

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	39 Angophora Drive MALLACOOTA VIC 3892 Lot: 1 PS: 925427
The application is for a permit to:	Buildings and works for a dwelling
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
43.02-2	Buildings & Works
The applicant for the permit is:	Mr Cabins Pty Ltd
The application reference number is:	5.2026.166.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ♦ **be made to the Responsible Authority in writing,**
- ♦ **include the reasons for the objection, and**
- ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
---	---

If you object, the Responsible Authority will tell you its decision.

April McDonald

From: Snapforms Notifications <no-reply@snapforms.com.au>
Sent: Thursday, 4 June 2026 3:08 PM
To: Planning Unit Administration
Subject: Planning Permit application
Attachments: BAL Report.pdf; Title Cert.pdf; 34631_MCB_TAMAR SAMUEL DESIGN LAYOUT_REV-B.pdf; Title Plan.pdf; Planning Report.pdf; Planning_Permit_Application_2026-06-04T15-07-33_34495519_0.pdf

Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Applicant name: Kerry Stott

Business trading name: Mr Cabins Pty Ltd

Email address: kerry@mrcabins.com.au

Postal address : 1452 Sandy Creek Road, Quorrobolong NSW 2325

Preferred phone number: 0404881867

Secondary phone number: 0404881867

Owner's name: `

Owner's postal address:

Street number: 39

Street name: Angophora Drive

Town: Mallacoota

Post code: 3892

Lot number: 1

Plan number: 925427E

Other Legal Description: Volume 10635, Folio 708

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?: No

Will the proposal result in a breach of a registered covenant restriction or agreement?: No

Existing conditions : Residential

Description of proposal : Installation of Modular Home and Deck that sits on Engineered Designed Piers. The Total area of the new dwelling is 108sqm and the block is 810sqm

Estimated cost of development: \$216,000

Has there been a pre-application meeting: No

ExtraFile: 1

Invoice Payer: Mr Cabins Pty Ltd

Address for Invoice: 1452 Sandy Creek Road, Quorrobolong, NSW 2325

Invoice Email: kerry@mrcabins.com.au

Primary Phone Invoice: 0404881867

Declaration: Yes

Authority Check: Yes

Notice Contact Check: Yes

Notice check 2: Yes

Privacy Statement Acknowledge: Yes

1. Supporting information/reports: [BAL Report.pdf](#)

Full copy of Title: [Title Cert.pdf](#), [Title Plan.pdf](#)

Plans: [34631_MCB](#) [DESIGN LAYOUT_REV- B.pdf](#)

Planning report: [Planning Report.pdf](#)

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 3

VOLUME 12597 FOLIO 817

Security no : 124135290188C
Produced 04/06/2026 02:55 PM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 925427E.
PARENT TITLE Volume 10635 Folio 708
Created by instrument PS925427E 24/02/2025

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS925427E FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 39 ANGOPHORA DRIVE MALLACOOTA VIC 3892

ADMINISTRATIVE NOTICES

NIL

eCT Control
Effective from

DOCUMENT END

Imaged Document Cover Sheet

ADVERTISED
This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	PS925427E
Number of Pages (excluding this cover sheet)	2
Document Assembled	04/06/2026 14:55

Copyright and disclaimer notice:

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

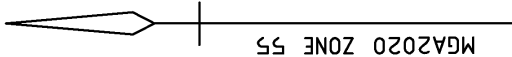
The document is invalid if this cover sheet is removed or altered.

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

PLAN OF SUBDIVISION				EDITION 1 PS 925427E	
LOCATION OF LAND PARISH: MALLACOOTA TOWNSHIP: _____ SECTION: _____ CROWN ALLOTMENT: 4 (PART) CROWN PORTION: _____ TITLE REFERENCE: VOL 10635 FOL 708 LAST PLAN REFERENCE: LOT 19 - PS420972S POSTAL ADDRESS: 39 ANGOPHORA DRIVE (at time of subdivision) MALLACOOTA 3892 MGA2020 CO-ORDINATES: E: 743 080 ZONE: 55 (of approx centre of land in plan) N: 5814 250				Council Name: East Gippsland Shire Council Council Reference Number: PS925427E Planning Permit Reference: 5.2023.456.1 SPEAR Reference Number: S229959E Certification This plan is certified under section 6 of the Subdivision Act 1988 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has not been made Digitally signed by: Robert Pringle for East Gippsland Shire Council on 12/08/2024 Statement of Compliance issued: 28/01/2025	
VESTING OF ROADS AND/OR RESERVES				NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON				
NIL	NIL				
NOTATIONS					
DEPTH LIMITATION	15.24 METRES BELOW THE SURFACE				
SURVEY: This plan is based on survey. STAGING: This is not a staged subdivision. Planning Permit No. 5.2023.456.1 This survey has been connected to permanent marks No(s). _____ In Proclaimed Survey Area No. NIL					
EASEMENT INFORMATION					
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)					
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	
E-1	DRAINAGE & SEWERAGE	3	PS420972S	LOTS 11-22(B1) & LOTS 29-38 ON PS420972S	
E-2	SEWERAGE	2.50	THIS PLAN	EAST GIPPSLAND REGION WATER CORPORATION	
E-3	DRAINAGE & SEWERAGE	3	THIS PLAN	EAST GIPPSLAND REGION WATER CORPORATION AND EAST GIPPSLAND SHIRE COUNCIL	
Crowther & Sadler Pty. Ltd. LICENSED SURVEYORS & TOWN PLANNERS 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875 P. (03) 6162 6011 E. contact@crowthersadler.com.au		SURVEYORS FILE REF: 20672		ORIGINAL SHEET SIZE: A3	SHEET 1 OF 2 SHEETS
Digitally signed by: Paul Anthony Dwyer, Licensed Surveyor, Surveyor's Plan Version (2). 20/06/2024, SPEAR Ref: S229959E		Land Use Victoria Plan Registered 03:08 PM 24/02/2025 Assistant Registrar of Titles			

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

PS 925427E



ANGOPHORA DRIVE

12.87

13°27'

35

30

1

810m²

163°27'

27

163°27'

54.77

3

E-3

15

2.50

30

13°27'

3

2

1099m²

(54.34)

343°27'

3

E-1

35

254°04'30"

3

2.50

E-2

(27.77)

3

Crowther & Sadler Pty. Ltd.
LICENSED SURVEYORS & TOWN PLANNERS
162 MACLEOD STREET, BAIRNSDALE, VIC., 3875
P. (03) 6162 6011 E. contact@crowthersadler.com.au

SURVEYORS REF
20672
SCALE
1:400
Digitally signed by: Paul Anthony Dwyer, Licensed Surveyor,
Surveyor's Plan Version (2),
20/06/2024, SPEAR Ref: S229959E

ORIGINAL SHEET
SIZE: A3
16
12
8
4
LENGTHS ARE IN METRES
Digitally signed by:
East Gippsland Shire Council,
12/08/2024,
SPEAR Ref: S229959E

SHEET 2

PLANNING PROPERTY REPORT

From www.planning.vic.gov.au at 04 June 2026 02:48 PM

PROPERTY DETAILS

Address: **39 ANGOPHORA DRIVE MALLACOOTA 3892**
 Lot and Plan Number: **Lot 1 PS925427**
 Standard Parcel Identifier (SPI): **1\PS925427**
 Local Government Area (Council): **EAST GIPPSLAND**
 Council Property Number: **82328**
 Planning Scheme: **East Gippsland**
 Directory Reference: **Vicroads 683 R3**

www.eastgippsland.vic.gov.au

[Planning Scheme - East Gippsland](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
 Urban Water Corporation: **East Gippsland Water**
 Melbourne Water: **Outside drainage boundary**
 Power Distributor: **AUSNET**

STATE ELECTORATES

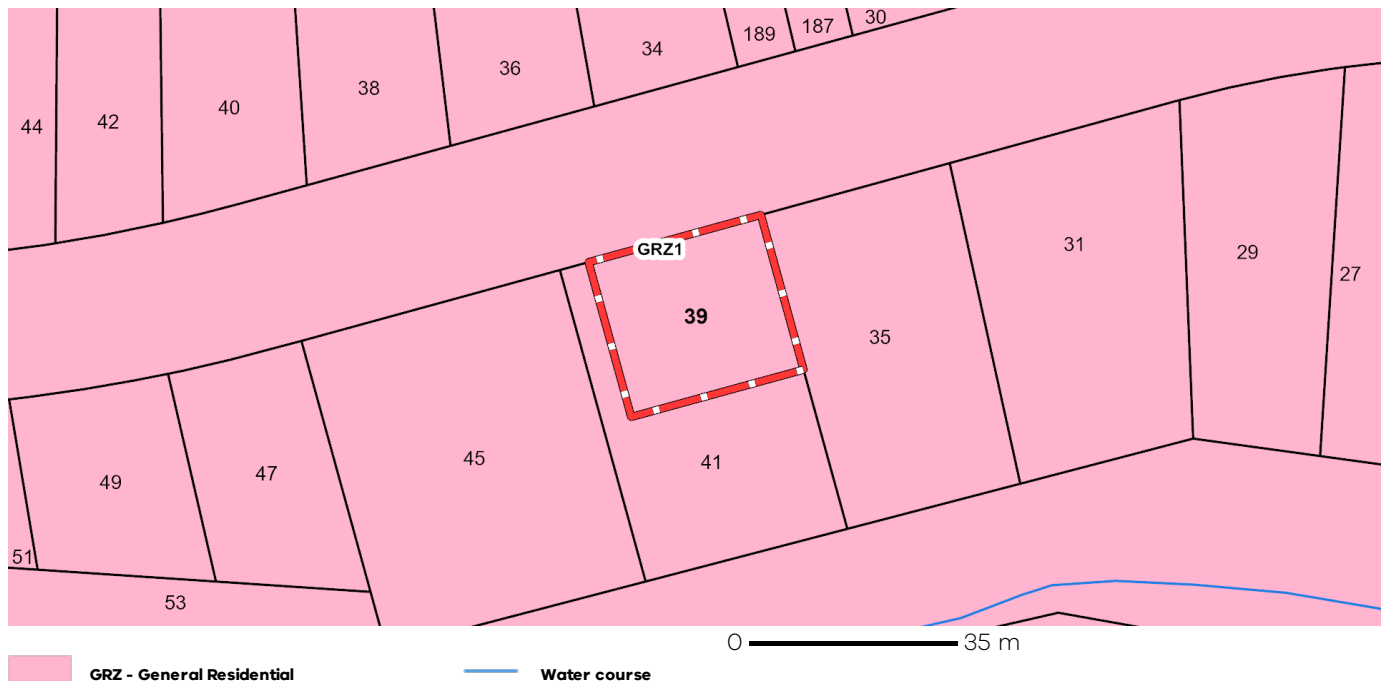
Legislative Council: **EASTERN VICTORIA**
 Legislative Assembly: **GIPPSLAND EAST**
 OTHER
 Registered Aboriginal Party: **None**
 Fire Authority: **Country Fire Authority**

