

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	2850 Princes Highway KALIMNA WEST VIC 3909, 2898 Princes Highway KALIMNA WEST VIC 3909 Lot: 2 LP: 147984, Lot: 1 PS: 321850
The application is for a permit to:	Subdivision - Boundary Realignment
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
35.07-3 (FZ)	Subdivide land
42.01-2 (ESO)	Subdivide land
43.02-3 (DDO-7)	Subdivide land
44.01-5 (EMO)	Subdivide land
44.06-2 (BMO)	Subdivide land
The applicant for the permit is:	Crowther & Sadler Pty Ltd
The application reference number is:	5.2026.237.1

You may look at the application and any documents that support the application free of charge at:
<https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ♦ **be made to the Responsible Authority in writing,**
- ♦ **include the reasons for the objection, and**
- ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
---	---

If you object, the Responsible Authority will tell you its decision.

April McDonald

From: Snapforms Notifications <no-reply@snapforms.com.au>
Sent: Monday, 27 July 2026 9:10 AM
To: Planning Unit Administration
Subject: Planning Permit application
Attachments: Geotechnical Assessment.pdf; CoT Vol 9593 Fol 326.pdf; 21538 Report.pdf; 21538 Prop V1.pdf; CoT Vol 12080 Fol 537.pdf; 21538 BHSA V1.pdf; Additional Land Details.pdf; Planning_Permit_Application_2026-07-27T09-10-11_35780140_0.pdf

Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Applicant name: Crowther & Sadler Pty Ltd

Business trading name: Crowther & Sadler Pty Ltd

Email address: contact@crowthersadler.com.au

Postal address : PO Box 722 Bairnsdale 3875

Preferred phone number: 51 52 5011

Street number: 2850

Street name: Princes Highway

Town: Kalimna West

Post code: 3909

Addition owner/land description: [Additional Land Details.pdf](#)

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?: No

Will the proposal result in a breach of a registered covenant restriction or agreement?: No

Existing conditions : Farming property

Description of proposal : Two lot subdivision (boundary realignment)

Estimated cost of development: 0

Has there been a pre-application meeting: No

Full copy of Title: [CoT Vol 9593 Fol 326.pdf](#), [CoT Vol 12080 Fol 537.pdf](#)

Plans: [21538 Prop V1.pdf](#)

Planning report: [21538 Report.pdf](#)

ExtraFile: 2

1. Supporting information/reports: [Geotechnical Assessment.pdf](#)

2. Supporting information/reports: [21538 BHSA V1.pdf](#)

Invoice Payer: Crowther & Sadler Pty Ltd

Address for Invoice: PO Box 722 Bairnsdale 3875

Invoice Email: contact@crowthersadler.com.au

Primary Phone Invoice: 51 52 5011

Declaration: Yes

Authority Check: Yes

Notice Contact Check: Yes

Notice check 2: Yes

Privacy Statement Acknowledge: Yes

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 09593 FOLIO 326

Security no : 124134232250J
Produced 30/04/2026 11:49 AM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 147984W.
PARENT TITLE Volume 09161 Folio 598
Created by instrument LP147984W 12/02/1985

REGISTERED PROPRIETOR

Estate Fee Simple

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP147984W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 2850 PRINCES HIGHWAY KALIMNA WEST VIC 3909

ADMINISTRATIVE NOTICES

NIL

eCT Control
Effective from

DOCUMENT END

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LP147984

EDITION 1

APPROVED 21 / 12 / 84

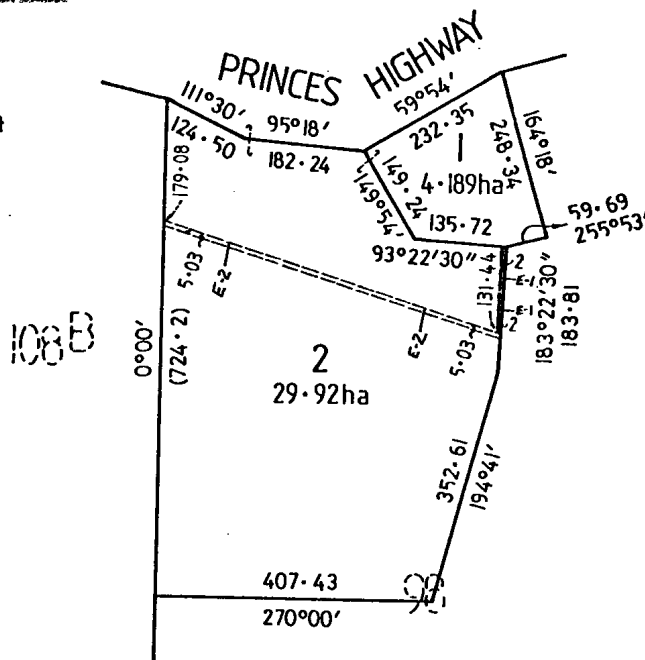
PLAN OF SUBDIVISION OF: <u>PART OF CROWN ALLOTMENT 98</u> _____ _____ PARISH: <u>COLQUHOUN</u> COUNTY: <u>TAMBO</u> 160 80 0 SCALE OF HORIZONTAL DISTANCES 200 400 LENGTHS ARE IN METRES	NOTATIONS THE LAND COLOURED BLUE IS AN EASEMENT FOR WATER SUPPLY PURPOSES VIDE C.398389 TO LAKES ENTRANCE WATERWORKS TRUST DEPTH LIMITATION: 15.24m APPROPRIATIONS WATER SUPPLY PURPOSES — PURPLE
--	--

Vol. 9161 Fol. 598

**COLOUR CONVERSION
FOR EASEMENTS**
E-1 = PURPLE
E-2 = BLUE

LITHO SH. Two

APPROVED
21 DEC 1984



CONSENT OF COUNCIL	SURVEYORS CERTIFICATION
SEALING ATTACHED L. P. 1984	THE SURVEYOR HAS BEEN ADVISED BY THE OWNER OF THE PROPERTY THAT THE PROPERTY IS NOT BEING USED FOR ANY OTHER PURPOSES THAN THE ONE FOR WHICH IT WAS ORIGINALLY DESIGNED.  21/6/84.

147984^w

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 3

VOLUME 12080 FOLIO 537

Security no : 124134232287T
Produced 30/04/2026 11:49 AM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 321850K.
PARENT TITLE Volume 10202 Folio 386
Created by instrument AS162417F 14/05/2019

REGISTERED PROPRIETOR

Estate Fee Simple

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS321850K FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 2898 PRINCES HIGHWAY KALIMNA WEST VIC 3909

ADMINISTRATIVE NOTICES

NIL

eCT Control 21210T WARREN GRAHAM AND MURPHY PTY LTD
Effective from 04/07/2019

DOCUMENT END

PLAN OF SUBDIVISION				STAGE NO. LTO use only		Plan Number	
Under Section 35 of the Subdivision Act 1988				EDITION 3 PS 321850K		PS 321850K	
Location of Land Parish: COLQUHOUN Township: _____ Section: _____ Crown Allotment: PART OF 98 & 99 & FORMER GOVERNMENT ROAD Crown Portion: _____ LTO Base Record: LITHO.2(2412) Title Reference: C/T 8844/861 & C/T 9335/634 Last Plan Reference: LP 82852 (LOT 2) Postal Address: PRINCES HIGHWAY, KALIMNA, 3909 (at time of subdivision) AMG Co-ordinates E 582600 ZONE: 55 (of approx. centre of land in plan) N 5809500				Council Certification and Endorsement Council Name: SHIRE OF TAMBO Ref: 08/14/010/0275 A. This is a plan under section 35 of the Subdivision Act 1988 which does not create any additional lots. B. This plan is exempt from Part 3 of the Subdivision Act 1988. C. This is a plan under section 35 of the Subdivision Act 1988 which creates (an) additional lot(s). D. It is certified under section 6 of the Subdivision Act 1988. E. It is certified under section 11(7) of the Subdivision Act 1988. F. Date of original certification under section 6: / / G. This is a statement of compliance under section 21 of the Subdivision Act 1988. Council Delegate Council Seal Date 15 / 2 / 94 Re-certified under section 11(7) of the Subdivision Act 1988. Council Delegate Council Seal Date / /			
Vesting of Roads and / or Reserves Roads and reserves vest in the council/body/person named when the appropriate vesting date is recorded or transfer registered. Only roads and reserves marked thus (%) vest upon registration of this plan.				Notations			
Identifier		Council/Body/Person		Staging This is/is not a staged subdivision Planning Permit No. NOT APPLICABLE			
ROAD R1		ROADS CORPORATION		Depth Limitation 15.24 metres below the surface Land to be acquired by compulsory process: NIL Land to be acquired by agreement: ROAD R1 All the land is to be acquired free from all encumbrances other than any easements specified on this plan. The land being subdivided is enclosed within thick continuous lines. Dimensions underlined are not the result of this survey. Survey This plan is based on survey & compiled from Roads Corp. SP18812. This survey has been connected to permanent marks no(s). 136, 137, 138, 139 & 140 in Proclaimed Survey Area No. _____			
AREA OF LOTS 1 & 2 OBTAINED BY DEDUCTION FROM TITLE. ROAD R1 CONSOLIDATES THE ACQUIRED LAND WHEN THE LAST APPROPRIATE VESTING DATE IS RECORDED OR TRANSFER REGISTERED.						LTO use only Statement of Compliance/Exemption Statement Received ☒ Date 28 / 2 / 94 LTO use only PLAN REGISTERED Time 1.00 Date 8 / 7 / 94  Assistant Registrar of Titles Sheet 1 of 3 Sheets	
Easement Information							
Legend: E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement A - Appurtenant Easement R - Encumbering Easement (Road)							
Easements marked (-) are existing easements. Easements marked (+) are created upon registration of this plan. Easements marked (*) are created when the appropriate vesting date is recorded or transfer registered. Easements marked (W) are removed when the appropriate vesting date is recorded or transfer registered.							
Symbol	Subject Land	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of		
*	R1	WAY	SEE DIAG.	THIS PLAN	LAND IN THIS PLAN		
-	E-1	WATER SUPPLY	5.03	C/E C350956	LAKES ENTRANCE WATERWORKS TRUST		
ROADS CORPORATION Land Information and Survey Department 60 Denmark Street Kew 3101				LEON K. WILSON LICENSED SURVEYOR (PRINT) SIGNATURE _____ DATE / / S.R. 9793 REF. SP18812 PS1 VERSION _____		DATE / / COUNCIL DELEGATE SIGNATURE _____ Printed (size 10)	

