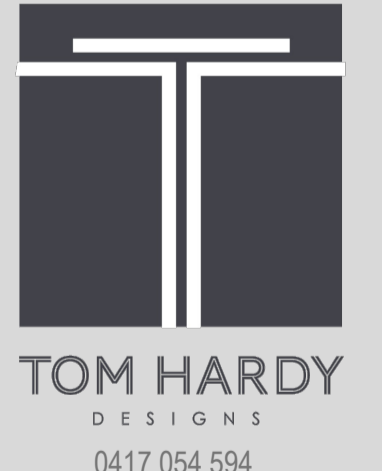


FLOOR PLAN LEGEND		
REF	DESCRIPTION	NOTES
[Symbol]	INDICATES CONCRETE DRIVEWAY AREAS	GRADE FOR DRAINAGE AS REQUIRED
[Symbol]	INDICATES 1800mm HIGH COLORBOND FENCE	CONSTRUCT ON TOP OF RETAINING IN REQUIRED
[Symbol]	INDICATES LOCATION OF PROPOSED RETAINING WALLS	FINAL RETAINING WALL TO ENGINEERS DESIGN AND DETAILS. RETAINING WALL FOOTING NOT TO ENROACH EASEMENTS/SITE BOUNDARY
[Symbol]	INDICATES LOCATION EXISTING TREE	ALL EXISTING TREES LOCATED BY LICENSED LAND SURVEYOR

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# 30 GORDON ST ORBOST PROPOSED UNIT DEVELOPMENT

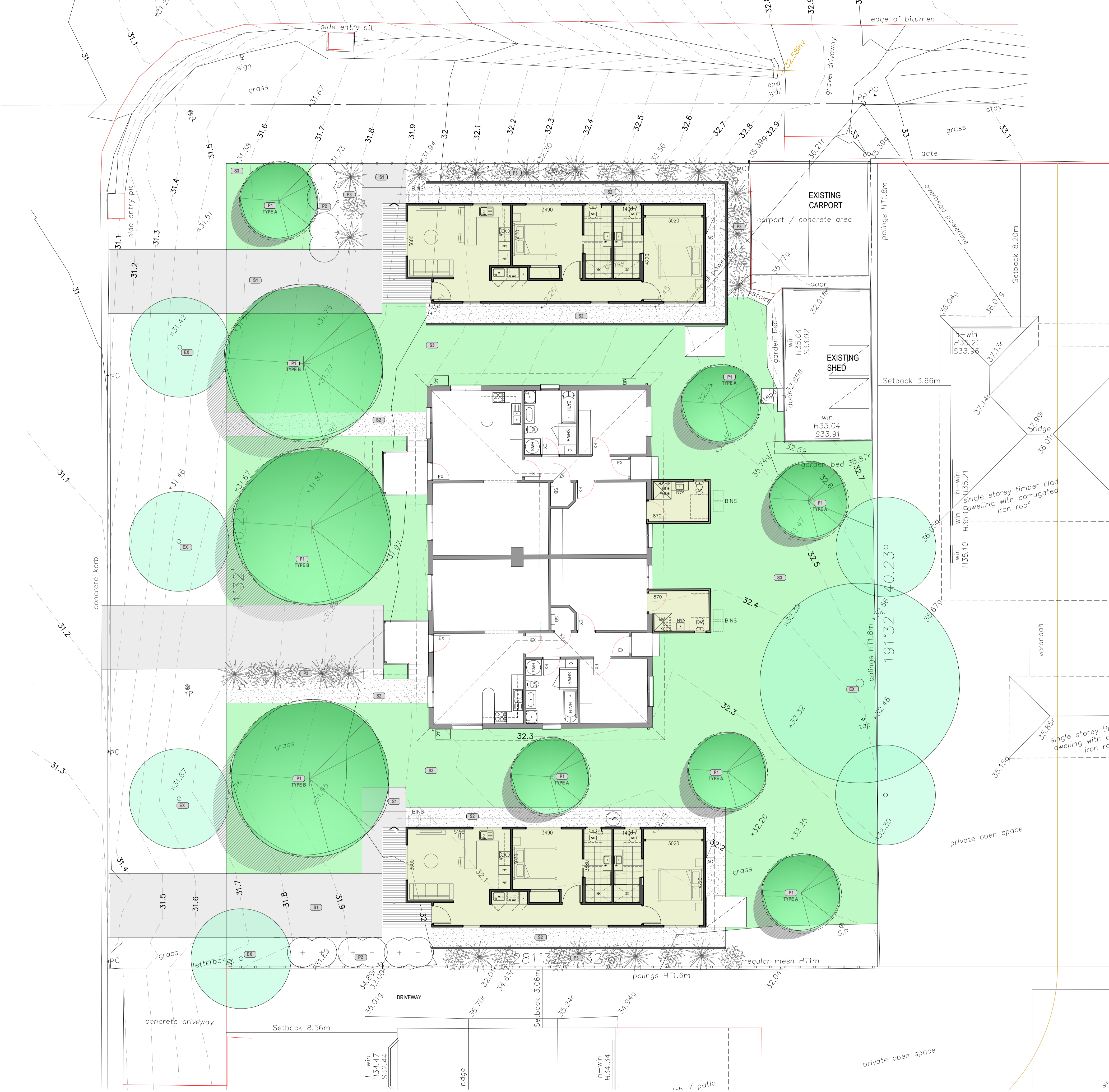
PROJECT NUMBER 0515\_26  
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SHEET CONTENT  
 FLOOR PLANS