[View location in VicPlan](#)

Planning Zones

[GENERAL RESIDENTIAL ZONE \(GRZ\)](#)

[GENERAL RESIDENTIAL ZONE - SCHEDULE 1 \(GRZ1\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

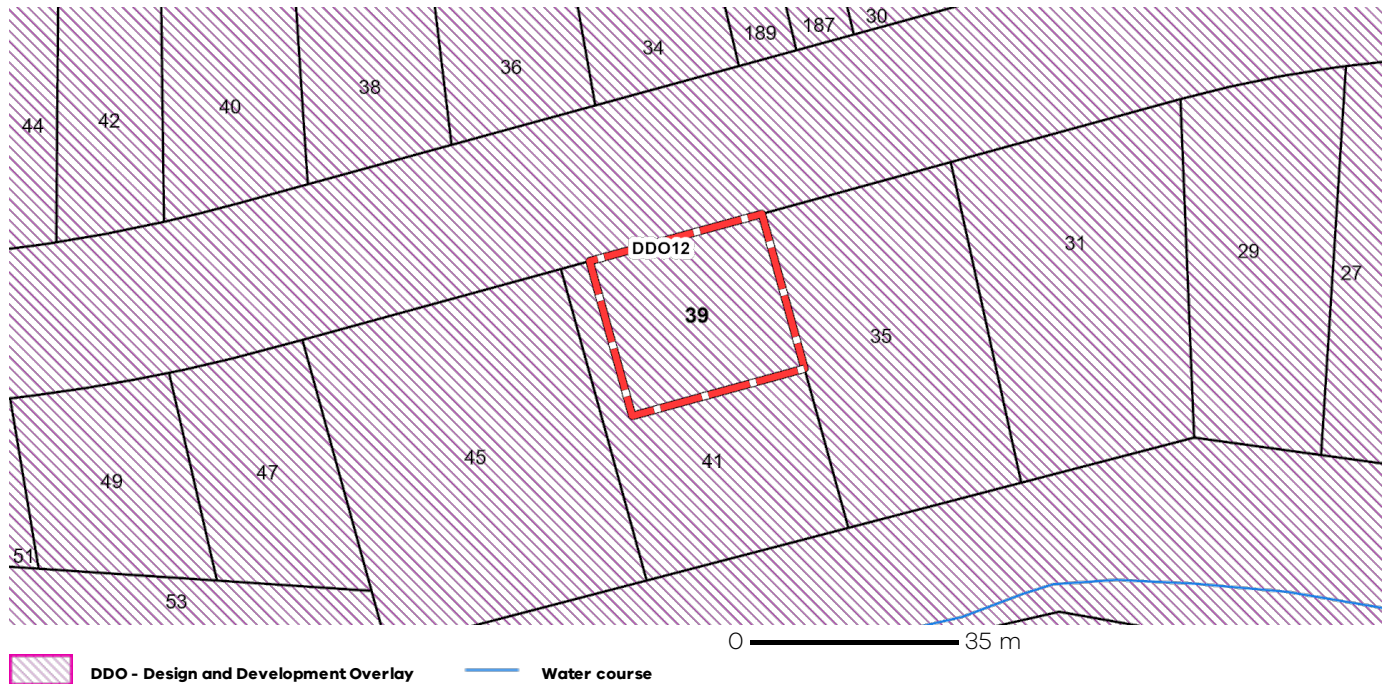
PLANNING PROPERTY REPORT

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Planning Overlays

DESIGN AND DEVELOPMENT OVERLAY (DDO)

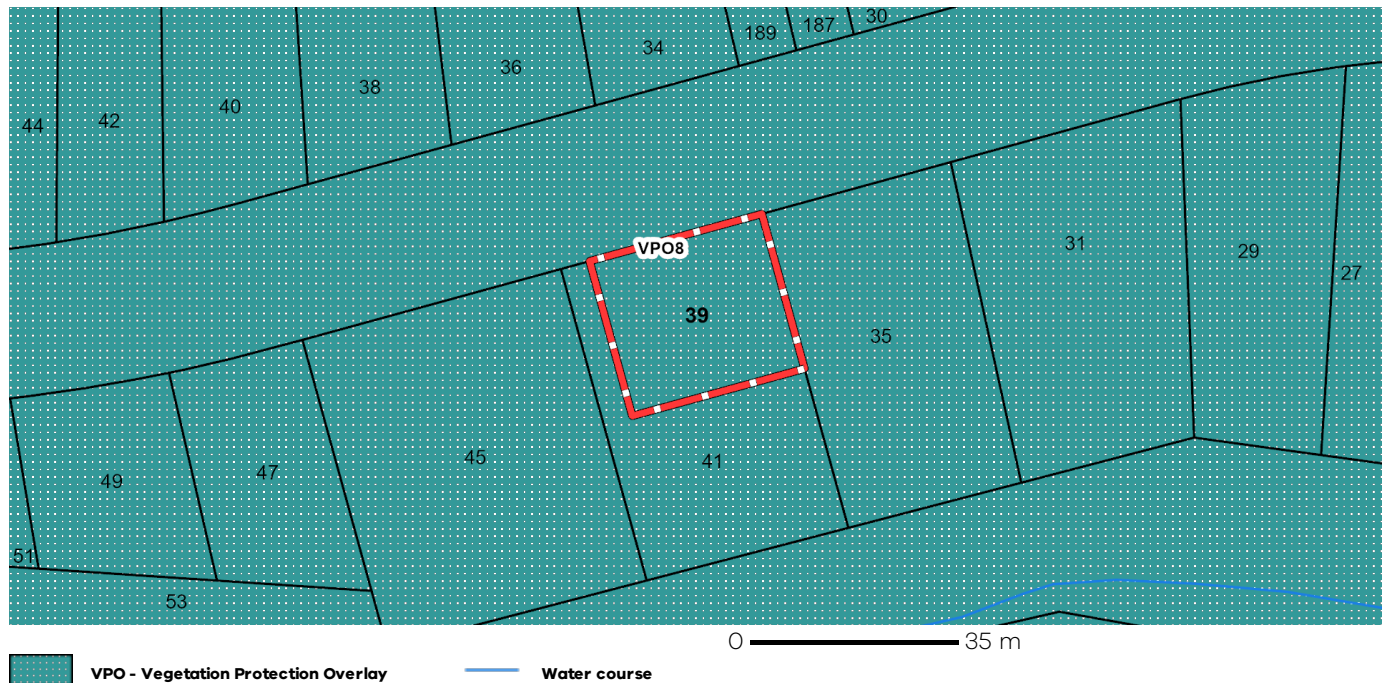
DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 12 (DDO12)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

VEGETATION PROTECTION OVERLAY (VPO)

VEGETATION PROTECTION OVERLAY - SCHEDULE 8 (VPO8)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

PLANNING PROPERTY REPORT

Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this property is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <https://heritage.achris.vic.gov.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.firstpeoplesrelations.vic.gov.au/aboriginal-heritage-legislation>



PLANNING PROPERTY REPORT

Further Planning Information

Planning scheme data last updated on 28 May 2026.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council

or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**.

It does not include information about exhibited planning scheme amendments, or zonings that may affect the land.