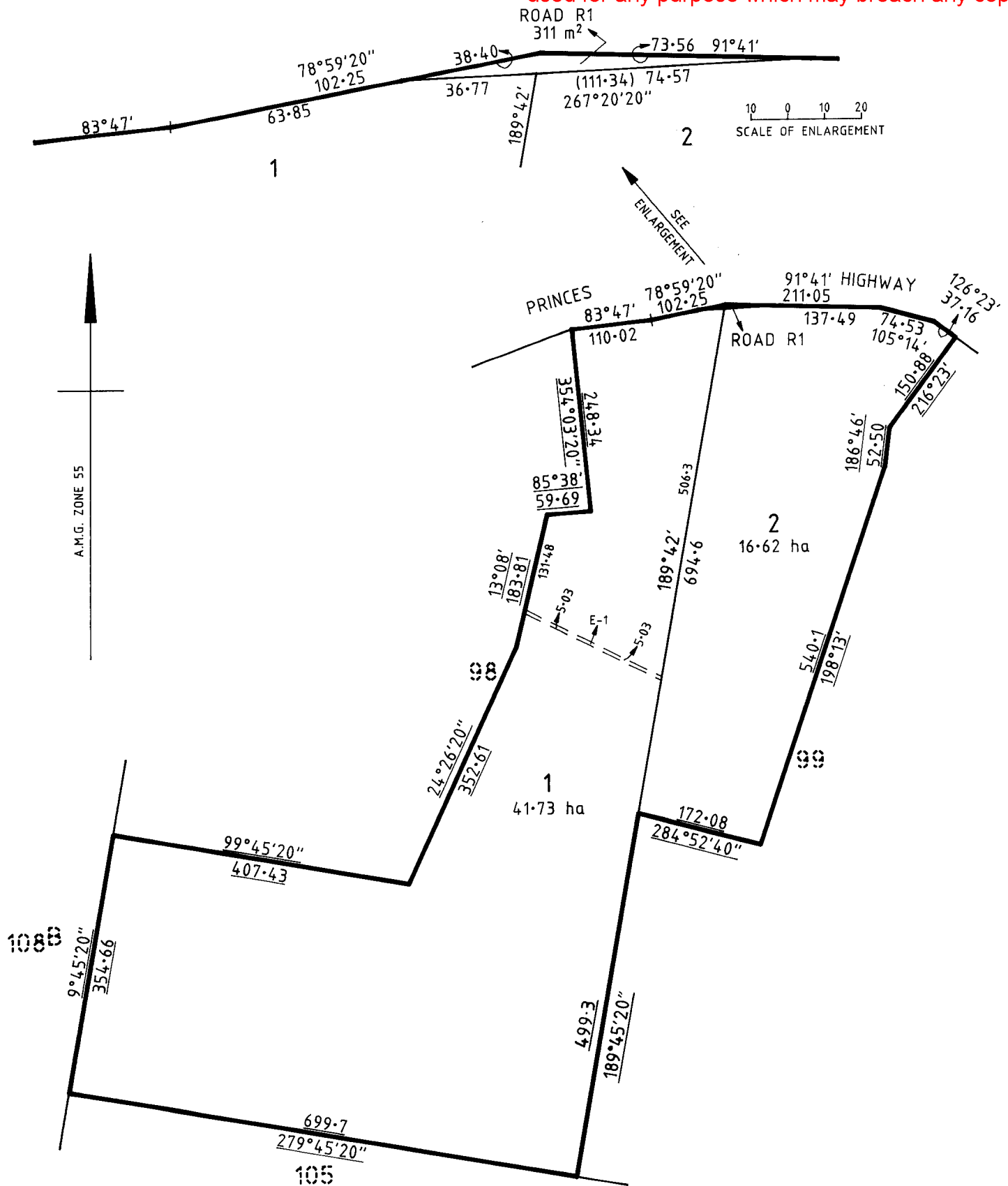
Under section 35 of the Subdivision Act 1988

Stage No. _____ Plan Number _____

PS 321850K

purpose of enabling reconsideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be

PS 321850K



Land Information and Survey Department
60 Denmark Street
Kew 3101

VERSION _____

Printed 3/0

LENGTHS ARE IN METRES

PLAN OF SUBDIVISION

Under section 35 of the Subdivision Act 1988

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Stage No.

Plan Number

PS 321850K

VESTING DATES & TRANSFER REGISTRATION DATES OF ACQUIRED LAND

Land affected	Land acquired by compulsory process				Land acquired by agreement	LTO reference	Assistant Registrar of Titles
	Vesting date	Government Gazette		Date of recording of vesting date	Date of registration of transfer		Signature
		Page	Year				
THAT PART OF R1 CONTAINED IN C/T 8844/861	_____	_____	_____	_____	12-7-94	T 186820S	<i>R.E. Martin</i>
THAT PART OF R1 CONTAINED IN C/T 9335/634	_____	_____	_____	_____	13-10-94	T 356625S	<i>R.E. Martin</i>

Sheet 3 of 3 Sheets

ROADS CORPORATION

Land Information and Survey Department
60 Denmark Street
Kew 3101

LICENSED SURVEYOR LEON K. WILSON
(PRINT)

SIGNATURE DATE / /

S.R. 9793
REF. SP18812 PS1

VERSION _____

DATE / /

COUNCIL DELEGATE SIGNATURE

Printed 3/08/2026

Page 9 of 45

PLAN NUMBER

PS321850K

MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

[illegible]

Planning Report

Two Lot Subdivision (Boundary Realignment)
2850 & 2898 Princes Highway, Kalimna West

Our reference – 21538

July 2026



FS 520900



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	Application Form	
	Proposed Subdivision Plan (Version 1)	
	Bushfire Hazard Site Assessment (Version 1)	
	Letter of Advice - Geotechnical Assessment	
	Copy of Title (Lot 2 on PS147984W & Lot 1 on PS321850K)	

Note: Applicable Planning Application fee is \$1,537.00 – Class 19

1. Introduction

This Planning Report is prepared in support of a proposed two lot subdivision (boundary realignment) at 2850 & 2898 Princes Highway, Kalimna West. The Report addresses the provisions of the Farming Zone 1, Environmental Significance Overlay 1 – 53, Design and Development Overlay 7, Erosion Management Overlay and Bushfire Management Overlay as contained within the East Gippsland Planning Scheme.



Aerial image of the subject land and surrounds (Source: Google Earth)

2. Subject Land & Surrounding Context

The subject land is formed from two properties being Lot 2 on PS147984W & Lot 1 on PS321850K or otherwise known as 2850 and 2898 Princes Highway, Kalimna West

Both sites are located on the southern side of the Princes Highway and have a combined area of 71.652 hectares. The subject land is used as a single property supporting a livestock grazing enterprise.



Aerial image of the subject land (Source: Google Earth)

The property is developed with a dwelling, associated outbuildings and cattle yards within the north-east part of the subject land and is accessed by an existing driveway from the Princes Highway.

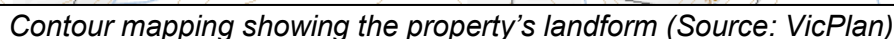


Existing dwelling and vehicle access at 2898 Princes Highway (Source: Google Earth)



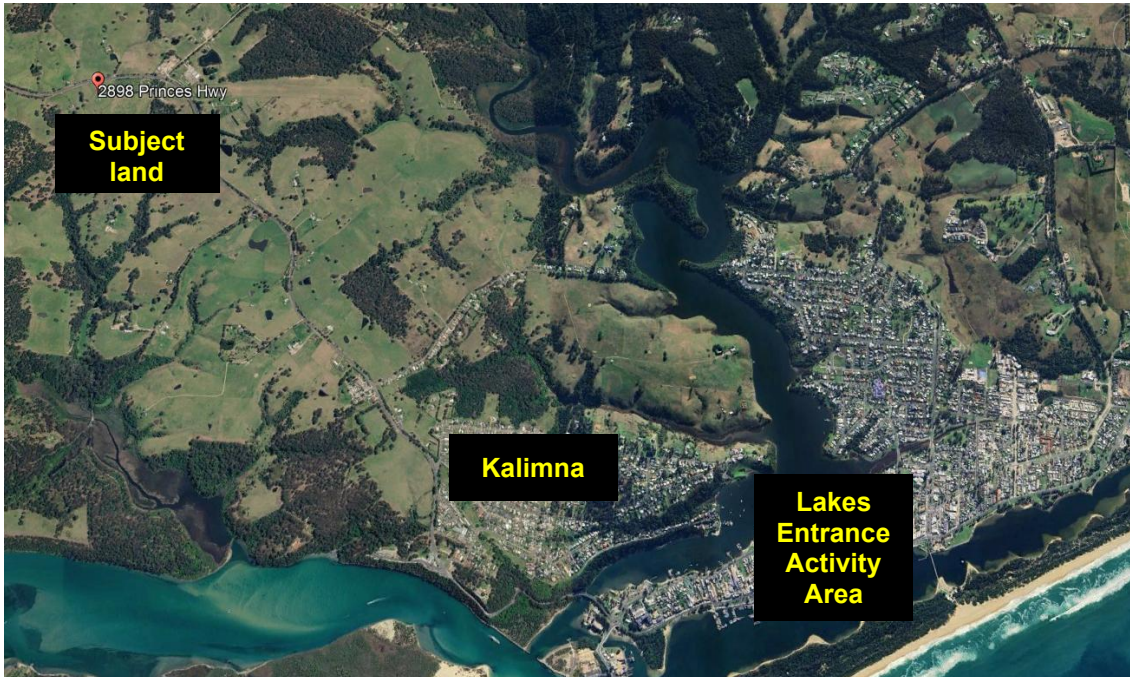
Existing vehicle access to 2850 Princes Highway (Source: Google Earth)

The property has a landform that falls away from the Princes Highway which has allowed waterways to be formed throughout the subject land. One waterway to the north-east of the site has been augmented allowing for a significant livestock dam.