**A2.00**  
 PREPARED 06/2026  
 Page 39 of 42

**FLOOR PLANS**  
 SCALE 1:100



CONCEPT LANDSCAPE PLAN LEGEND		
REF	DESCRIPTION	NOTES
S1	SURFACE FINISH 1 INDICATES CONCRETE DRIVEWAY AREAS	GRADE FOR DRAINAGE AS REQUIRED
	INDICATES 1800mm HIGH COLORBOND FENCE	REDUCE HEIGHT AT FRONT BOUNDARY
	INDICATES LOCATION OF PROPOSED RETAINING WALLS	FINAL RETAINING WALL TO ENGINEERS DESIGN AND DETAILS. RETAINING WALL FOOTING NOT TO ENCRoACH EASEMENTS/SITE BOUNDARY
S2	SURFACE FINISH 2 INDICATES LOCATION OF CRUSHED ROCK PATHWAYS AND SERVICE AREAS	PROVIDE TIMBER EDGE AS REQUIRED AT JUNCTION OF DIFFERENT SURFACE FINISHES
S3	SURFACE FINISH 3 INDICATES LOCATION OF GRASS AREAS	PROVIDE TIMBER EDGE AS REQUIRED AT JUNCTION OF DIFFERENT SURFACE FINISHES
P1	PLANTING TYPE 1 PROPOSED CANOPY TREE	PROPOSED CANOPY TREE REFER CANOPY TREE SCHEDULE FOR ALL DETAILS
EX	INDICATES LOCATION EXISTING TREE	ALL TREES LOCATED BY LICENSED LAND SURVEYOR
P2	PLANTING TYPE 2 PROPOSED MID LEVEL SHRUBS	PROVIDE MULCH TO ALL PLANTING AREAS
P3	PLANTING TYPE 3 PROPOSED LOW TO MID LEVEL GRASSES	TYPICALLY PLANT OUT TO ALL SITE BATTERS - PROVIDE MULCH TO ALL PLANTING AREAS

CANOPY TREE REQUIREMENT:			
SITE AREA	1312m <sup>2</sup>		
20% OF SITE AREA	262.4m <sup>2</sup>		

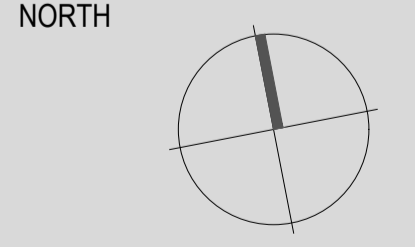
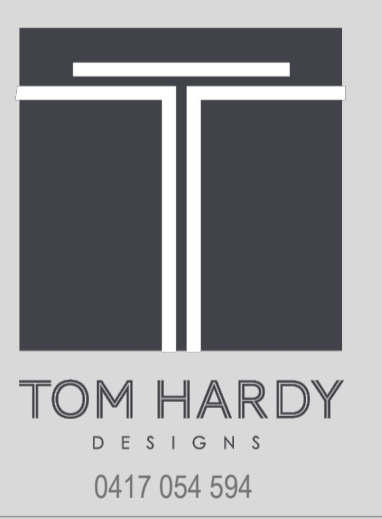
CANOPY TREE SCHEDULE:			
TYPE	CANOPY DIAMETER	CANOPY AREA	AREA OF DEEP SOIL
A	4.0 METERS	12.6 m <sup>2</sup>	12 sqm (Min plan dimension 2.5m)
B	8.0 METERS	50.3 m <sup>2</sup>	49 sqm (Min plan dimension 4.5m)
C	12.0 METERS	113.1 m <sup>2</sup>	121 sqm (Min plan dimension 6.5m)

PROPOSED CANOPY TREES		
TYPE	NUMBER PROVIDED	TOTAL CANOPY AREA
A	6 @12.6m <sup>2</sup>	75.6m <sup>2</sup>
B	3@50.30m <sup>2</sup>	150.9 m <sup>2</sup>
EX	1 @44.1m <sup>2</sup>	44.1m <sup>2</sup> (EXISTING TREE)
<b>TOTAL TREE CANOPY</b>		<b>270.60m<sup>2</sup></b>