To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.vic.gov.au/vicplan/>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

PLANNING PROPERTY REPORT

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Designated Bushfire Prone Areas

This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

Native Vegetation

Native plants that are indigenous to Victoria and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#)

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Regulations Map (NVR Map) <https://mapshare.vic.gov.au/nvr/> and [Native vegetation \(environment.vic.gov.au\)](http://nativevegetation.environment.vic.gov.au) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](http://naturekit.environment.vic.gov.au)



Bushfire Attack Level Assessment Report

Applicants Details

Company: Mr Cabins

Contact: Kerry Lee (Director of Operations)

Phone: 0404 881 867

Email: kerry@mrcabins.com.au

Property Details

Address: 39 Angophora Drive, Mallacoota Vic 3892

Lot & Plan Number: Lot 1 PS925427

Municipality: East Gippsland

Council Property Number: 82328

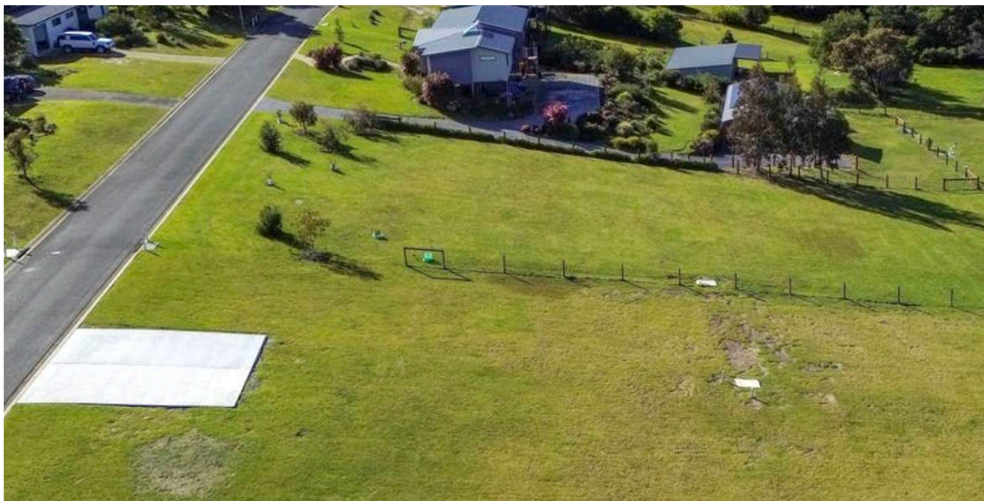
Type of Building Work

New Class 1a building in a Bushfire Prone Area (BPA).

Report Details

Report Number: BAL-26-784 (version 1)

Report Date: 5 Mar 2026

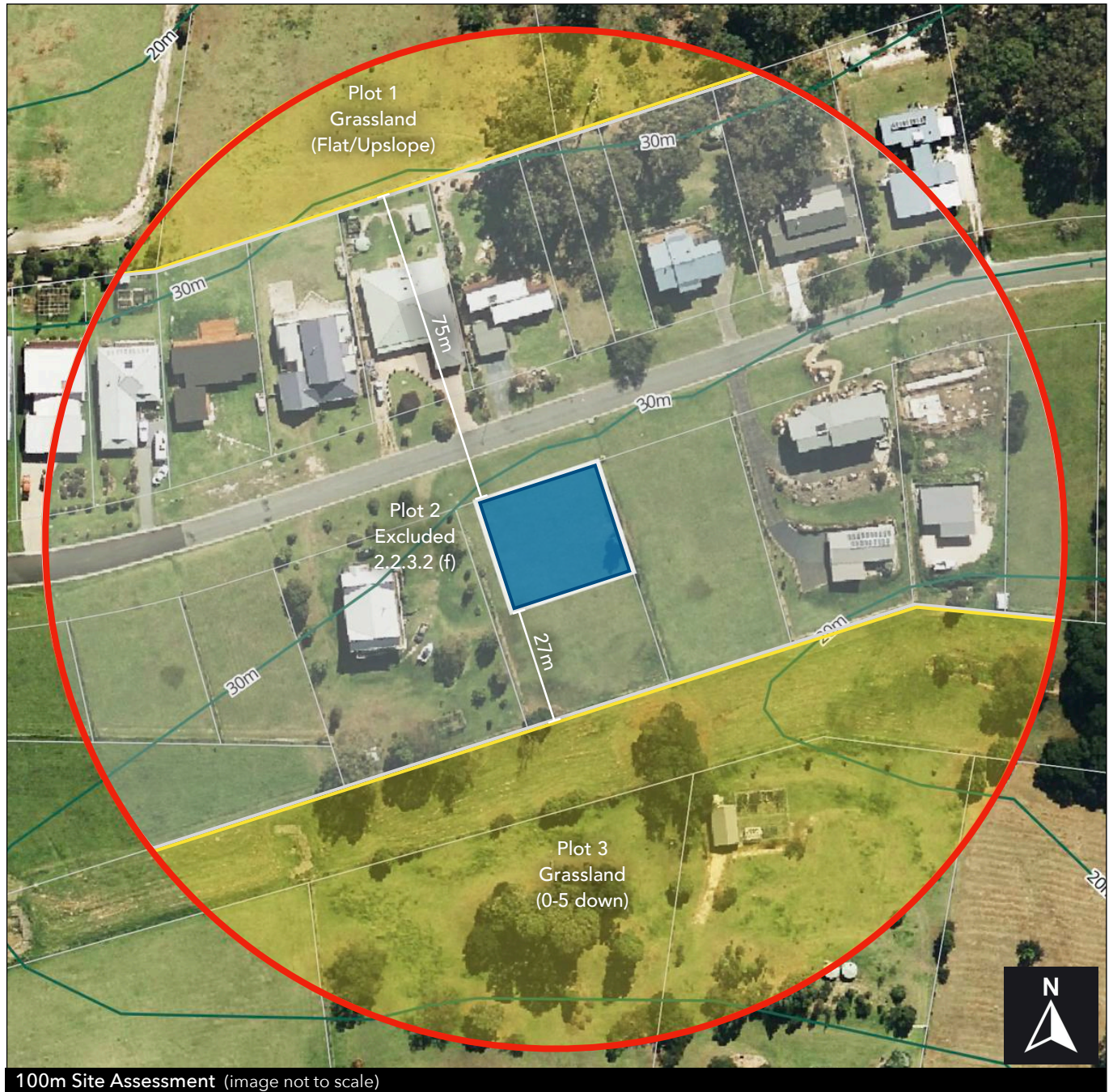


39 Angophora Drive, Mallacoota Vic

BAL 12.5

100m Site Assessment

Vegetation within 100m of the proposed development classified in accordance with Clause 2.2.3 of AS3959:2018.



Site Information

- Property Boundary
- BAL 12.5 Building Envelope
- 100m Assessment Area

Vegetation Classification

- Grassland
- Excluded 2.2.3.2 (f)



100m Site Assessment - Summary

All vegetation within 100 metres of the proposed development has been classified in accordance with AS3959:2018 - Construction of Buildings in Bushfire Prone Areas.

Relevant Fire Danger Index: FDI 100

PLOT	VEGETATION CLASSIFICATION	EFFECTIVE SLOPE	DISTANCE TO VEGETATION	BAL
1	Grassland	Flat / Upslope	75m	12.5
2	Excluded 2.2.3.2 (f)	N/A	N/A	12.5
3	Grassland	> 0° to 5° (downslope)	27m	12.5

The highest BAL rating determines the overall BAL for a development in accordance with Clause 2.2.6 of AS3959:2018

The Building Regulations 2018 require a Class 1 building (or 10a building within 6m of a Class 1) in a BPA to be built to a min BAL 12.5.

DETERMINED BUSHFIRE ATTACK LEVEL	BAL 12.5
---	-----------------

CONSTRUCTION REQUIREMENTS

Refer to Sections 3 & 5 of AS3959:2018 (including Amendments 1 & 2) for all bushfire construction requirements.

Assessor: Carrie Hall	
Date: 5 Mar 2026	<i>Reliance on the assessment and determination of the Bushfire Attack Level contained in this report should not extend beyond a period of 12 months from the date of issue of the report.</i> <i>If this report was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated report issued.</i>
Signature:	
I hereby declare that I am a Level 2 BPAD accredited bushfire practitioner. Accreditation No. BPAD 60916 	

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any other purpose which may be a breach of copyright.

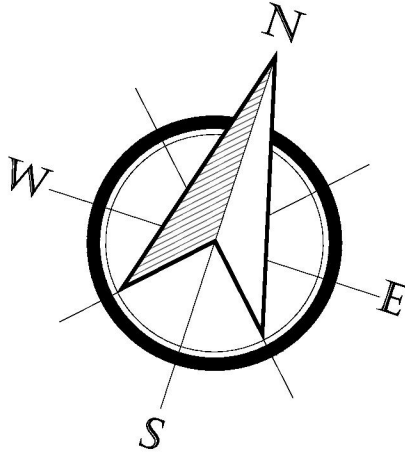
ANGOPHORA DRIVE

SITE DETAILS

LOT/PLAN	Lot 1 PS925427
LOT SIZE	810 SQ.M
COUNCIL	EAST GIPPSLAND COUNCIL
ZONE	GENERAL RESIDENTIAL
FLOOR AREA	
PROPOSED DWELLING	77.39 SQ.M.
PROPOSED DECKS	30.61 SQ.M
TOTAL AREA	108 SQ.M
SITE COVER %	13.33%