North-west of the subject site is a small landholding developed with a dwelling and to the west is a larger property developed with a dwelling and containing a significant patch of native vegetation. Both of these properties are provided access from Fergusons Lane.

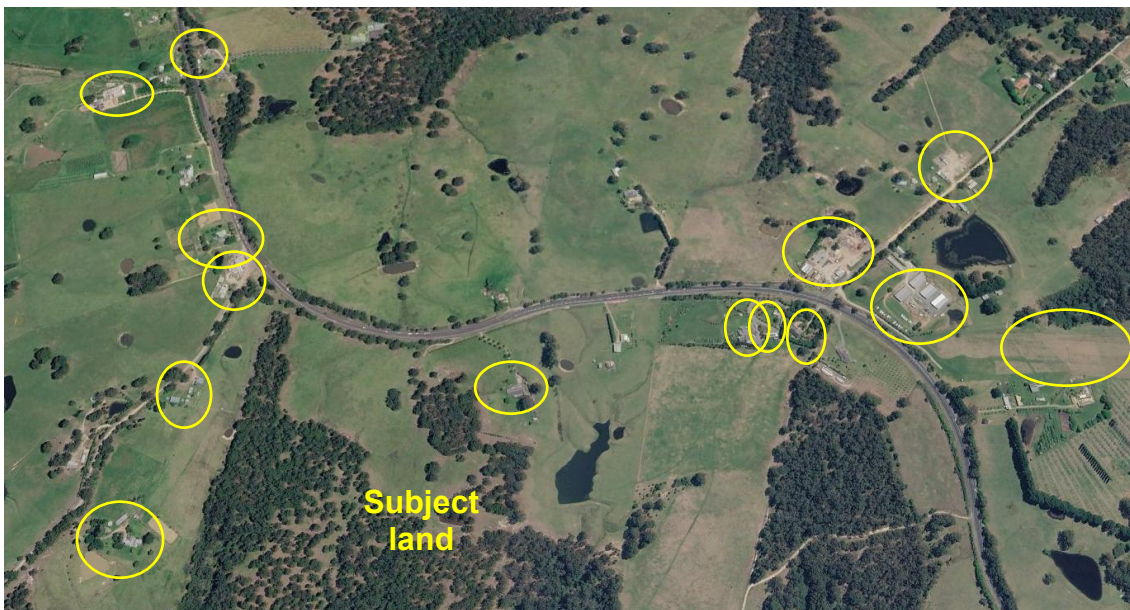
The subject land is located a short distance approximately 3.2 kilometres to the west of the residential areas of Kalimna and is approximately 6.0 kilometres from the Activity Area of Lakes Entrance.



Demonstration of proximity to Lakes Entrance Activity Area (Source: Google Earth)

The area approaching Lakes Entrance along the Princes Highway is a precinct that forms a rural residential function containing many smaller properties developed with dwellings and some businesses not associated with agriculture.

The following image identifies the rural residential function of the area and commercial businesses close to the subject land highlighted in yellow circles.



Aerial image of close by properties to the subject land (Source: Google Earth)

3. The Application & Proposal

It is proposed to realign the common boundary between the two existing titles, to create a larger balance allotment. It is proposed to subdivide the site through the creation of lot 1 within the north-eastern part of the property to contain the existing dwelling on a proposed allotment of 2.231 hectares. Proposed Lot 2 being the balance of the land will retain an area of 69.421 hectares.

The subject land is currently being underutilised, with the agricultural productivity of the property waning over a number of years, and it has been determined that the lot configuration is required to be altered to provide for a more attractive agricultural land parcel.

On this basis the subdivision design minimises the land area retained with the existing dwelling to the currently used domestic area, to ensure as much agricultural land remains with the balance lot. It was also considered important to include agricultural infrastructure within the balance lot excluding the cattle yards, noting they are in poor condition. Smaller scale agricultural activities, such as chickens and grazing for maintenance purposes, will continue to occur on the smaller allotment.



Existing dwelling and cattle yards in poor condition (Source: Google Earth)

It is important to the landowners that the environmental stewardship of the property can be best maintained as possible. Given existing vegetation on the land has been retained, and waterways have been kept in a vegetated manner to provide for water quality improvements.

To achieve this objective, Proposed Lot 2 was designed to contain the native vegetation and remove the current opportunity for 'as of right' vegetation removal associated with the existing lot configuration. Similarly, waterways are currently dissected by the existing common boundary, with the proposed subdivision design ensuring waterways will be contained within a single allotment, avoiding fragmentation and providing increased opportunity for responsible environmental stewardship.

The proposed lot layout can take advantage of existing vehicle access to the proposed lots avoiding roadside vegetation impacts. Both vehicle crossover accessways have wide connections to the Princes Highway allowing for appropriate turning movements from the accessways towards the east and west.

Planning approval is required pursuant to the following Clauses of the East Gippsland Planning Scheme:

Planning Scheme Clause	Matter for which a Permit is required
35.07-3 Farming Zone	Subdivide land
42.01-2 Environmental Significance Overlay 1-53	Subdivide land
43.02-3 Design and Development Overlay 7	Subdivide land
44.01-5 Erosion Management Overlay	Subdivide land
44.06-2 Bushfire Management Overlay	Subdivide land

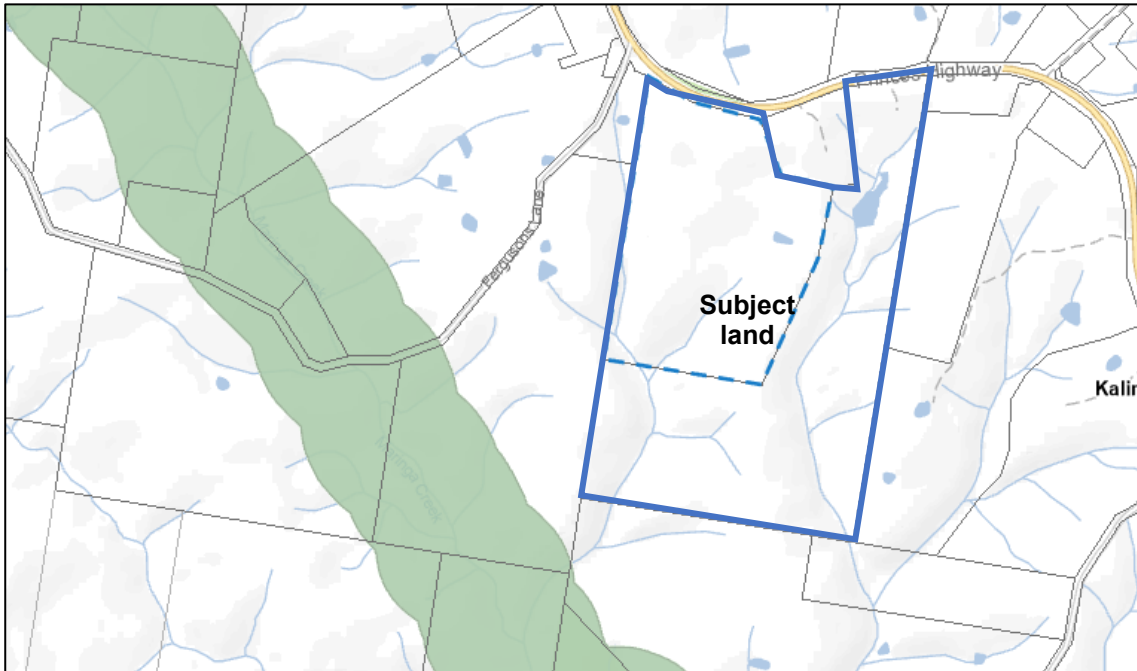
The application must be referred to the relevant fire authority in accordance with Section 55 of the Act, and will need to be referred to DEECA for comment under Section 55 of the Act as the land is contained within the Environmental Significance Overlay.

Despite the subject land adjoining a Transport Zone 2 road, the application does not require consideration of Clause 52.29 Land adjacent to the principal road network. As the proposal is a boundary realignment utilising existing access to Princes Highway, a Planning Permit is not required pursuant to Clause 52.29-3. Accordingly, there is no need to refer the application to the Department of Transport & Planning.

4. Cultural Heritage

Pursuant to Regulation 7 of the *Aboriginal Heritage Regulations 2018*, a CHMP is required for an activity if:

- (a) *all or part of the activity area for the activity is in an area of cultural heritage sensitivity; and*
- (b) *all or part of the activity is a high impact activity*



*Extract from Cultural Heritage Sensitivity mapping,
with sensitive areas shown in green (Source: VicPlan)*

The subject land is not within an area of cultural heritage sensitivity and a two lot subdivision is not a high impact activity. As such, a CHMP is not required for the proposed subdivision.

5. Planning Policy

5.1 Planning Policy Framework

The subdivision will avoid the existing ability for landowners to remove native vegetation 'as of right' along the current subdivision boundary. The subdivision boundary will adopt a fenced area of the property thereby avoiding native vegetation removal consistent with Clause 12.01-2S Native vegetation management.

As sought within Clause 12.03-1S River and riparian corridors, waterways, lakes, wetlands and billabongs, the proposal respects the ephemeral waterways on the subject land. The resultant lot boundaries will allow all the waterways to be contained within lot 2 making for easier waterway management.

The whole of the property is contained within the Bushfire Management Overlay. The subdivision will not result in an increased risk to human life or property and should a future dwelling be proposed on lot 2 it can be located within close proximity to the Princes Highway, be provided with defensible space and will be able to be constructed to appropriate construction standards (Clause 13.02-1S Bushfire).

Parts of the property are subject to potential erosion processes. As encouraged within Clauses 13.04-2S and 13.04-2L Erosion, the proposal will not require vegetation removal and avoids the need for earthworks by the subdivision boundary adopting an internal fence.

Clause 14.01-1 Protection of agricultural land seeks to preserve productive farmland. The proposal will not result in the loss of agricultural land as the subdivision will create a lot that is currently used for domestic purposes and allows for the amalgamation of farmland providing for long-term agricultural productive capacity.

The subdivision will facilitate a more effective use of the land for agricultural purposes as grazing and agriculturally used areas of the subject land will be combined as opposed to the currently fragmented title arrangement (Clause 14.01-1L-04).

The proposed subdivision will maintain the integrity of the principal road network as each proposed lot will be accessed from existing driveways (Clause 18.02-4S Roads).