# 30 GORDON ST ORBOST PROPOSED UNIT DEVELOPMENT

PROJECT NUMBER 0515\_26  
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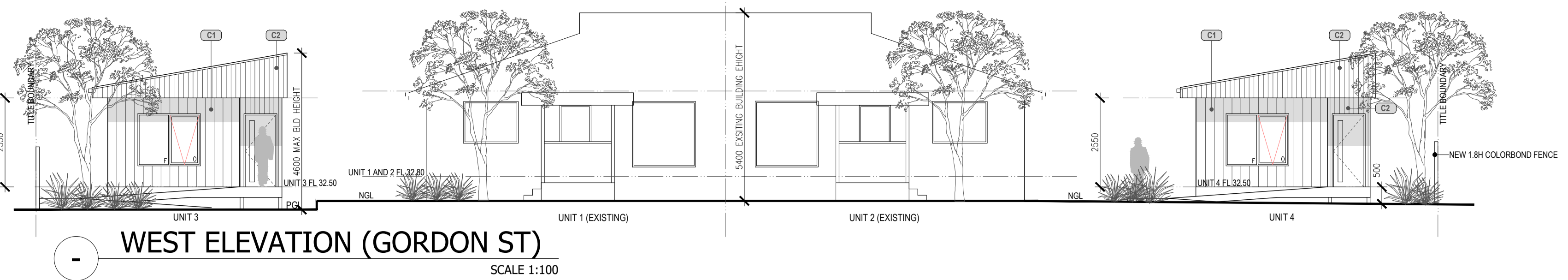


SHEET CONTENT  
 CONCEPT LANDSCAPE PLAN

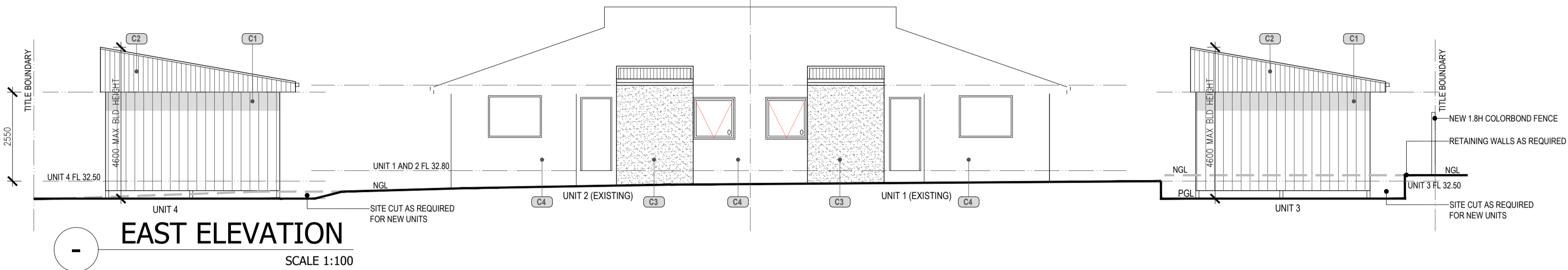
**A2.02**  
 PREPARED 06/2026  
 Page 40 of 42

**30 GORDON ST  
 ORBOST  
 PROPOSED UNIT DEVELOPMENT**

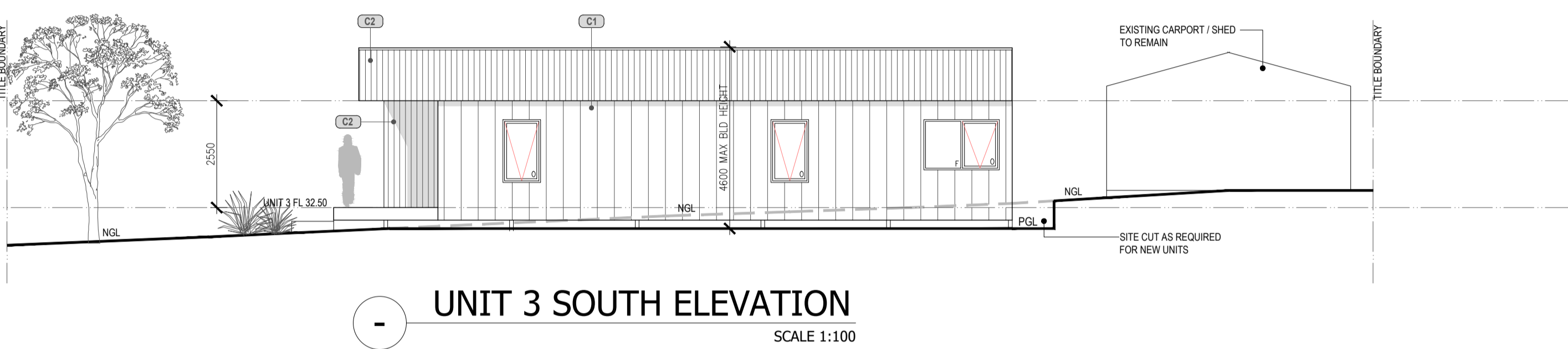
REF	DESCRIPTION	FINISH	COLOUR
C1	CLADDING 1 METAL WALL CLADDING NAL STRIP OR SIMILAR	COLOURBOND	WINDSPRAY
C2	CLADDING 2 NEWTECH COMPOSITE CLADDING SHADOW LINE OR SIMILAR	COMPOSITE	BLACKBUTT
C3	CLADDING 3 RENDERED FIBRE CEMENT SHEET	RENDER	SHALE GREY
C4	CLADDING 4 EXISTING FACE BRICK WORK	BRICK	EXISTING
MR1	METAL ROOFING CUSTOM ORB ROOF SHEETING	COLOURBOND	WINDSPRAY