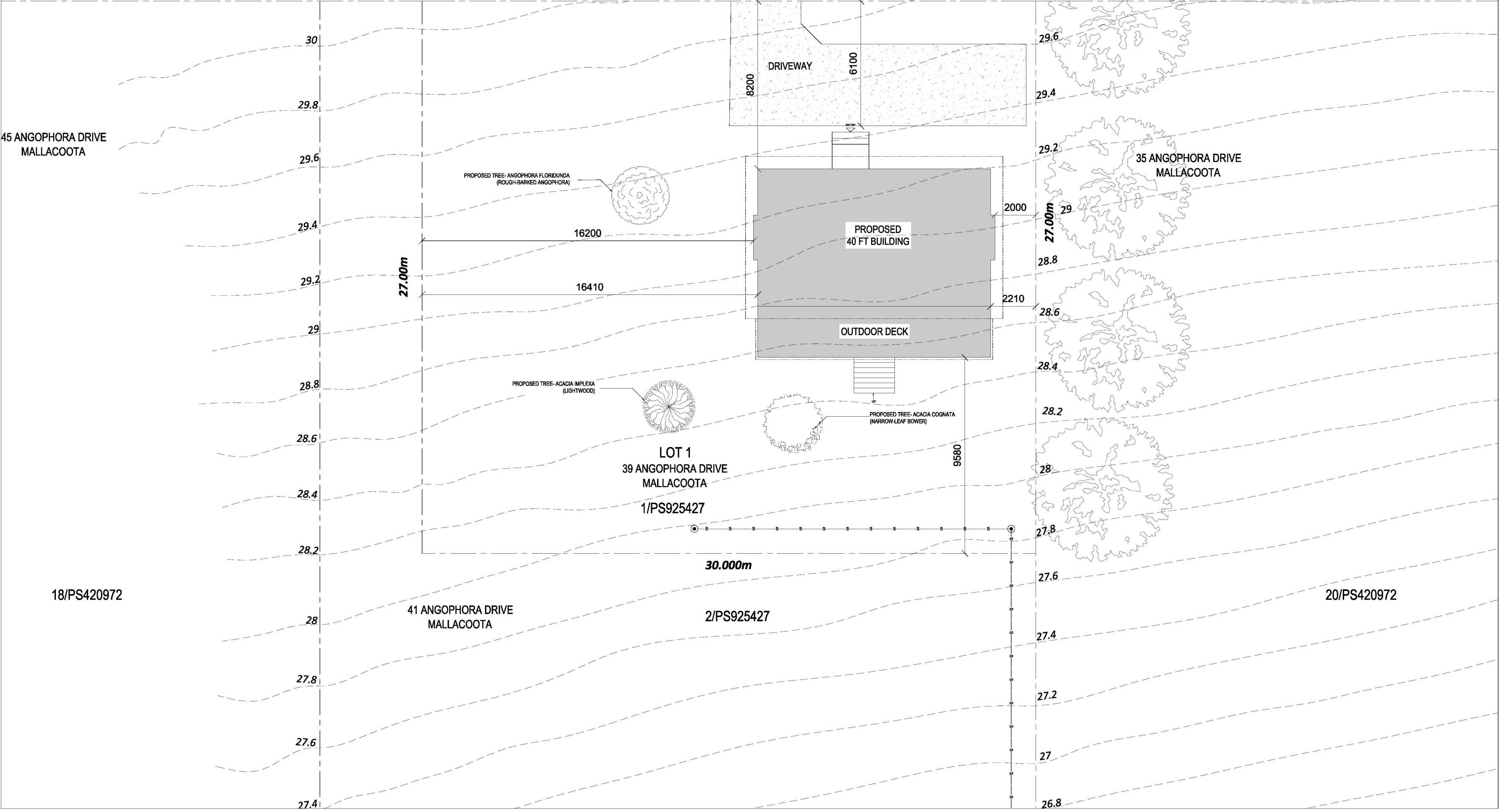
LEGENDS

BOUNDARY LINE	---
ROOF LINE	=====
ELECTRICAL LINE	- E - E - E -
SEWER LINE	- S -
POWER POLE	(P)



01 SITE PLAN
SCALE 1:3500

All units are in mm



PRIMARY DWELLING

SITE PLAN

ALL DIMENSIONS ARE IN MILLIMETRES

PROJECT : 40 FT EXPANDABLE HOUSE

CLIENT :

LOCATION : 39 ANGOPHORA DRIVE, MALLACOOTA, VIC 3892, AUSTRALIA

DATE : 14.06.2026

REV NO : REV-C

SHEET NO : 01

PROJECT NO: 34631

AMENDMENTS

This copied document is made available for the sole purpose of enabling its consideration and review as part of a building process under the Building and Environment Act 1987. The document must not be used for any other purpose which may breach copyright.

GROUND FLOOR 77.39 SQ.M

DECK AREA 30.61 SQ.M

ITEMS	COLOUR / SIZES
INTERNAL HEIGHT	2.400m (from F.L.)
EXTERIOR WALL	50MM THICK EPS SANDWICH PANEL + 25MM THICK PU BOARD CLADDING
INTERIOR WALL	50MM THICK EPS SANDWICH PANEL
BUILDING ROOF	75MM EPS INSULATION INTEGRATED BOARD
TRUSS ROOF	CORRUGATED COMPOSITE INSULATION PANEL (75MM THICK WITH 0.6MM STEEL SKINS EPS CORE INSULATED TRUSS ROOF PANEL WITH R6.0 BRADFORD GOLD HI-PERFORMANCE INSULATION OR INSULATION LAYER HAVING R-VALUE 6.0
DECK ROOF	75MM THICK COLOURBOND STEEL EPS SANDWICH PANEL, DOUBLE-SIDED 0.4MM COLOR - COATED STEEL SHEET
FLOORING MATERIAL / FLOOR COVERINGS	14MM CEMENT SANDING BOARD, 50MM EPS INSULATION (R2 FLOOR INSULATION). PANEL THICKNESS CAN VARY BASED ON THE ENERGY ASSESSMENT REPORT.

LEGENDS	
15 amp PIP	15 amp POWER INLET PLUG
	LIGHT SWITCH
GPO	DOUBLE POWER POINT
	LED CEILING LIGHT, 20W
	EXHAUST FAN
DB	DISTRIBUTION BOX
	2.5KW SPLIT-TYPE ACU
	WALL MOUNTED LAMP
	SMOKE ALARM

DOORS & WINDOWS

ENTRANCE DOOR	BROKEN BRIDGE ALUMINIUM SLIDING DOOR AND HINGED DOOR
OTHER DOORS	HINGED DOOR
WINDOWS	ALUMINIUM FRAMED LOW-E GLAZING: 5 MM BLUE COATED GLASS + 12A + 5 MM WHITE GLASS
TOILET DOOR	HINGED DOOR

BATHROOM / ENSUITE INSTALLATION

CERAMIC MATERIAL TOILET, SHOWER ENCLOSURE, CERAMIC SINK CABINET, MIRROR CABINET.

HOBLESS / STEP FREE SHOWER - AT LEAST ONE SHOWER TO HAVE A HOBLESS, STEP-FREE ENTRY.

WALL REINFORCEMENT - PROVIDE WALL REINFORCEMENT FOR FUTURE GRAB RAILS.

KITCHEN INSTALLATION

ARTIFICIAL MARBLE COUNTERTOP WITH STAINLESS STEEL FAUCET, TITANIUM MAGNESIUM ALLOY SINK, COMPOSITE WOOD CABINET WITH HIGH QUALITY PET DOOR PANELS.

COLOUR AND MATERIAL DETAILS:

EXTERIOR DETAIL : CLADDING

- VERTICAL TIMBER CLADDING

ROOF AND FRAMES

- ROOF COLOUR: DARK GREY
- FASCIA AND GUTTERS: BLACK

STRUCTURE

- FRAME COLOUR: BLACK
- COLUMNS/POLES: DARK GREY

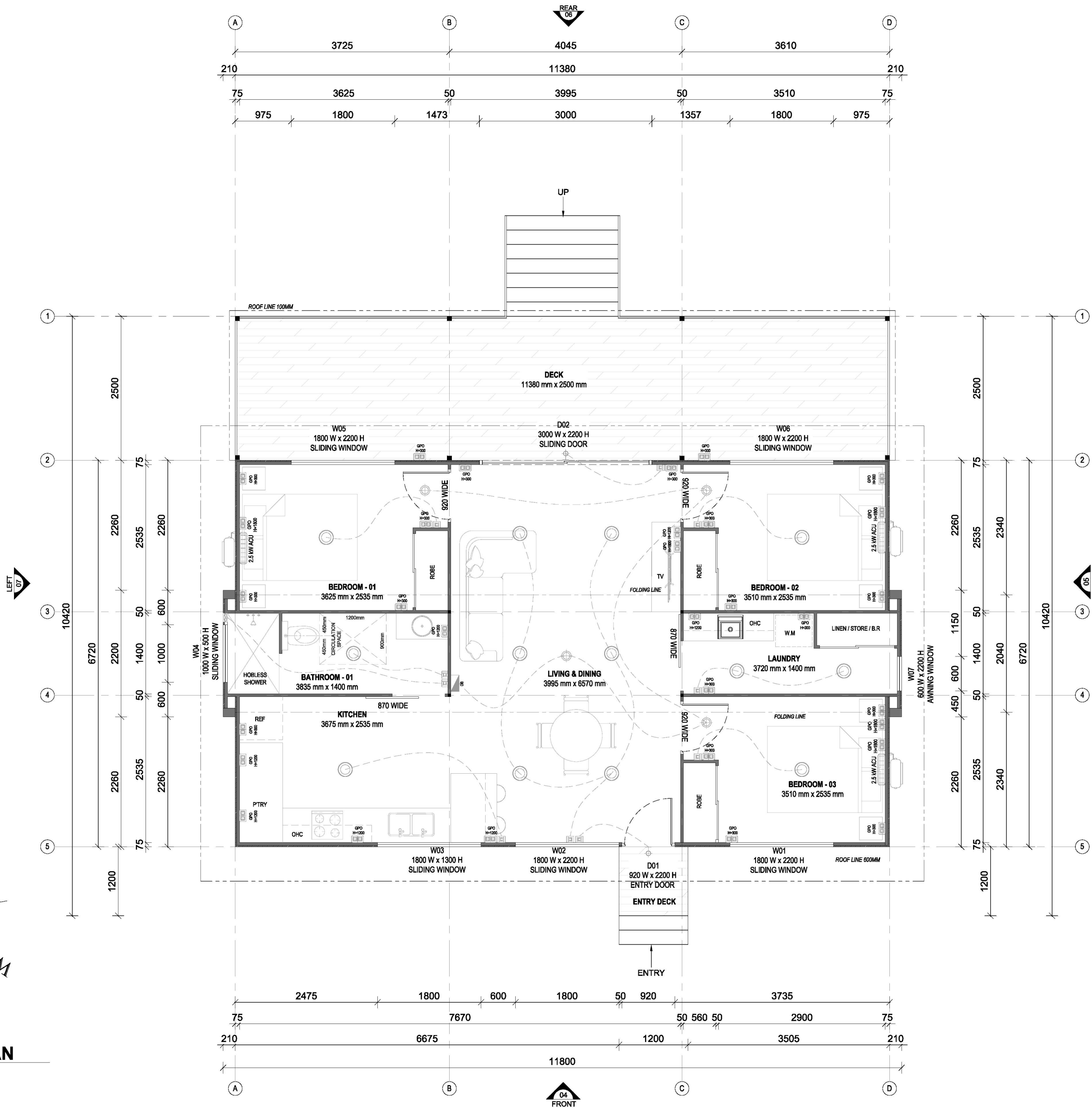
WINDOWS & DOORS

- WINDOW COLOUR: BLACK

NOTES :