5.2 Municipal Planning Strategy

Adopting existing paddock fencing as the subdivision boundary avoids the need for native vegetation removal. Existing water quality on the land will be maintained as the waterway will no longer be fragmented and can be managed by a single landowner (Clause 02.03-2 Environmental and landscape values).

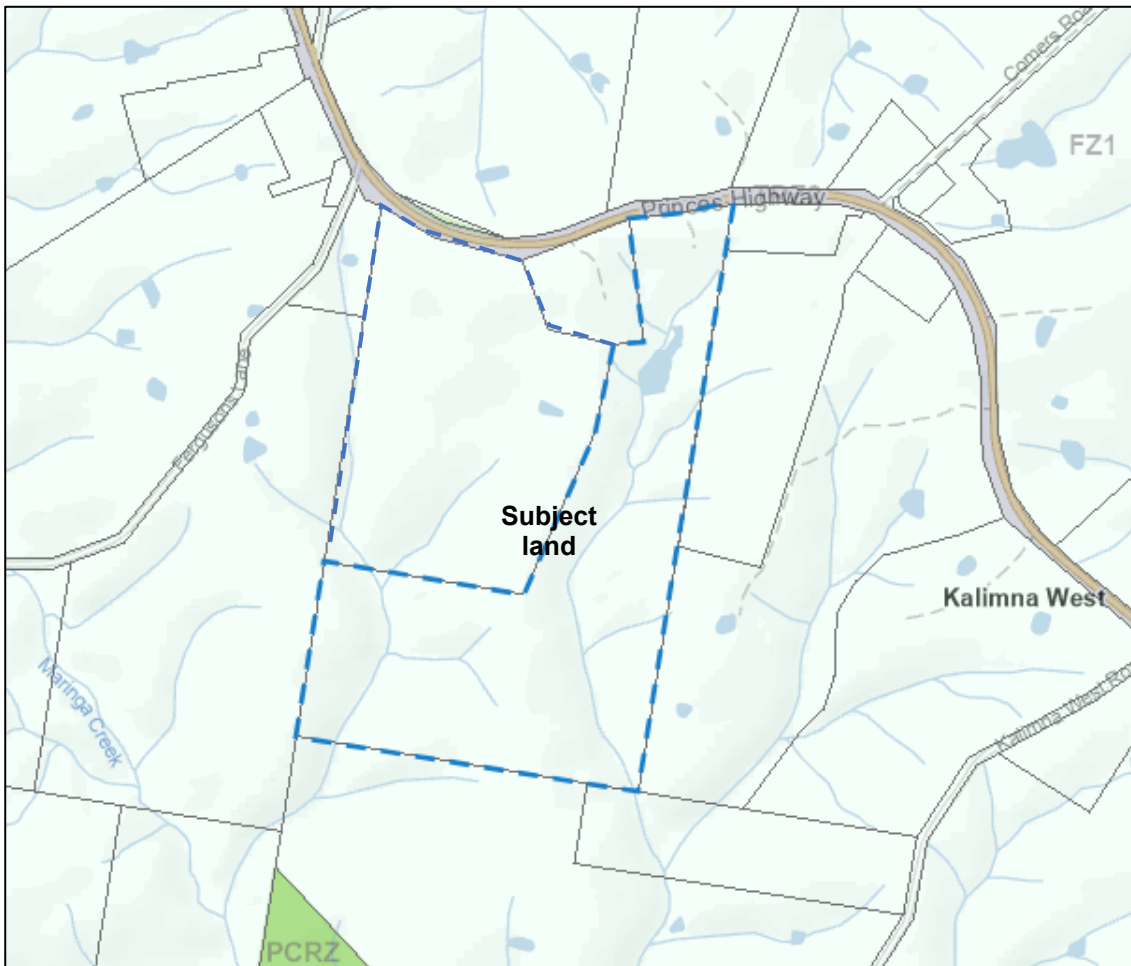
Clause 02.03-3 Environmental risks and amenity advises that parts of the Shire are subject to bushfire and erosion processes. The current risk to the occupants of the subject land is not exacerbated by the proposed subdivision. In the event a new dwelling was to be developed on proposed lot 2 there is ample opportunity to avoid areas that could be impacted by erosion. The lot area and configuration provide the ability to locate a dwelling within a cleared part of the lot, provide for defensible space and establish efficient access/egress arrangements.

The proposed subdivision will establish a significant sized rural allotment that will have an improved title arrangement than current. Development of a good sized rural landholding provides an opportunity for a larger rural enterprise increasing productivity on the land (Clause 02.03-4 Natural resource management).

6. Planning Elements

6.1 Farming Zone 1

The subject land is zoned Farming 1 Zone in accordance with the East Gippsland Planning Scheme.



Planning scheme zone mapping (Source: VicPlan)

Pursuant to Clause 35.07-3 A permit is required to subdivide and each lot must be 40 hectares unless the subdivision is the re-subdivision of existing lots and the number of lots is not increased.

A review of the proposal against the relevant decision guidelines advises:

- The proposal is supported by planning policy within the Planning Policy Framework and Municipal Planning Strategy.
- East Gippsland Regional Catchment Strategy themes are being positively addressed with maintaining native vegetation on the land and avoiding waterway fragmentation.
- Proposed lot 1 is of sufficient area to be able to accommodate the disposal of effluent.

- Developing a larger agricultural lot will provide sustainable land management as the environmental attributes of the property can be maintained while allowing for agricultural activities to be undertaken.
- Proposed lot 1 has been developed based on the current domestic use of the land in the north-eastern part of the property resulting in no loss of productive agricultural land.
- Lot 1 has been kept as small as possible to provide land area to lot 2 and ensure significant agricultural infrastructure remains with lot 2.
- Lot 2 will have sufficient area to attract a larger agricultural enterprise resulting in the subject land being more productive.

The subject land is not within an area of farmland of strategic significance in the local or regional context.

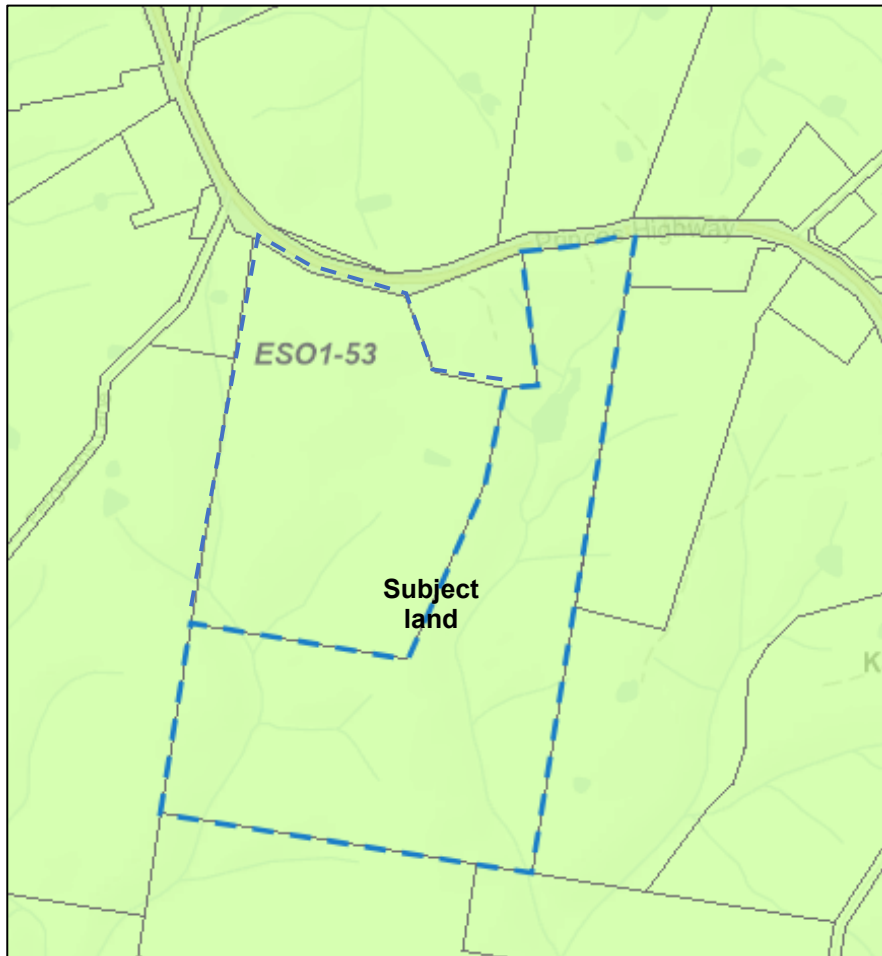
Both properties contain extensive areas of vegetation reducing agricultural production. Creation of a large lot 2 property will provide for a more productive agricultural outcome.

Creation of lot 2 incorporating the majority of agricultural land will more easily allow for investment in improving soil quality.

The proposal provides better access to water for livestock by incorporating the stock dam within the northeast of the site within proposed lot 2.

6.2 Environmental Significance Overlay 1-53

The subject land is contained within the Environmental Significance Overlay 1-53, which relates to *Colquhoun and Kalimna*. Significant species requiring consideration are the White-bellied Sea eagle, Masked Owl, Limestone Pomaderris, Spicy Everlasting, Star Cucumber, Viscid Daisy-bush, Yellow Milk Vine, Limestone Blue Wattle, Warm Temperate Rainforest and Limestone Forest.