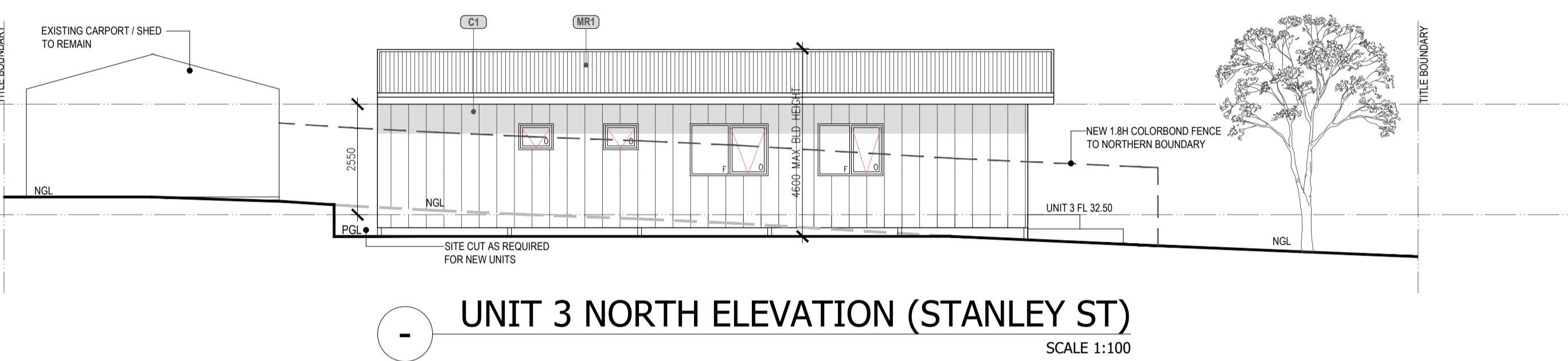
**WEST ELEVATION (GORDON ST)**  
 SCALE 1:100