- SMOKE ALARMS- SMOKE ALARMS ARE PROVIDED IN ACCORDANCE WITH NCC 2022 VOLUME TWO, PART 10.7 AND AS3786
- INTERNAL DOOR THRESHOLD- STEP FREE ACCESS' INTERNAL DOOR THRESHOLD PROVIDED FOR EVERY INTERNAL DOORS AND BUILDING ENTRY DOOR AS PER LHD REQUIREMENTS.
- WINDOWS IN SHOWER AREAS ARE PROVIDED IN ACCORDANCE WITH AS 3740 / ABCB HOUSING PROVISIONS PART 10.2.
- TERMITE BARRIER TO BE PROVIDED IN ACCORDANCE WITH AS 3660.1 "PROTECTION OF BUILDING FROM SUBTERRANEAN TERMITES".

AMENDMENTS



02 FLOOR PLAN
SCALE 1:1500

All units are in mm



PRIMARY DWELLING

FLOOR PLAN

ALL DIMENSIONS ARE IN MILLIMETRES

PROJECT : 40 FT EXPANDABLE HOUSE

CLIENT :

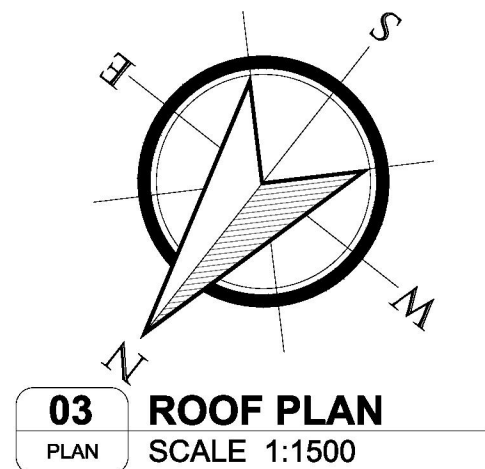
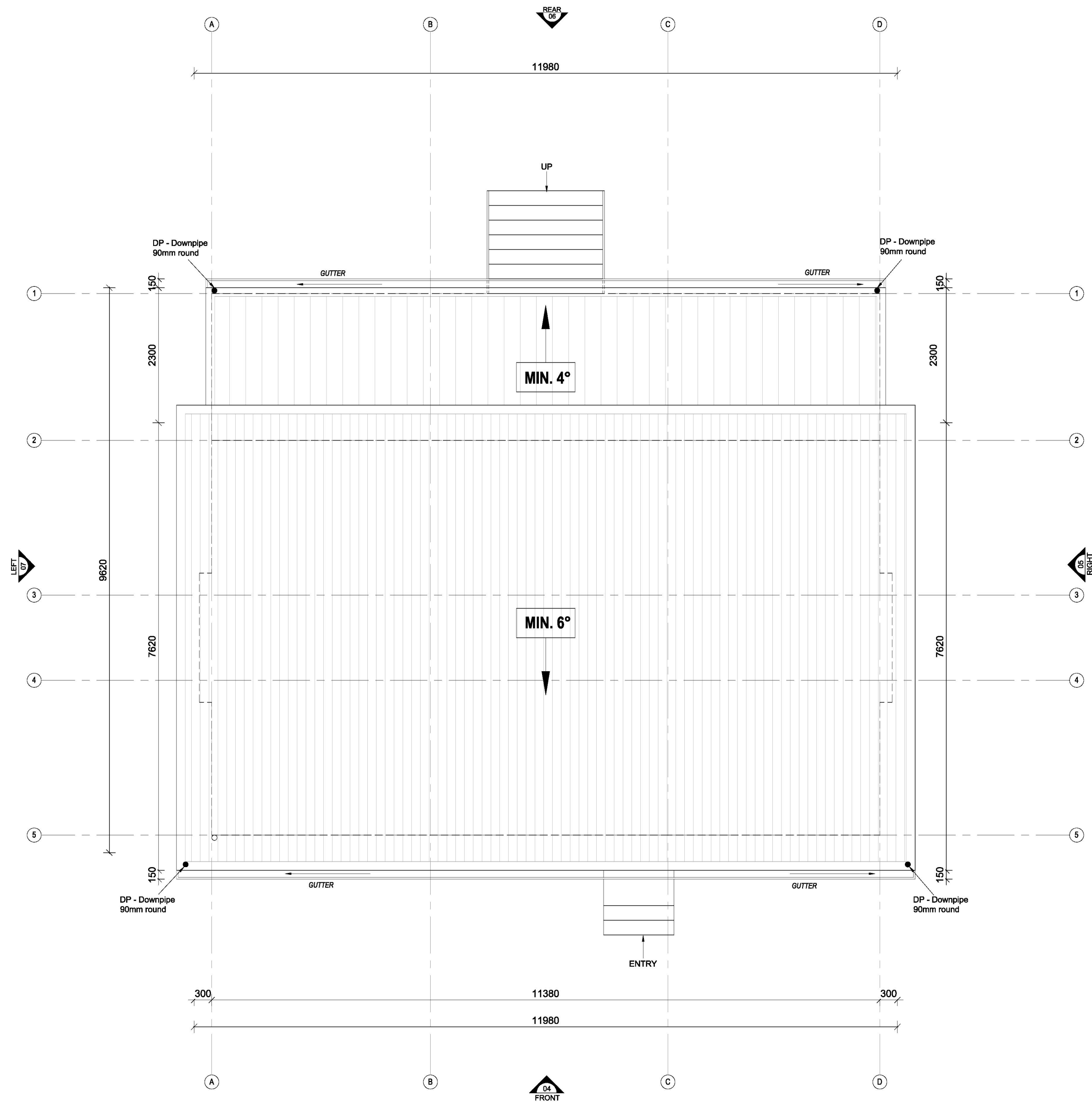
LOCATION : 39 ANGOPHORA DRIVE, MALLACOOTA, VIC 3892, AUSTRALIA

DATE : 14.06.2026

REV NO : REV-C

SHEET NO : 02

PROJECT NO: 34631



All units are in mm

LEGENDS	
● DP	DOWNPIPE : QUANTITY - 4
	CORRUGATED COMPOSITE INSULATION PANEL (75MM THICK WITH 0.6MM STEEL SKINS EPS CORE INSULATED TRUSS ROOF PANEL WITH R6.0 BRADFORD GOLD HI-PERFORMANCE INSULATION OR INSULATION LAYER HAVING R-VALUE 6.0
	75 MM THICK COLOURBOND STEEL EPS SANDWICH PANEL VERANDAH ROOF PANEL
---	BUILDING LINE

	PRIMARY DWELLING	PROJECT : 40 FT EXPANDABLE HOUSE	DATE : 14.06.2026	AMENDMENTS
	ROOF PLAN	CLIENT :	REV NO : REV-C	
		LOCATION : 39 ANGOPHORA DRIVE, MALLACOOTA, VIC 3892, AUSTRALIA	SHEET NO : 03	
	ALL DIMENSIONS ARE IN MILLIMETRES		PROJECT NO: 34631	

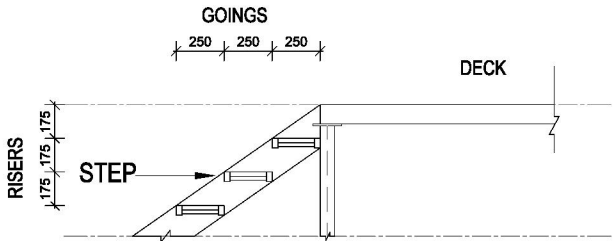
This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose that may breach any copyright.