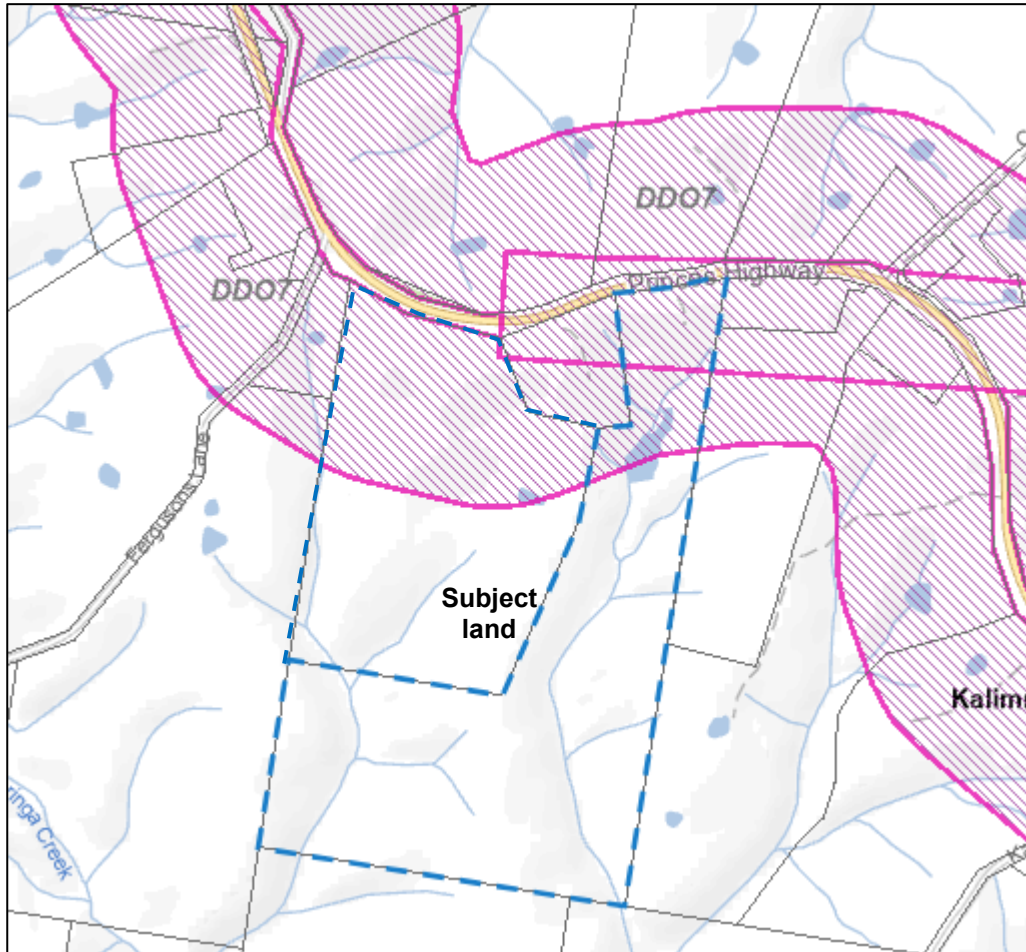
Planning scheme overlay mapping (Source: VicPlan)

The proposed subdivision positively responds to the decision guidelines through the following:

- No native vegetation is required to be removed to facilitate the proposal.
- Existing fencing of the property will remain.
- Weed control will need to be undertaken as part of the agricultural activities.
- Introduced predators can be controlled as necessary.
- White-bellied Sea-eagle nests can remain confidential.

6.3 Design and Development Overlay 7

The northern part of the property is subject to the Design and Development Overlay 7 relating to *Highway Corridors, Princes Highway & Great Alpine Road*.



Planning overlay mapping (Source: VicPlan)

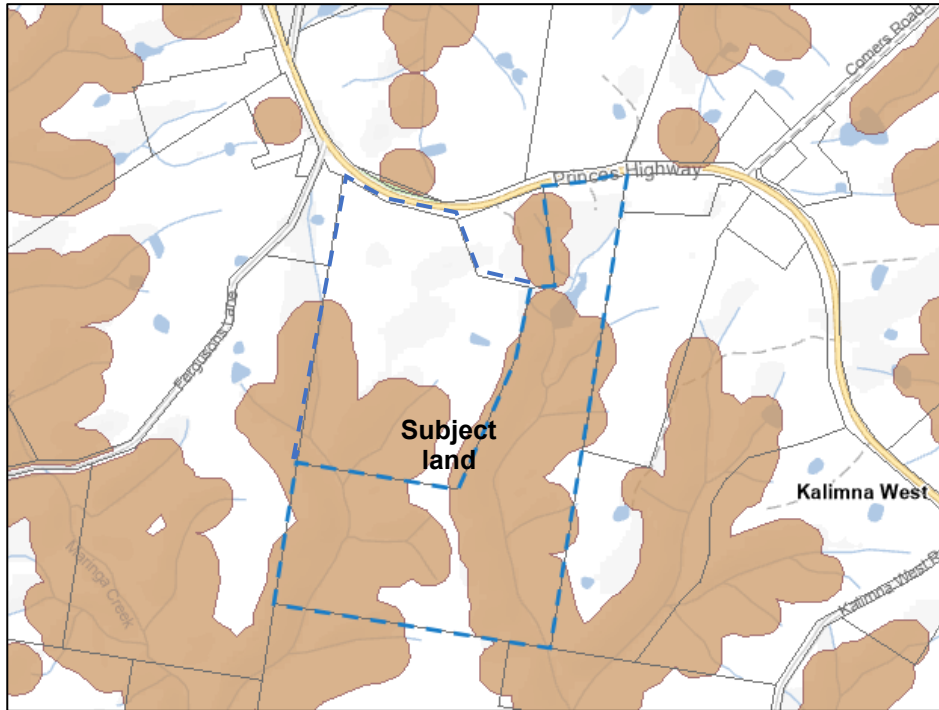
The proposed development forwards the objectives, specific requirements and decision guidelines of the schedule through the following:

- Both proposed lots will be provided with existing access to the Princes Highway.
- Sightlines both east and west of each crossover is acceptable.
- The proposed boundary realignment will create a lot for an existing dwelling, and as such the application does not promote linear development along the highway.
- Access to both lots is existing avoiding the need to undertake native vegetation removal in the highway road reserve.
- Proposed lot 1 will exceed 2.0 hectares being 2.866 hectares.

- Proposed lot 1 will adjoin a smaller lot to the east however, there is good separation between the dwellings to avoid the appearance of linear development.
- Being a restructured subdivision, it is unlikely that additional traffic will be generated.

6.4 Erosion Management Overlay

Parts of the land are contained within the Erosion Management Overlay, with Schedule 1 applying to *Areas Susceptible to Erosion*.



Planning scheme overlay mapping (Source: VicPlan)

Sub-clause 4.0 of the schedule is met by the proposal through the following:

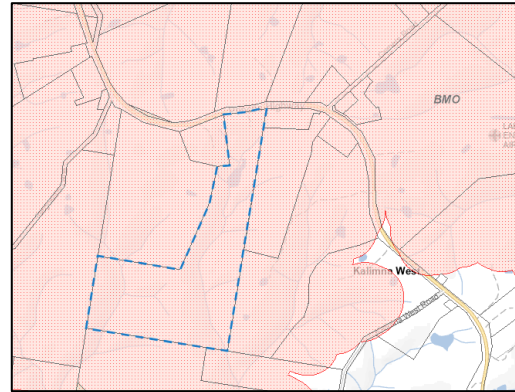
- Plans submitted with the application show the layout of the proposed lots.
- The plan includes aerial imagery which show all development on the land and development that adjoins the property.
- Vegetation on the subject land can be seen on the aerial imagery. We confirm that the subdivision will not require native vegetation removal.

The application includes advice from a qualified engineer that in this case a geotechnical assessment, landslide risk assessment or landslide hazard assessment is not required for the proposed subdivision. On this basis we would respectfully request that Council waive the need for these assessments as the subdivision will not increase the risk to life or property.

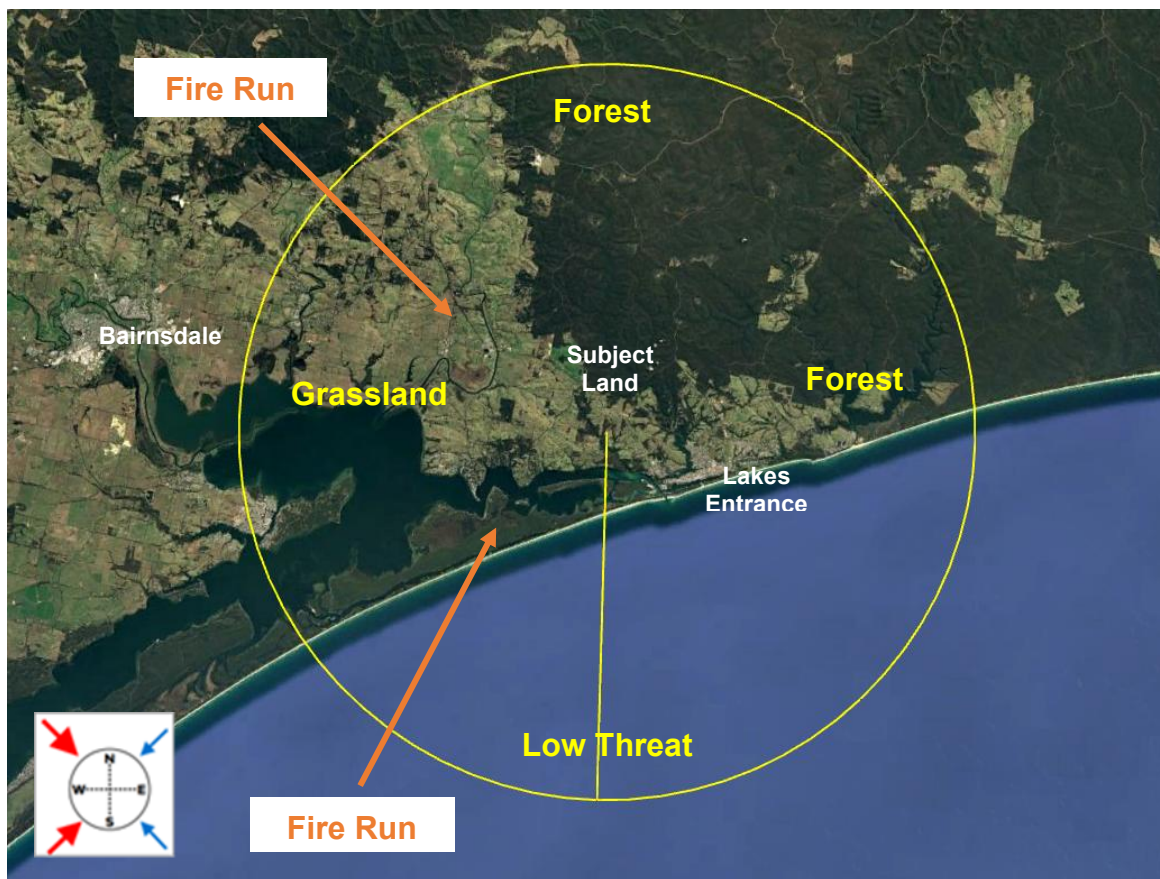
6.5 Bushfire Management Overlay

The property is subject to the Bushfire Management Overlay. Pursuant to Clause 44.06-3, the application is supported by a bushfire hazard landscape assessment, a bushfire hazard site assessment and a bushfire management statement.