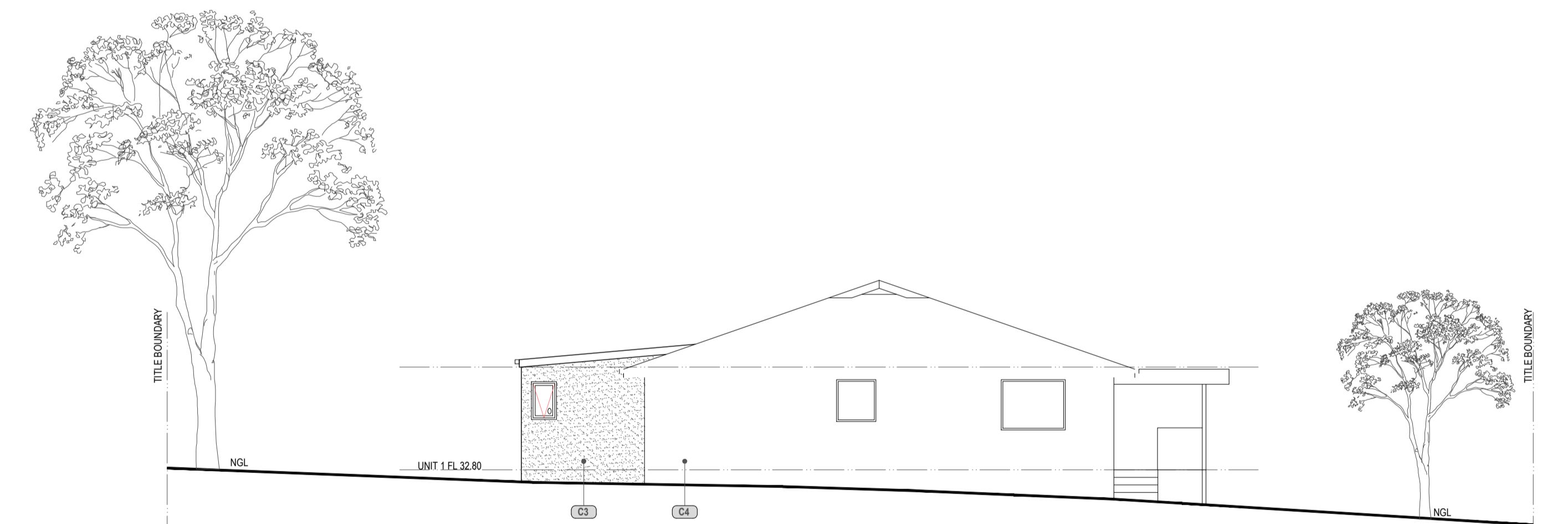
**EAST ELEVATION**  
 SCALE 1:100



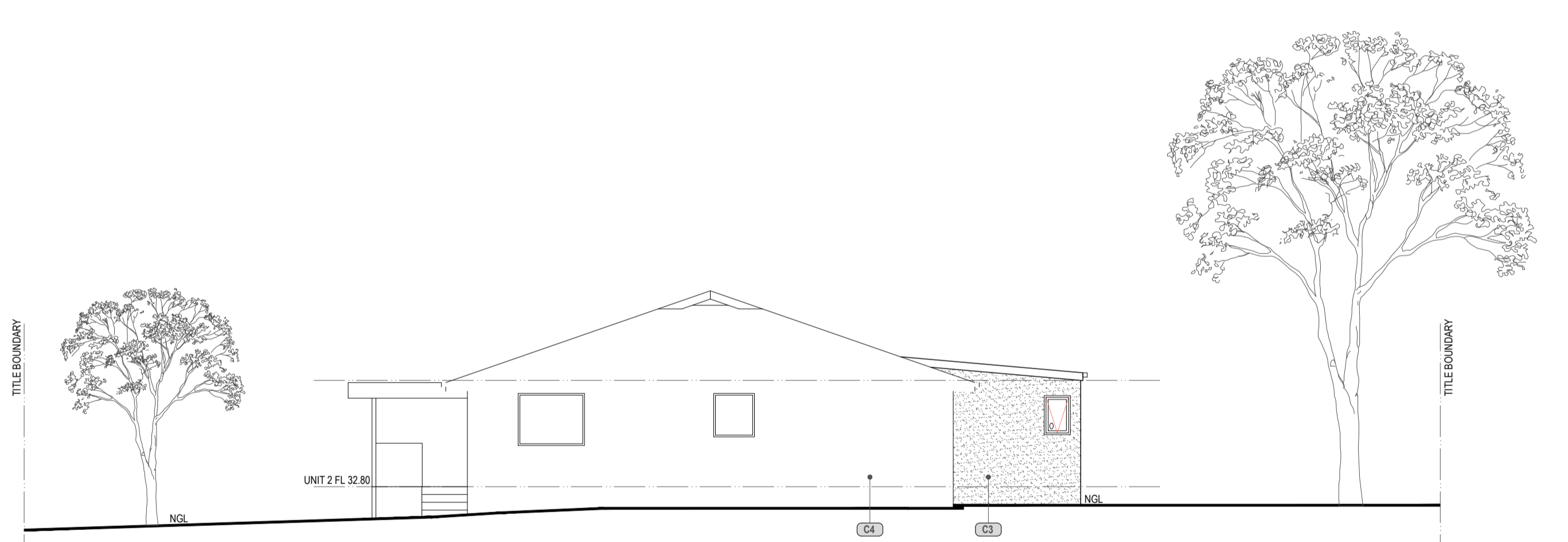
**UNIT 3 SOUTH ELEVATION**  
 SCALE 1:100