NOTES:

1. PANEL THICKNESS OR INSULATION CAN VARY BASED ON ENERGY ASSESSMENT.
2. TRUSS ROOF: CORRUGATED COMPOSITE INSULATION PANEL (75MM THICK WITH 0.6MM STEEL SKINS EPS CORE INSULATED TRUSS ROOF PANEL WITH R6.0 BRADFORD GOLD HI-PERFORMANCE INSULATION OR INSULATION LAYER HAVING R-VALUE 6.0

STAIR DETAIL

THE STAIRS COMPLY WITH BCA 3.9.1
SCALE 1:1000



LIVABLE HOUSING STANDARDS DESIGN CONSIDERATIONS

- DWELLING ENTRANCE**
1. LEVEL THRESHOLD CAN INCLUDE A 5MM ROUNDED OR BEVELLED LIP, A RAMP NO STEEPER THAN 1:8 WHICH DOES NOT EXTEND BEYOND THE DOOR JAMB OR A SILL WITH A TOTAL HEIGHT NO MORE THAN 15MM WITH EACH UPSTAND NO GREATER THAN 5MM INCREMENTS.
 2. AT LEAST ONE ENTRANCE DOOR TO THE DWELLING HAS MINIMUM CLEAR OPENING WIDTH OF 820MM

- WEATHERPROOFING**
3. TERMITE BARRIER TO BE PROVIDED IN ACCORDANCE WITH AS 3660.1 "PROTECTION OF BUILDING FROM SUBTERRANEAN TERMITES".
 4. APPROPRIATE WEATHERPROOFING FOR THE STEP FREE ENTRY IS PROVIDED. THIS IS PROVIDED BY ONE OR ACOMBINATION OF METHODS APPROPRIATE TO THE SITE/DESIGN WHICH INCLUDE THE FOLLOWING: CHANNEL DRAIN, DECKING, ROOF COVERING.

- INTERNAL DOORS**
5. ALL INTERNAL DOORS TO HAVE 820MM CLEAR OPENING WIDTH.

- CORRIDOR**
6. 1000 MM (MINIMUM) WIDE ON THE GROUND/ENTRY LEVEL TO HABITABLE ROOMS, LAUNDRY AND COMPLIANT TOILET.

- INTERNAL THRESHOLDS AND FLOOR FINISHES**
7. A LEVEL THRESHOLD (INCLUDING TRANSITION BETWEEN FLOOR FINISHES) IS PROVIDED AT ALL INTERNAL DOORS ON THE GROUND/ ENTRY LEVEL.

- TOILET PAN**
8. CLEAR CIRCULATION SPACE IN FRONT OF THE TOILET PAN MEASURING 900 MM WIDE X 1200 MM LENGTH.
NOTE: CIRCULATION SPACE MUST BE CLEAR OF OBSTRUCTIONS SUCH AS THE SWING OF THE DOOR, VANITY ETC. BUT A TOILET ROLL HOLDER AND SKIRTINGS CAN ENCROACH.
 9. 450 MM FROM THE NEAREST OBSTRUCTION (E.G. BASIN OR VANITY) TO THE CENTRE OF THE TOILET PAN.

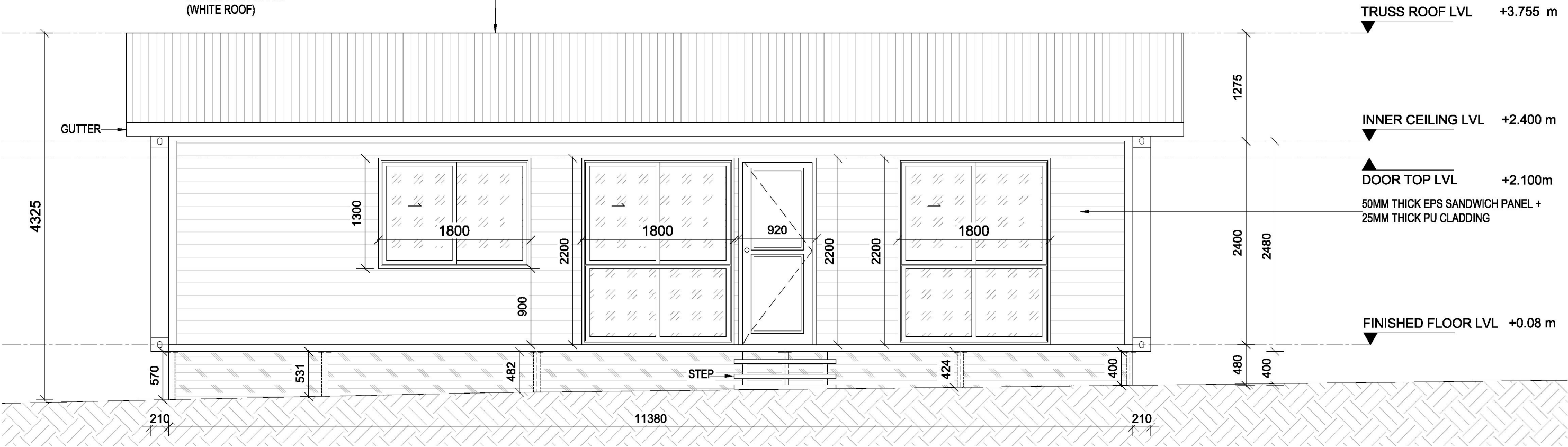
- HOBLESS STEP FREE SHOWER**
10. AT LEAST ONE SHOWER MUST HAVE A HOBLESS AND STEP-FREE ENTRY.
 11. A LIP NOT MORE THAN 5 MM IN HEIGHT MAY BE PROVIDED FOR WATER RETENTION PURPOSES.

- REINFORCING IN WALLS**
12. WALL REINFORCEMENT (BATHROOM, WC, SHOWER) USE STRUCTURAL PLY OR SIMILAR TO SUPPORT RAILS AND FIXTURES TO THE WALLS.

COLOUR AND MATERIAL DETAILS:

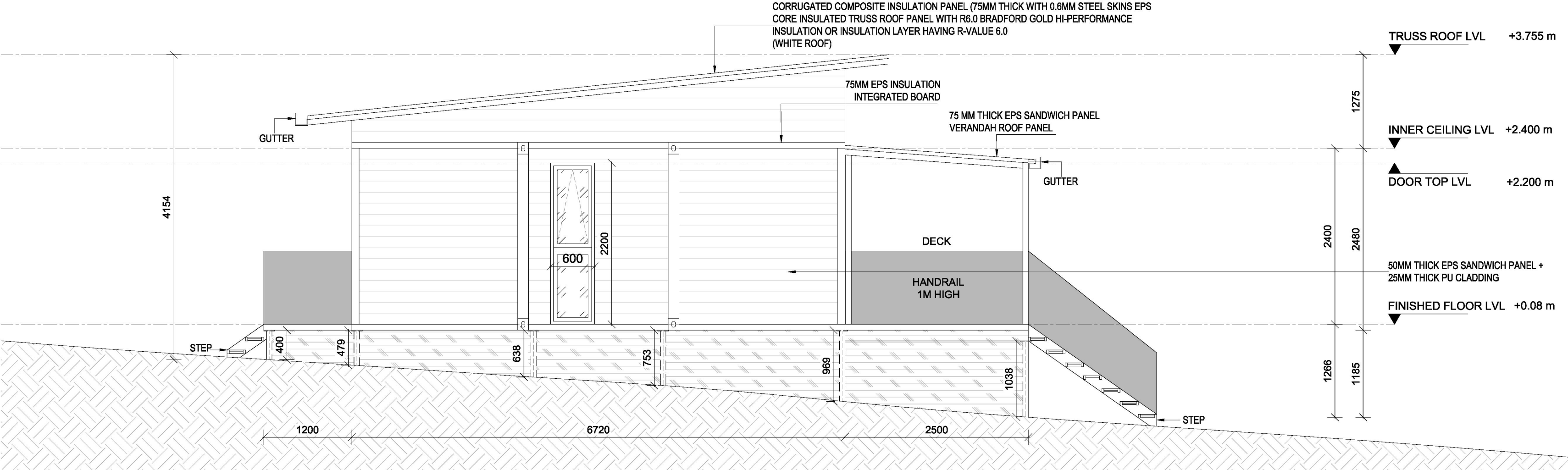
- EXTERIOR DETAIL : CLADDING**
- VERTICAL TIMBER CLADDING
- ROOF AND FRAMES**
- ROOF COLOUR: DARK GREY
 - FASCIA AND GUTTERS: BLACK
- STRUCTURE**
- FRAME COLOUR: BLACK
 - COLUMNS/POLES: DARK GREY
- WINDOWS & DOORS**
- WINDOW COLOUR: BLACK

CORRUGATED COMPOSITE INSULATION PANEL (75MM THICK WITH 0.6MM STEEL SKINS EPS CORE INSULATED TRUSS ROOF PANEL WITH R6.0 BRADFORD GOLD HI-PERFORMANCE INSULATION OR INSULATION LAYER HAVING R-VALUE 6.0 (WHITE ROOF)



04 ELEVATION - A (FRONT)
SCALE 1:1200

CORRUGATED COMPOSITE INSULATION PANEL (75MM THICK WITH 0.6MM STEEL SKINS EPS CORE INSULATED TRUSS ROOF PANEL WITH R6.0 BRADFORD GOLD HI-PERFORMANCE INSULATION OR INSULATION LAYER HAVING R-VALUE 6.0 (WHITE ROOF)



05 ELEVATION - B (RIGHT)
SCALE 1:1200



PRIMARY DWELLING

ELEVATIONS

ALL DIMENSIONS ARE IN MILLIMETRES

PROJECT : 40 FT EXPANDABLE HOUSE

CLIENT :

LOCATION : 39 ANGOPHORA DRIVE, MALLACOOTA, VIC 3892, AUSTRALIA

DATE : 14.06.2026

REV NO : REV-C

SHEET NO : 04

PROJECT NO: 34631

AMENDMENTS

NOTES

BASED ON THE SITE CONDITION, HEIGHT OF THE STUMPS FROM THE GROUND WILL VARY (MAXIMUM 900MM HEIGHT WITHOUT CROSS BRACING).

FOR SKID AND BEAM DETAILS, REFER ENGINEERING DRAWINGS.