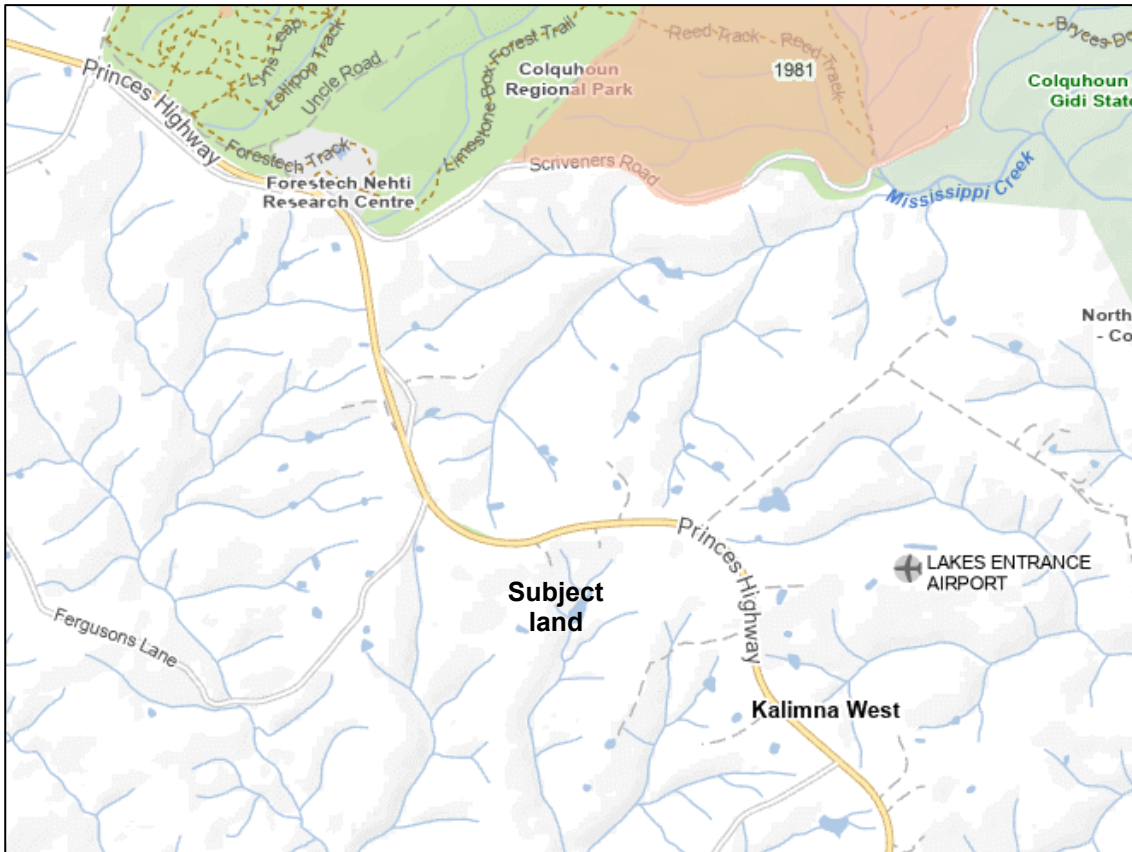
(R) Extract from Overlay map (Source: VicPlan)



Bushfire Hazard Landscape Assessment



*Bushfire Hazard Landscape Assessment at 20 kilometres
(Source: Google Earth)*



Bushfire history close to the subject land (Source: MapshareVic)

The Bushfire Hazard Landscape Assessment reveals that the site is located within undulating terrain, has limited recent fire history and includes large areas of forested land to the north and east. The subject land is separated from forested areas by cleared farmland. The property is considered to be within a Broader Landscape Type 3 as a bushfire could approach the subject land from a number of directions.

Bushfire Management Statement

CLAUSE 53.02-4.1 LANDSCAPE, SITING & DESIGN OBJECTIVES

Objective

To ensure development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.

To site development to minimise the risk from bushfire.

To site development to provide safe access for vehicles, including emergency vehicles.

To ensure building design minimises vulnerability to bushfire attack.

Approved Measures

AM 2.1

The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.

Response: The subject land is located within the rural area of Kalimna West contained within the Farming Zone and generally surrounded by cleared farms containing grassland vegetation albeit there are some patches of forest vegetation scattered amongst the local area.

Grassland vegetation is a characteristic of the area and there are large tracts of forested areas within the wider northern landscape which presents a bushfire risk.

The main bushfire threat is from forested areas to the north however, the subject land is separated from forest vegetation by managed grassland in the form of farmed pasture paddocks.

More locally the subject land itself contains forested areas to the east and west. The predominant vegetation classification in all directions is grassland, being farmed paddocks providing a low threat environment.

The main threat from bushfire is provided from the north with the broader landscape being representative of Landscape Type 3.

The indicative building envelopes have been nominated to mitigate the risk from bushfire. The possible building envelopes have been sited within cleared areas of both proposed lots providing separation from Woodland vegetation. Locating the building envelopes within the northern area of both lots avoids the more undulating terrain of the allotments reducing potential fire speed. Siting building envelopes within proximity to existing accesses and close to the highway allows easy access by emergency services.

AM 2.2

A building is sited to ensure the site best achieves the following:

- The maximum separation distance between the building and the bushfire hazard.
- The building is close to a public road.
- Access can be provided to the building for emergency service vehicles.

Response: The enclosed Bushfire Hazard Site Assessment demonstrates that lot 1 contains sufficient area for a replacement dwelling if required, and lot 2 has the ability to accommodate a dwelling which can provide appropriate separation from the bushfire hazard (to Column A of Table 1 to Clause 53.02-5), with direct access to a public road.

Indicative building envelopes demonstrate each lot can establish defensible space wholly within the lot boundaries which meets the separation distances prescribed at Table 1 Column A to Clause 53.02-5.

Defensible space for the potential building envelopes on both lots has nominated for all aspects of lot 1, 22 metres, reflecting the grassland classification within the assessment area. Defensible space for a replacement dwelling on lot 1 if required can be provided to 41 metres on all aspects of the building as required in Column A to Table 1 of clause 53.02-5.

Access to both lots is obtained from Princes Highway and will utilise existing vehicle crossings to avoid vegetation removal and provide direct and convenient access to the proposed building envelopes.

The site has frontage to the Princes Highway, with vehicle access to the subject land by existing vehicle crossovers. The subject land is a relatively short distance from Kalimna being approximately 3.2km to the east and 6 kilometres to Lakes Entrance, which provides opportunity for shelter.

AM 2.3

A building is designed to be responsive to the landscape risk and reduce the impact of bushfire on the building

Response: **Should a replacement dwelling on lot 1 be required or a dwelling is to be developed on lot 2 both lots have the ability to develop a dwelling that is responsive to the landscape risk.**

Separation distances from the landscape hazards can be achieved consistent with the slope and vegetation types as demonstrated by the Bushfire Hazard Site Assessment. Defendable space can all be contained within the title boundaries.

CLAUSE 53.02-4.3 WATER SUPPLY & ACCESS OBJECTIVES

Clause 53.02-4.3 Objective

A static water supply is provided to assist in protecting property.

Vehicle access is designed and constructed to enhance safety in the event of a bushfire

Approved Measures

AM 4.1

A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office or retail premises is provided with:

- A static water supply for fire fighting and property protection purposes specified in Table 4 to Clause 53.02-5.
- Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5.

The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies.

Response: Future development of either lot will be required to provide a static water supply for firefighting purposes in accordance with the requirements of Table 2 to Clause 53.02-5. As allotments are greater than 1,501m² in area a static water supply of 10,000 litres with Fire Authority fittings and access is required for the proposed vacant allotment.

The standard access requirements for a driveway that has a length greater than 100 metres and less than 200 metres will also need to be applied as part of future development of the vacant lot, consistent with Table 3 to Clause 53.02-5.

AM 4.2

A building used for accommodation (other than a dwelling or dependent person's unit), child care centre, education centre, hospital, leisure and recreation or place of assembly is provided with:

- A static water supply for fire fighting and property protection purposes of 10,000 litres per 1,500 square metres of floor space up to 40,000 litres.
- Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5.
- An integrated approach to risk management that ensures the water supply and access arrangements will be effective based on the characteristics of the likely future occupants including their age, mobility and capacity to evacuate during a bushfire emergency.

The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire-fighting water supplies.

Response: N/A The proposed development complies with the Approved Measure AM 4.1.

AM 4.3

All other development, other than where AM4.1 or AM 4.2 applies, is provided with a static water supply with adequate capacity for fire fighting and property protection purposes and vehicle access in accordance with the relevant fire authority requirement.

N/A The proposed development complies with the Approved Measure AM 4.1.

CLAUSE 53.02-4.4 SUBDIVISION OBJECTIVES

Clause 53.02-4.4 Objective

To provide lots that are capable of being developed in accordance with the objectives of Clause 53.02-4.1 and 53.02-4.3.

To specify at the subdivision stage bushfire protection measures to develop a lot with a single dwelling on land zoned for residential or rural residential purposes.

Approved Measures

AM 5.1

An application to subdivide land, other than where AM 5.2 applies, demonstrates that each proposed lot is capable of meeting:

- The setback from the bushfire hazard in accordance with the vegetation type and slope set out in Table 1 to clause 53.02-5 for the distances at Columns A, B or C.
- AM 2.1, AM 2.2 and the approved measures at clause 53.02-4.3

The setback distance is capable of being managed as an area of defendable space in accordance with the defendable space vegetation requirements specified at Table 4 and the area is capable of being maintained in accordance with these requirements.

Response: The Bushfire Hazard Site Assessment demonstrates each lot is capable of providing defendable space in accordance with Column A of Table 1 to Clause 53.02-5.

The defendable space has been contained entirely within allotment boundaries which ensures the ongoing ability to continue management and maintenance.