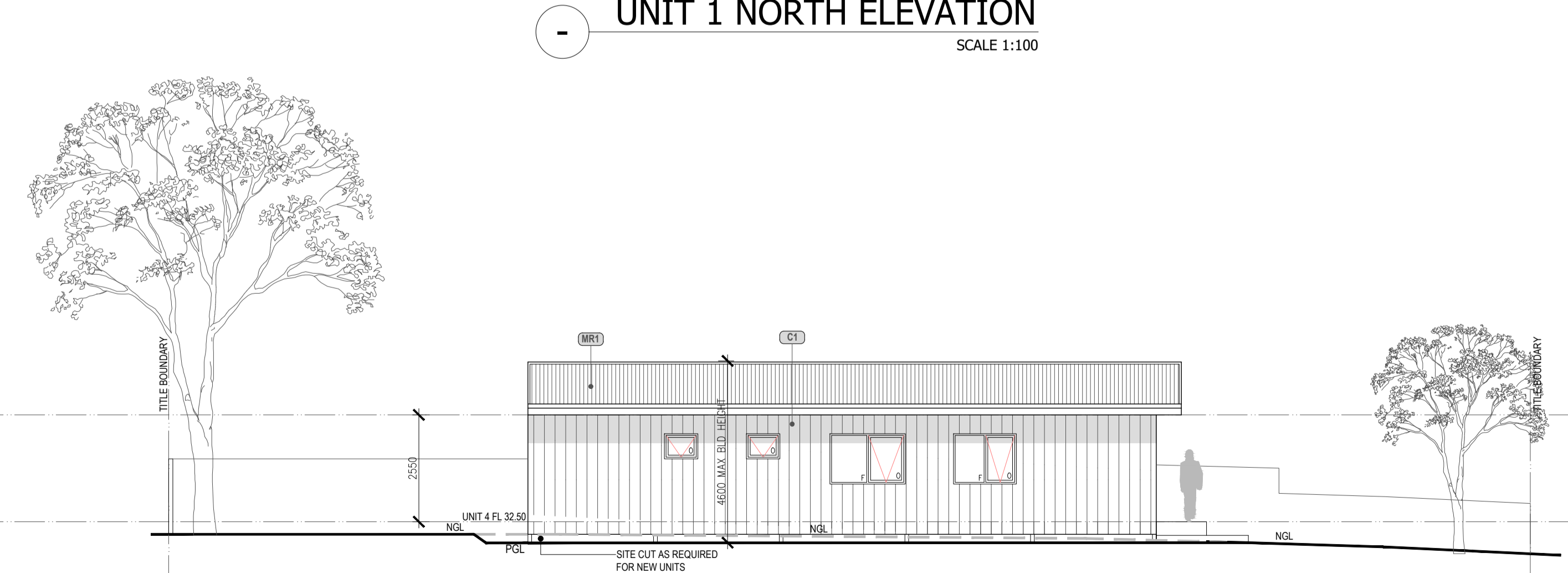
**UNIT 3 NORTH ELEVATION (STANLEY ST)**  
 SCALE 1:100



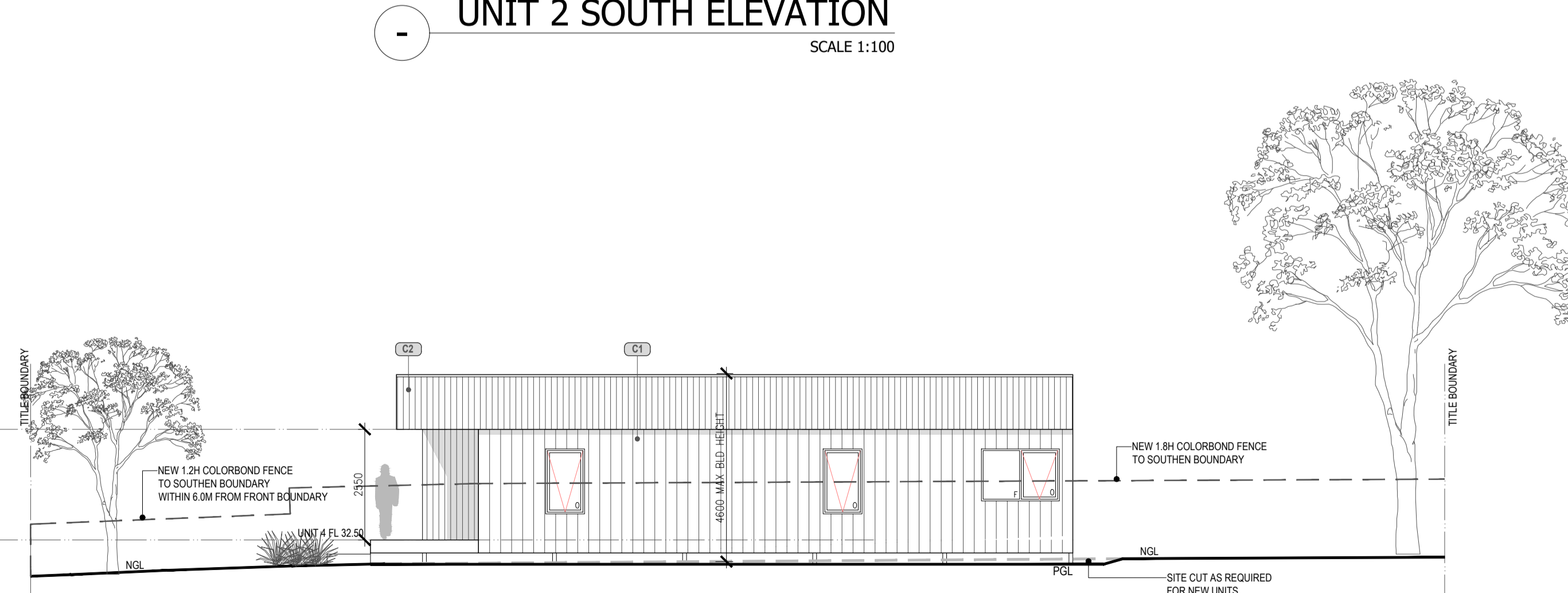
**UNIT 1 NORTH ELEVATION**  
 SCALE 1:100