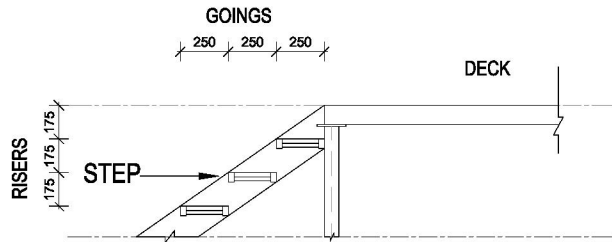
This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose that may breach any copyright.

NOTES:

1. PANEL THICKNESS OR INSULATION CAN VARY BASED ON ENERGY ASSESSMENT.
2. TRUSS ROOF: CORRUGATED COMPOSITE INSULATION PANEL (75MM THICK WITH 0.6MM STEEL SKINS EPS CORE INSULATED TRUSS ROOF PANEL WITH R6.0 BRADFORD GOLD HI-PERFORMANCE INSULATION OR INSULATION LAYER HAVING R-VALUE 6.0

STAIR DETAIL

THE STAIRS COMPLY WITH BCA 3.9.1
SCALE 1:1000



LIVABLE HOUSING STANDARDS DESIGN CONSIDERATIONS

- DWELLING ENTRANCE**
1. LEVEL THRESHOLD CAN INCLUDE A 5MM ROUNDED OR BEVELLED LIP, A RAMP NO STEEPER THAN 1:8 WHICH DOES NOT EXTEND BEYOND THE DOOR JAMB OR A SILL WITH A TOTAL HEIGHT NO MORE THAN 15MM WITH EACH UPSTAND NO GREATER THAN 5MM INCREMENTS.
 2. AT LEAST ONE ENTRANCE DOOR TO THE DWELLING HAS MINIMUM CLEAR OPENING WIDTH OF 820MM

- WEATHERPROOFING**
3. TERMITE BARRIER TO BE PROVIDED IN ACCORDANCE WITH AS 3660.1 "PROTECTION OF BUILDING FROM SUBTERRANEAN TERMITES".
 4. APPROPRIATE WEATHERPROOFING FOR THE STEP FREE ENTRY IS PROVIDED. THIS IS PROVIDED BY ONE OR ACOMBINATION OF METHODS APPROPRIATE TO THE SITE/DESIGN WHICH INCLUDE THE FOLLOWING: CHANNEL DRAIN, DECKING, ROOF COVERING.

- INTERNAL DOORS**
5. ALL INTERNAL DOORS TO HAVE 820MM CLEAR OPENING WIDTH.

- CORRIDOR**
6. 1000 MM (MINIMUM) WIDE ON THE GROUND/ENTRY LEVEL TO HABITABLE ROOMS, LAUNDRY AND COMPLIANT TOILET.

- INTERNAL THRESHOLDS AND FLOOR FINISHES**
7. A LEVEL THRESHOLD (INCLUDING TRANSITION BETWEEN FLOOR FINISHES) IS PROVIDED AT ALL INTERNAL DOORS ON THE GROUND/ ENTRY LEVEL.

- TOILET PAN**
8. CLEAR CIRCULATION SPACE IN FRONT OF THE TOILET PAN MEASURING 900 MM WIDE X 1200 MM LENGTH.
NOTE: CIRCULATION SPACE MUST BE CLEAR OF OBSTRUCTIONS SUCH AS THE SWING OF THE DOOR, VANITY ETC. BUT A TOILET ROLL HOLDER AND SKIRTINGS CAN ENCROACH.
 9. 450 MM FROM THE NEAREST OBSTRUCTION (E.G. BASIN OR VANITY) TO THE CENTRE OF THE TOILET PAN.

- HOBLESS STEP FREE SHOWER**
10. AT LEAST ONE SHOWER MUST HAVE A HOBLESS AND STEP-FREE ENTRY.
 11. A LIP NOT MORE THAN 5 MM IN HEIGHT MAY BE PROVIDED FOR WATER RETENTION PURPOSES.

- REINFORCING IN WALLS**
12. WALL REINFORCEMENT (BATHROOM, WC, SHOWER) USE STRUCTURAL PLY OR SIMILAR TO SUPPORT RAILS AND FIXTURES TO THE WALLS.

NOTES

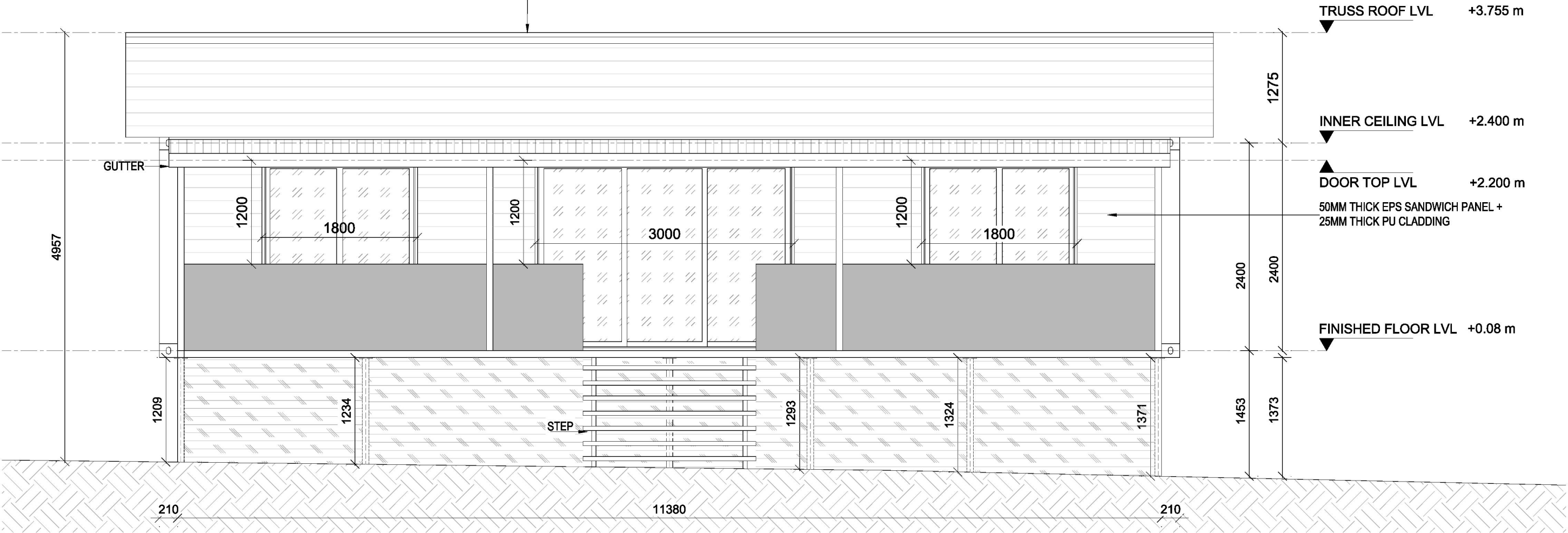
BASED ON THE SITE CONDITION, HEIGHT OF THE STUMPS FROM THE GROUND WILL VARY (MAXIMUM 900MM HEIGHT WITHOUT CROSS BRACING).

FOR SKID AND BEAM DETAILS, REFER ENGINEERING DRAWINGS.

COLOUR AND MATERIAL DETAILS:

- EXTERIOR DETAIL : CLADDING**
- VERTICAL TIMBER CLADDING
- ROOF AND FRAMES**
- ROOF COLOUR: DARK GREY
 - FASCIA AND GUTTERS: BLACK
- STRUCTURE**
- FRAME COLOUR: BLACK
 - COLUMNS/POLES: DARK GREY
- WINDOWS & DOORS**
- WINDOW COLOUR: BLACK

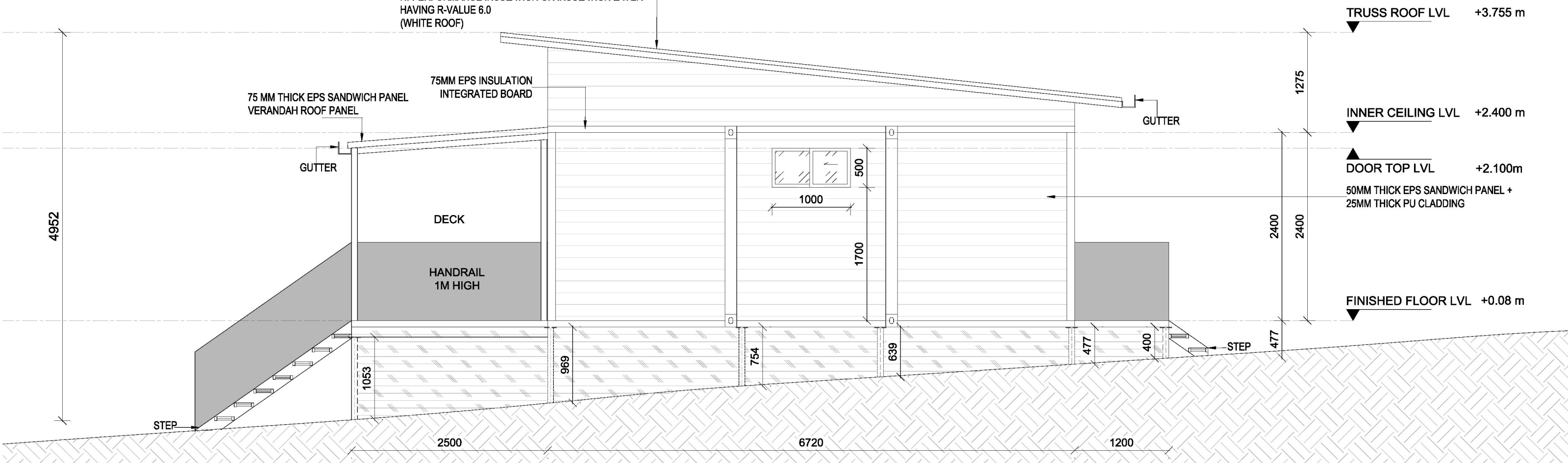
CORRUGATED COMPOSITE INSULATION PANEL (75MM THICK WITH 0.6MM STEEL SKINS EPS CORE INSULATED TRUSS ROOF PANEL WITH R6.0 BRADFORD GOLD HI-PERFORMANCE INSULATION OR INSULATION LAYER HAVING R-VALUE 6.0 (WHITE ROOF)