Future development of the vacant lot (subject to Council approval) will need to demonstrate compliance with the vegetation management requirements at Table 4 to Clause 53.02-5. This is considered achievable given the surrounding grassland area represents farmed paddocks currently used for grazing.

It is reasonable to presume that any future dwelling would need to be constructed to a BAL-29 construction standard, whilst otherwise enhancing the extent of defendable space to be consistent with Column A Table 1 to Clause 53.02-5, providing additional protection to life and property.

AM 5.2

An application to subdivide land zoned for residential or rural residential purposes must be accompanied by a plan that shows:

- Each lot satisfies the approved measure in **AM2.1**
- A building envelope for a single dwelling on each lot that complies with **AM 2.2** and is setback from the bushfire hazard in accordance with the vegetation type and slope set out in Table 1 to clause 53.02-5 for the distance provided at either:
 - Columns A or B of Table 1 to Clause 53.02-5 for a subdivision that creates 10 or more lots; or
 - Columns A, B or C of Table 1 to Clause 53.02-5 for a subdivision that creates less than 10 lots.
- The bushfire attack level that corresponds to the setback in accordance with Table 1 to Clause 53.02-5 is noted on the building envelope.
- Water supply and vehicle access that complies with AM 4.1.

The setback distance is:

- Wholly contained within the boundaries of the proposed subdivision. The setback may be shared between lots within the subdivision and may utilise communal areas, such as roads.
- Managed as an area of defendable space that meets the defendable space vegetation management requirements specified at Table 4 to clause 53.02-5 and the area is capable of being maintained in accordance with these requirements. This includes any shared or communal areas within the setback.

Response: N/A - the subject land is zoned Farming Zone and as such AM 5.1 is applicable.

AM 5.3

A subdivision of land to create 10 or more lots provides a perimeter road adjoining the bushfire hazard to separate future development from the bushfire hazard and to support fire fighting.

Response: N/A - The proposal includes subdivision of the land into two allotments.

AM 5.4

A subdivision manages the bushfire risk to future development from existing or proposed landscaping, public open space, conservation areas (including vegetation links and corridors) and communal areas.

Response: The proposed subdivision is for two lots contained within the Farming Zone. No public open space or communal areas are proposed.

AM 5.5

A subdivision of land is provided with no fuel or low fuel features such as accessways, parking areas, hardstand areas, managed open spaces at the bushfire hazard interface and is oriented to protect future buildings from being impacted by a moving bushfire front.

The proposed lots to be created have nominated potential building envelopes within cleared areas. Subject to Council approval and typical of rural housing defendable space can be managed around the surrounds of dwellings and can include vehicle parking and hardstand areas around the perimeter of the dwellings protecting the buildings from a bushfire front.

AM 5.6

A staged subdivision of land manages interim bushfire hazards during the construction or staging.

Response: N/A - The proposed subdivision is not a staged subdivision.

AM 6.1

An application for accommodation (other than a dwelling or small second dwelling), education centre, hospital, leisure and recreation or place of assembly assesses the impact of bushfire on vulnerable people and provides emergency management arrangements that respond to:

- The risk arising from AM2.1, the protection (if any) provided by the location in the broader landscape, and the need for a response that exceeds any of the measures of this clause.
- The characteristics of the likely future occupants including their age, mobility and capacity to evacuate during a bushfire emergency.
- The intended frequency and nature of occupation, including whether vulnerable people should avoid occupying development in bushfire affected areas at certain times.
- The risk reduction provided through bushfire protection measures included within a bushfire and emergency management plan.
- The mechanisms to secure ongoing implementation of bushfire protection measures.

Response: The proposed subdivision is premised on the vacant lot being able to accommodate a dwelling and proposed lot 1 capable of accommodating a replacement dwelling if required. The application does not seek to introduce accommodation other than dwellings if required into the future.

The proposal is considered a sound response to the provisions of the Bushfire Management Overlay.

7. Conclusion

The proposed two lot subdivision (boundary realignment) at 2850 & 2898 Princes Highway, Kalimna West is considered to accord with all relevant provisions of the Farming Zone 1, Environmental Significance Overlay 1 – 53, Design and Development Overlay 7, Erosion Management Overlay and Bushfire Management Overlay of the East Gippsland Planning Scheme. The proposal is consistent with the Planning Policy Framework and Municipal Planning Strategy and has been designed to provide for an improved agricultural outcome.

For these reasons we respectfully request that Council consider the merits of the application favourably and resolve to issue a Planning Permit.

Reference No: B26135

Project No: 170626

3/07/2026

Crowther & Sadler Pty Ltd
P.O Box 722
BAIRNSDALE Vic 3875

Attn: Aaron Hollow

Email:

Dear Aaron,

**RE: Proposed 2 Lot Subdivision (Boundary Re-alignment)
2850 & 2898 Princes Highway, Kalimna West**

INTRODUCTION

Chris O'Brien & Company Pty Ltd have been engaged by Aaron Hollow of Crowther & Sadler Pty Ltd to determine whether or not a full Geotechnical risk assessment report is required for a 2 lot subdivision (boundary re-alignment) at 2850 & 2898 Princes Highway, Kalimna West Vic 3909. An erosion management overlay exists over part of the property.

The purpose of this letter is to determine if the works to be carried out on this site will be a risk to the surrounding environment and is to be used in the planning application process only. This letter is not a soil classification report and shall not be used for this purpose.

Information contained in this letter is from a visual inspection of the site and based on information supplied to Chris O'Brien & Company Pty Ltd on the work to be completed on the site.

The site was inspected by Andrew Powell on the 24th June 2026.

INSPECTION

Inspection of the property revealed a large rural allotment with a dwelling and shedding in existence on the eastern end of the property. The property has a significant area covered by trees with the formation of the land being rolling slopes with natural water courses draining towards dams with no evidence of any existing naturally occurring erosion found. Two existing accesses from the Princes Highway provide access to the property with a right turn lane already in place. One of the accesses is to the dwelling with the other access being to the western end of the property. All services in the vicinity are available to both properties from the Princes Highway. Photos taken during our site inspection are attached to this report.

RECOMMENDATIONS

It is proposed to create a 2 lot subdivision via realigning the existing title boundaries with the existing dwelling to be located on 2898 Princes Highway and the remainder of the

property to be known as 2850 Princes Highway. Works required to create the subdivision are minimal as an access to both properties currently exists. Services will need to be provided to lot 2 for if a dwelling is to be constructed. During any work on-site the following are to be strictly adhered to.

1. The provision of protection barriers such as silt fences must be placed on the downslope side of all proposed works associated with the provision of services to the new allotment with these protection barriers to remain in place until all works have been completed onsite.
2. When a dwelling is to be constructed on site the following is to be adhered to with protection barriers to be provided as specified in note 1.
3. All cut batters created must not be steeper than 1 in 2 and fill batters must not exceed 1 in 3. Where this is not achievable then retaining structures will have to be installed. All retaining structures 1m or greater in height must be designed by a suitably qualified engineer.
4. A stormwater management plan is to be completed for the proposed development showing how all stormwater created from the proposed development is conveyed to the approved legal point of discharge. A site detention system is to be designed by a suitably qualified engineer to show how flows from the site are restricted to pre-development flows.
5. Rain water tank is to be provided onsite with the roof of the dwelling and sheds to drain directly to this tank. This tank is then to be plumbed into the dwelling for use in toilets and laundry. This water tank will not form part of the detention system.
6. No excavated material is to be stockpiled onsite and must be directly loaded into trucks and taken offsite. Only topsoil which can be re-used can be stockpiled onsite.
7. Any disturb areas not being retained by structures must be rehabilitated as soon as possible to minimise silt run-off. Batters and disturbed areas are to be rehabilitated using an erosion control matting and a fast growing grass species.

CONCLUSION

Provided the above are strictly adhered to we believe that a full geotechnical risk assessment will not be required. Site inspection showed no signs of any erosion naturally occurring. The above recommendations will minimise the risk of environmental issues with the development proposal.

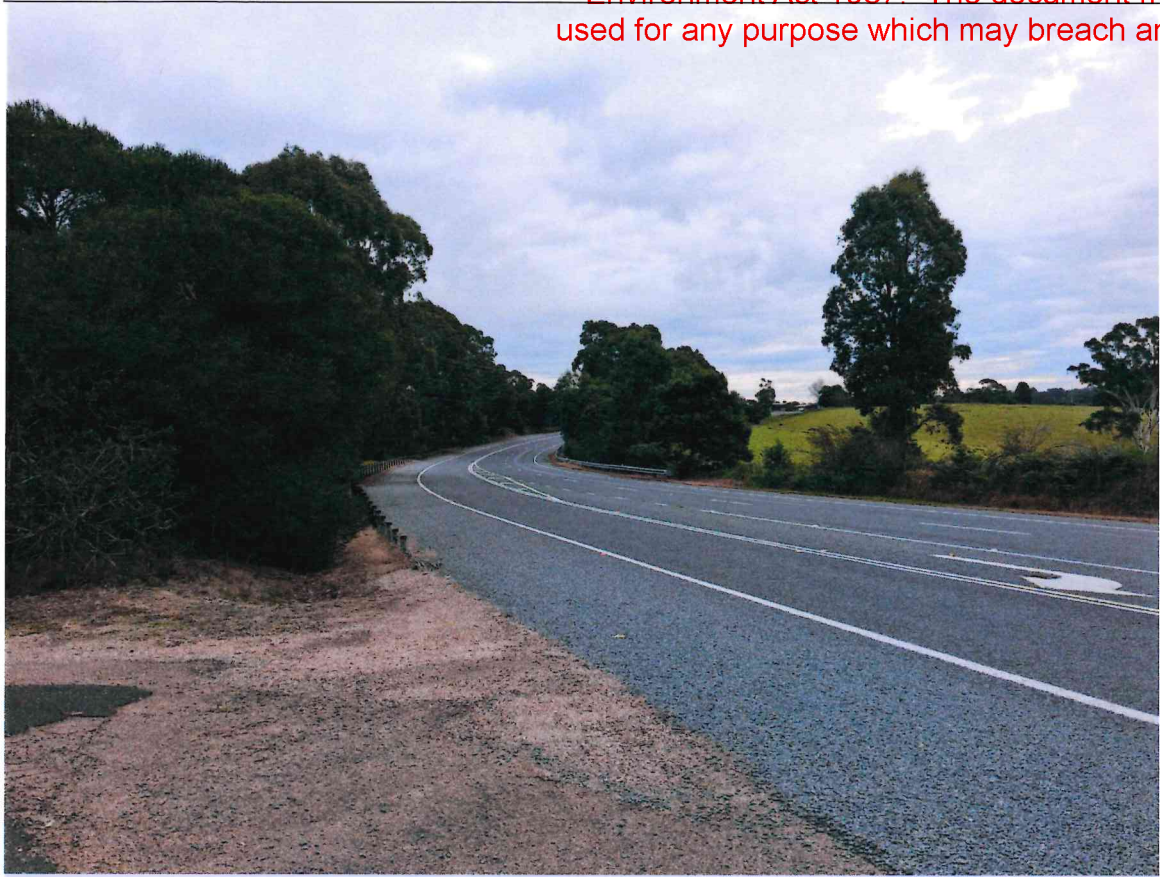
Should you need to clarify anything, please contact the Andrew Powell