**UNIT 2 SOUTH ELEVATION**  
 SCALE 1:100



**UNIT 4 NORTH ELEVATION**  
 SCALE 1:100



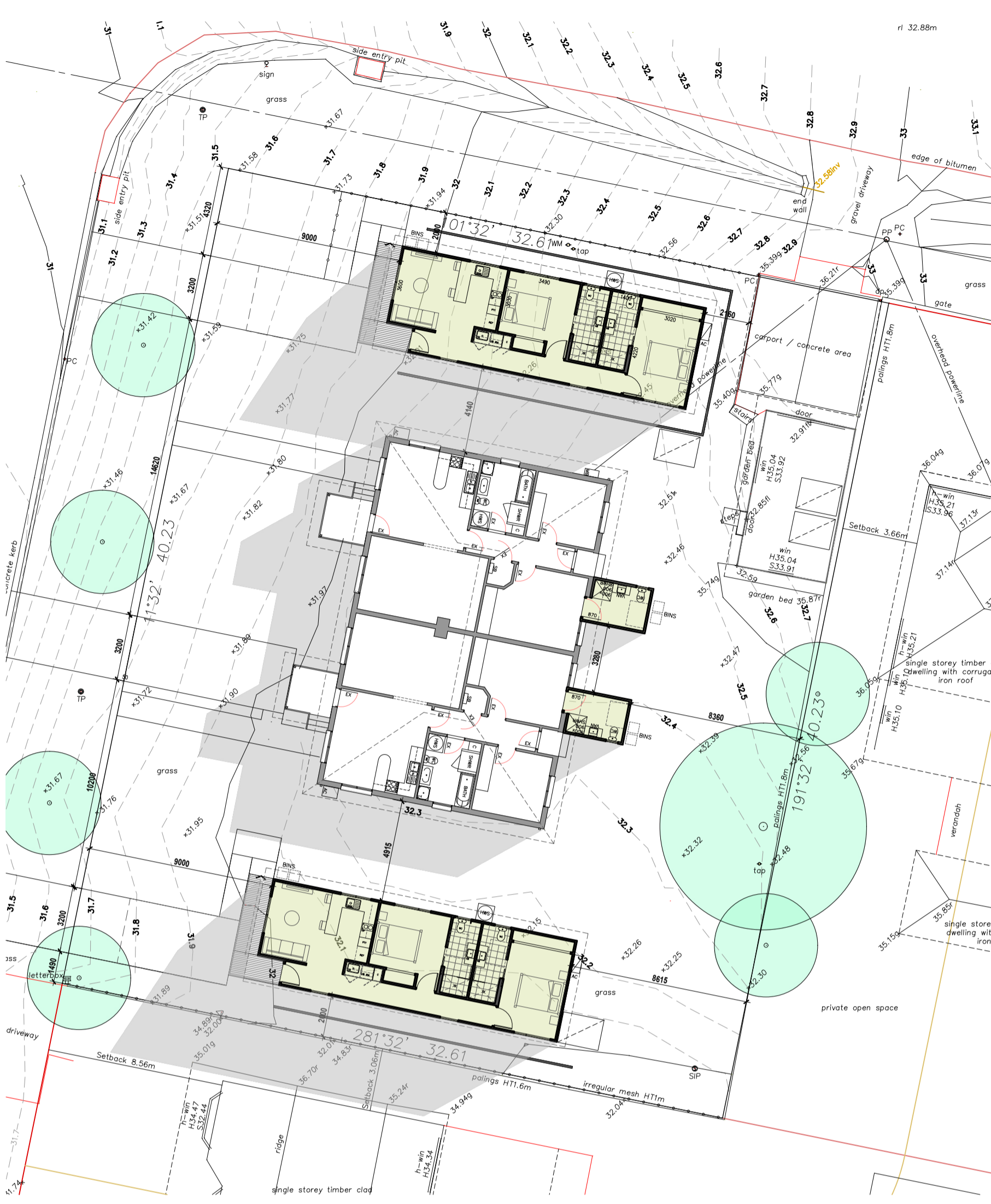
**UNIT 4 SOUTH ELEVATION**  
 SCALE 1:100

PROJECT NUMBER 0515\_26  
 PROPOSED  
 PROPOSED UNIT  
 DEVELOPMENT  
 ISSUE DATE 29.04.26  
 REVISION  
 DD - DESIGN DEVELOPMENT  
 TP1 - PLANNING FOR REVIEW  
 TP2 - ISSUED FOR PLANNING APPLICATION