06

ELEVATION - C (REAR)
SCALE 1:1200

CORRUGATED COMPOSITE INSULATION PANEL (75MM THICK WITH 0.6MM STEEL SKINS EPS CORE INSULATED TRUSS ROOF PANEL WITH R6.0 BRADFORD GOLD HI-PERFORMANCE INSULATION OR INSULATION LAYER HAVING R-VALUE 6.0 (WHITE ROOF)



07

ELEVATION - D (LEFT)
SCALE 1:1200



PRIMARY DWELLING

ELEVATIONS

ALL DIMENSIONS ARE IN MILLIMETRES

PROJECT : 40 FT EXPANDABLE HOUSE

CLIENT

LOCATION : 39 ANGOPHORA DRIVE, MALLACOOTA, VIC 3892, AUSTRALIA

DATE : 14.06.2026

REV NO : REV-C

SHEET NO : 05

PROJECT NO: 34631

AMENDMENTS

NOTES



Bushfire data sourced from the Bushfire Report prepared by CARRIE HALL . Report No: BAL-26-784

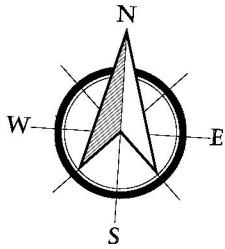
Site Information

- Property Boundary
- BAL 12.5 Building Envelope
- 100m Assessment Area

Vegetation Classification

- Grassland
- Excluded 2.2.3.2 (f)

7 BUSHFIRE MANAGEMENT PLAN
SITE SCALE 1:30000



All units are in mm

BAL Rating Determined	12.5
-----------------------	------

Relevant Fire Danger Index: FDI 100

PLOT	VEGETATION CLASSIFICATION	EFFECTIVE SLOPE	DISTANCE TO VEGETATION	BAL
1	Grassland	Flat / Upslope	75m	12.5
2	Excluded 2.2.3.2 (f)	N/A	N/A	12.5
3	Grassland	> 0° to 5° (downslope)	27m	12.5

VEGETATION MANAGEMENT IN THE DEFENDABLE SPACE ENVELOPE

All vegetation within the defendable space / Asset Protection Zone (APZ), including landscaped and naturally regenerated vegetation, must be managed and maintained in a low-fuel condition on an ongoing basis in accordance with the approved Bushfire Management Plan. The following requirements apply: Grass must be regularly mown and maintained to a low height during the declared fire danger period. Leaves, bark, and other vegetation debris must be removed at regular intervals. Within 10 metres of the building, flammable objects must not be located near vulnerable building elements. Plants exceeding 100 mm in height must not be located within 3 metres of windows or glazed openings. Shrubs must not be planted beneath tree canopies. Shrubs must be discontinuous, with individual or grouped plantings not exceeding 5 m² and separated by a minimum of 2 metres. Trees must not overhang or touch any part of the building. Tree canopies must be separated by a minimum of 2 metres. A minimum clearance of 2 metres must be maintained between the lowest tree branches and ground level. All vegetation management measures must be implemented prior to occupation and maintained for the life of the development to the satisfaction of the Responsible Authority.

STATIC WATER SUPPLY

An adequate water supply must be provided to support firefighting operations and emergency response for the proposed development. Where reticulated water is available, the hydrant system must be designed and constructed in accordance with Queensland Fire and Emergency Services – Fire Hydrant and Vehicle Access Guidelines. Where reticulated water is unavailable, an appropriate static water supply must be provided and comply with the following requirements: A minimum of 10,000 litres of water must be dedicated solely for firefighting purposes and provided in a non-combustible water tank, constructed of steel or concrete, either above or below ground. The static water tank should be located within 10 metres of the dwelling and positioned to allow clear access for a medium rigid firefighting appliance (up to 15 tonnes) within 6 metres of the tank. The tank must be fitted with a take-off connection suitable for firefighting use, including a 50 mm ball valve with male camlock coupling, compatible with rural fire brigade requirements. Where the tank is installed below ground, a minimum 200 mm diameter access opening must be provided to accommodate firefighting suction lines. All tanks, pumps, pipes, and fittings associated with the static water supply must be constructed of corrosion-resistant materials and protected from bushfire attack in accordance with AS 2304:2011 – Water Storage Tanks for Fire Protection Systems. The location of the static water supply must be clearly identified by directional signage at the street frontage.

NOTES:

It is acknowledged that AS 3959:2018 does not prescribe water supply requirements nor consider water supply in the determination of a building's Bushfire Attack Level (BAL). Any water supply requirements apply only where specified under a development permit, local planning scheme, or fire authority guidelines. The static water supply is intended to support firefighting operations by emergency services, where applicable, and must remain available and unobstructed at all times.

CONSTRUCTION – BUSHFIRE ATTACK LEVEL (BAL)

The design and construction of each dwelling must enhance bushfire survivability and form part of an integrated bushfire protection approach, including the provision of an Asset Protection Zone (APZ), compliant access, water supply, and appropriate landscaping. Building design must provide adequate protection to vulnerable elements in accordance with AS 3959:2018 and the NASH Standard, which set out construction requirements for varying levels of bushfire exposure.

The outcome of the Bushfire Attack Level assessment for the development is BAL-12.5, determined in accordance with AS 3959:2018 and the Bushfire Resilient Communities guidelines. Compliance with bushfire construction provisions is required for applicable building classes in accordance with the NCC 2022.

CONCLUSION

- The following recommendations are provided in relation to the requirements of Council's Bushfire Hazard Overlay Code.
- An asset protection zone has been designed and shall be established and managed.
 - Construction of building to meet BAL-12.5 construction requirements of AS 3959:2018.
 - Vegetation management within the defendable space shall be maintained to minimise bushfire fuel loads.
 - Adequate water supply for firefighting purposes shall be provided in accordance with the bushfire assessment recommendations.
 - The development utilises existing cleared areas where possible, reducing the need for removal of native vegetation and minimising environmental impact.

BUSHFIRE PROTECTION MEASURES

All bushfire protection measures identified in this report and shown on the approved plans must be implemented as part of the proposed development in accordance with the Queensland State Planning Policy – Part E (SPP 2017), the Bushfire Resilient Communities Technical Reference Guide (QFES, 2019), the relevant Redland City Council Bushfire Hazard Overlay Code, and AS 3959:2018 – Construction of Buildings in Bushfire-Prone Areas. These measures must be completed prior to occupation of the dwelling and maintained on an ongoing basis to the satisfaction of the Responsible Authority to minimise the risk to life and property from bushfire.

Subfloor supports

The Standard does not provide construction requirements for sub-floor supports where the sub-floor is enclosed in accordance with wall that conforms to the requirements for walls listed below or is enclosed with corrosion resistant steel, bronze or aluminium mesh with a maximum aperture of 2 mm.

Unenclosed subfloor space

The standard does not provide construction requirements for bearers, joists and floors that are greater than 400mm above finished ground level.

Joints

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed.

Vents and Weepholes

Vents and Weepholes in external walls are to be screened with corrosion - resistant steel, bronze or aluminium mesh with a maximum aperture of 2 mm.

External glazed elements, assemblies and doors

Screens for Windows and Doors

Where fitted, screens for windows and doors shall have mesh or perforated sheet made of corrosion-resistant steel, bronze or aluminium with a maximum aperture of 2 mm.

Roofs

Roof construction shall comply with AS 3959:2018 BAL-12.5 requirements.Roof cladding shall be non-combustible and installed to prevent ember entry.Roof spaces, ridges, hips and valleys shall be sealed or screened to prevent the accumulation or entry of embers.

Gutters and Downpipes

Box gutters are to be non-combustible and flashed at the roof junction with non-combustible material. Gutters shall be regularly maintained and kept clear of leaf litter and debris.

Water and Gas Supply Pipes

Above ground, exposed water and gas supply pipes shall be metal and shall be protected from radiant heat and ember attack

	PRIMARY DWELLING	PROJECT : 40 FT EXPANDABLE HOUSE CLIENT : LOCATION : 39 ANGOPHORA DRIVE, MALLACOOTA, VIC 3892, AUSTRALIA	DATE : 14.07.2026	AMENDMENTS	NOTES BASED ON THE SITE CONDITION, HEIGHT OF THE STUMPS FROM THE GROUND WILL VARY (MAXIMUM 900MM HEIGHT WITHOUT CROSS BRACING). FOR SKID AND BEAM DETAILS, REFER ENGINEERING DRAWINGS.
	BUSHFIRE MANAGEMENT PLAN		REV NO : REV-C		
	ALL DIMENSIONS ARE IN MILLIMETRES		SHEET NO : 06		
			PROJECT NO: 34631		