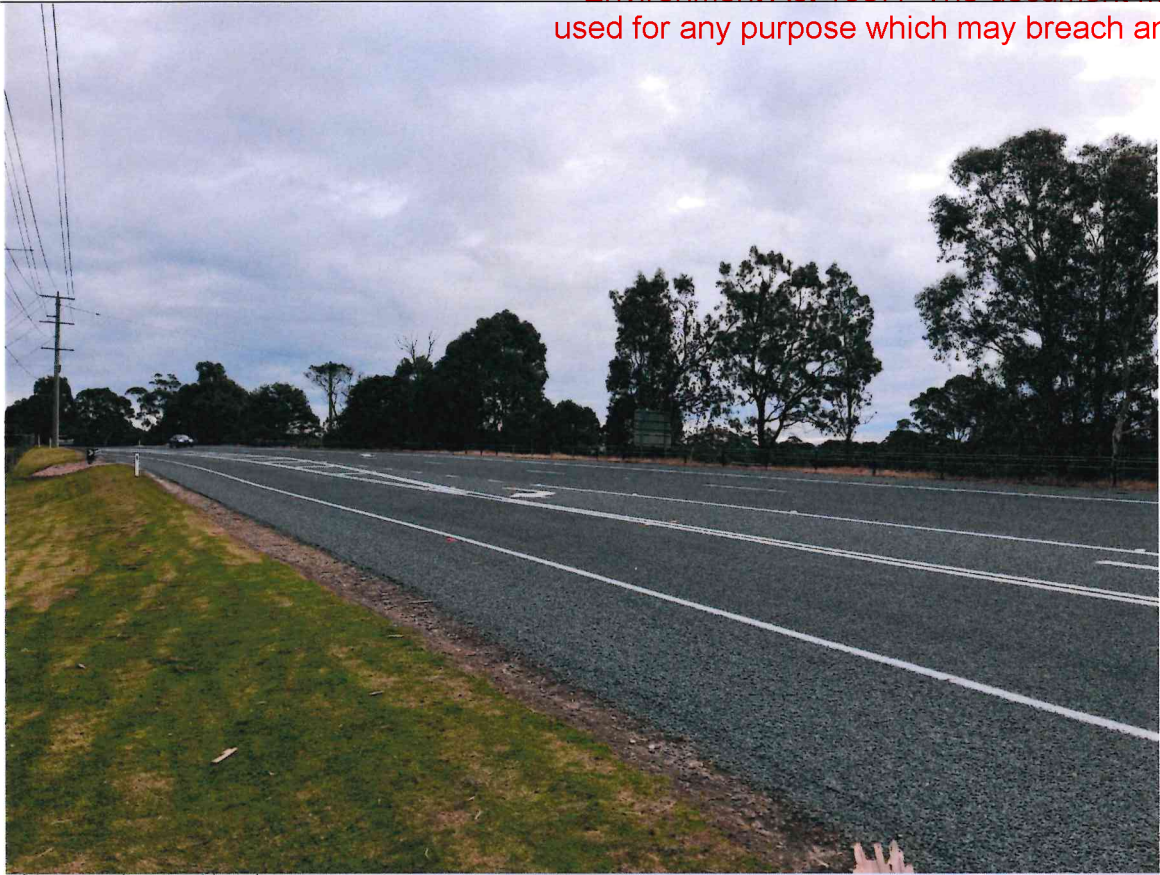
Yours faithfully,

Andrew Powell Assoc.Dip (Civil)
for CHRIS O'BRIEN & COMPANY PTY LTD

Photos of accesses to both properties.







Photos below show general site layout.







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Lot 1	North	East	South	West
Slope	Upslope	Upslope	Downslope >0°-5°	Downslope >0°-5°
Veg Type	Grassland	Grassland	Grassland	Grassland
Separation Distances*	19m	19m	22m	22m

*SEPARATION DISTANCES DERIVED FROM TABLE 1, COLUMN A.

Lot 2	North	East	South	West
Slope	Downslope >5°-10°	Downslope >0°-5°	Downslope >5°-10°	Upslope/Flat
Veg Type	Grassland	Woodland	Grassland	Grassland
Separation Distances*	25m	41m	25m	19m

*SEPARATION DISTANCES DERIVED FROM TABLE 1, COLUMN A.

PARCEL_VIEW	150m Assessment Area
Subject Land	EL_CONTOUR
Proposed Boundary	Google Satellite
Possible Building Envelope	

BUSHFIRE HAZARD SITE ASSESSMENT

PARISH OF COLQUHOUN
CROWN ALLOTMENT 98 (PART)

LOT 2 - LP147984
LOT 1 - PS321850

Crowther & Sadler Pty, Ltd.
LICENSED SURVEYORS & TOWN PLANNERS

152 MACLEOD STREET, BAIRNSDALE, VIC., 3875
P. (03) 5152 5011 E. contact@crowthersadler.com.au

2850 & 2898 PRINCES HIGHWAY, KALIMNA WEST

SCALE (SHEET SIZE A3)

1:2,500

SURVEYORS REF.

21538
VERSION 1 - DRAWN 27/05/2026



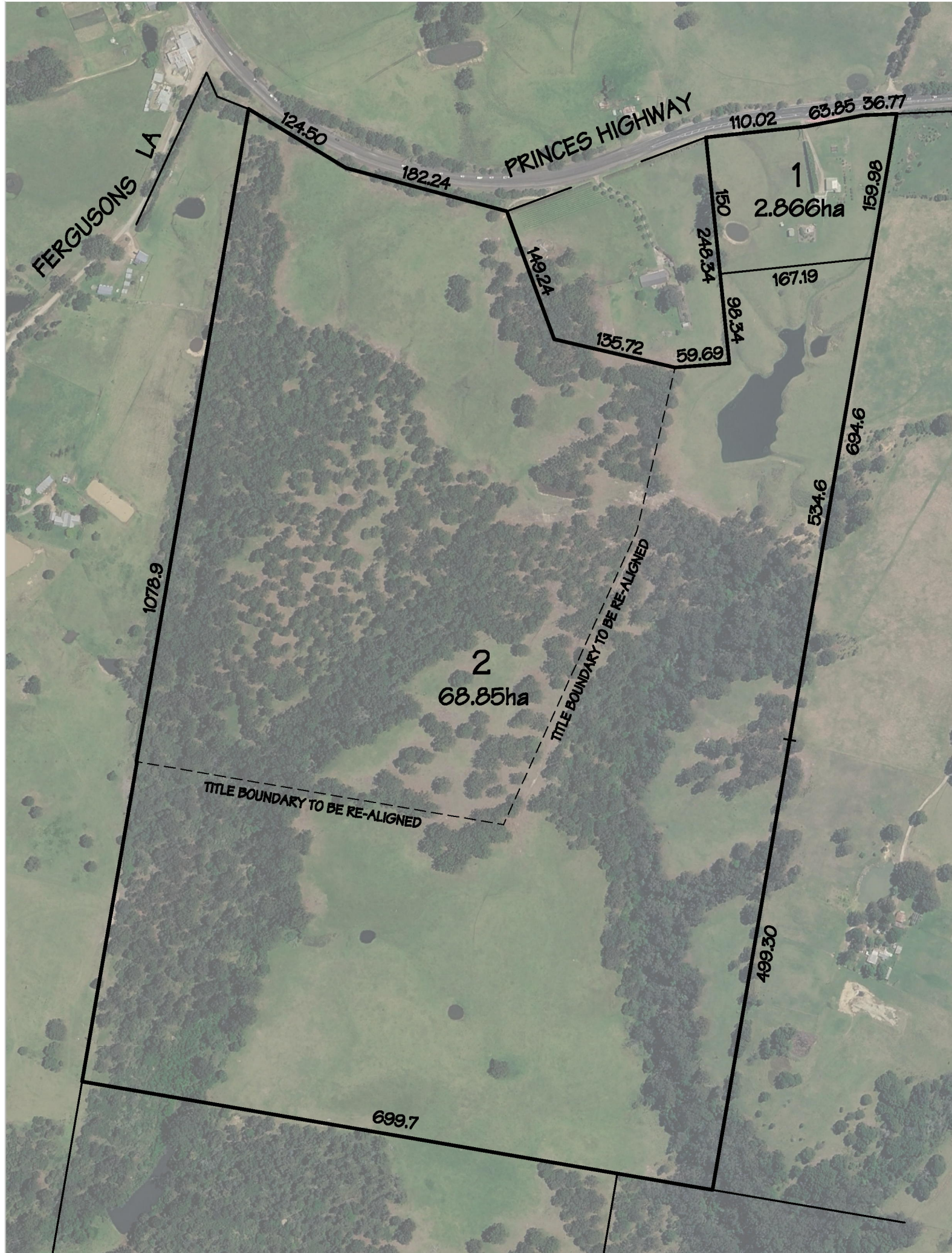
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MGA2020 ZONE 55

PROPOSED SUBDIVISION

PARISH OF COLQUHOUN
CROWN ALLOTMENT 98 (PART)

LOT 2 - LP147984
LOT 1 - PS321850



Crowther & Sadler Pty. Ltd.

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2850 & 2898 PRINCES HIGHWAY, KALIMNA WEST

SCALE (SHEET SIZE A3)

SURVEYORS REF.

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