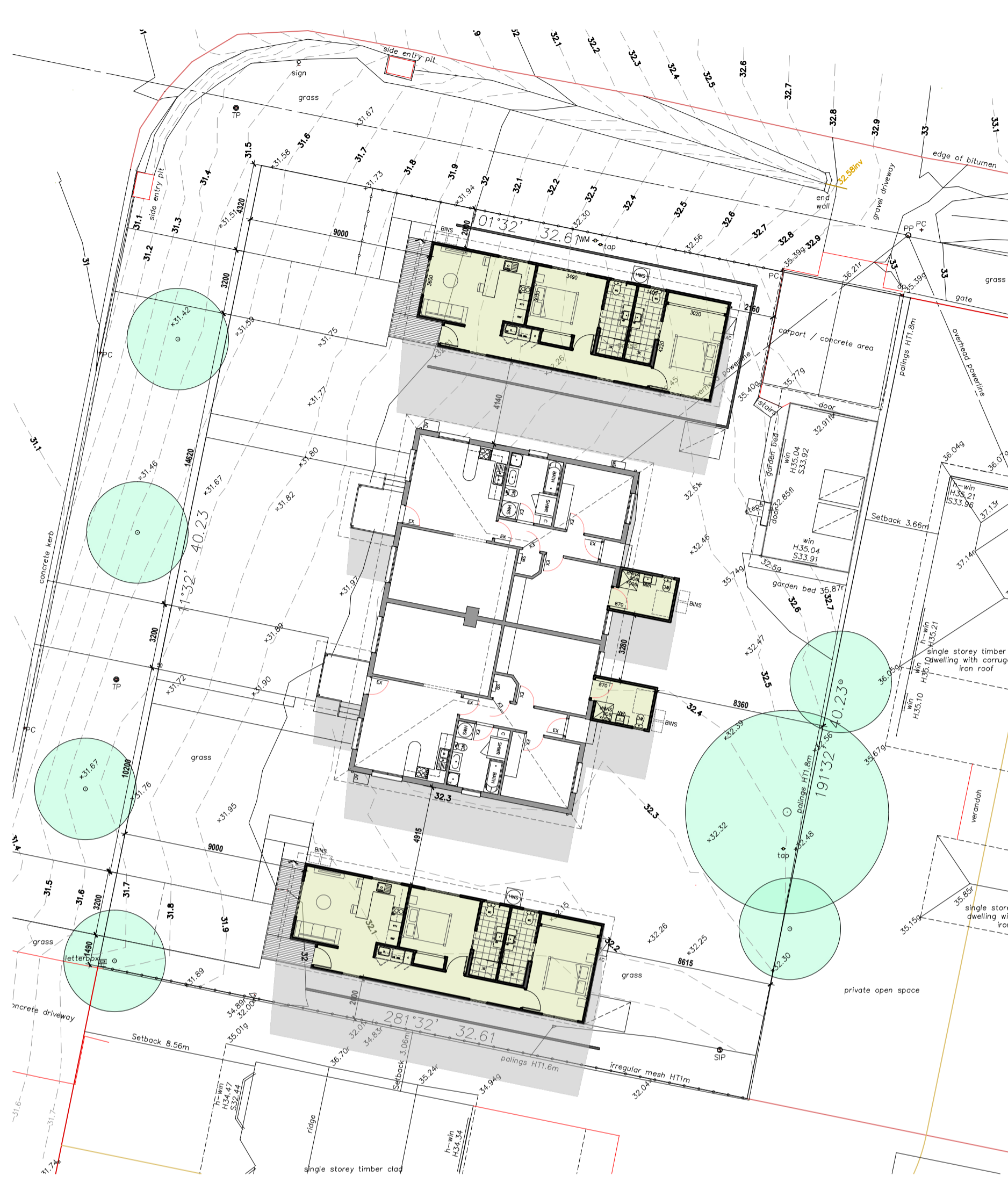


NORTH

SHEET CONTENT  
 ELEVATIONS



9AM SHADOW PLAN  
 SCALE 1:200



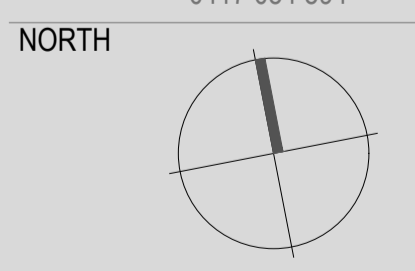
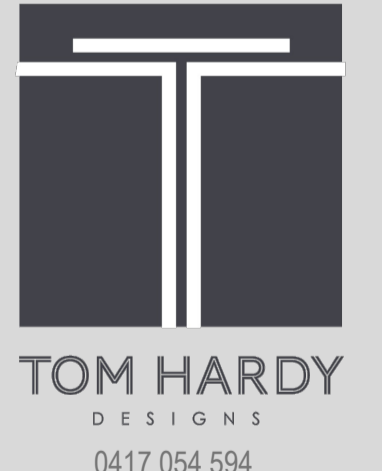
12 NOON SHADOW PLAN  
 SCALE 1:200



3PM SHADOW PLAN  
 SCALE 1:200

**30 GORDON ST**  
**ORBOST**  
 PROPOSED UNIT DEVELOPMENT

PROJECT NUMBER	0515_26
PROPOSED UNIT DEVELOPMENT	
ISSUE DATE	29.04.26
REVISION	
DD - DESIGN DEVELOPMENT	
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SHEET CONTENT  
 SHADOWS