

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	303 Stephenson Road NICHOLSON VIC 3882 Lot: 1 LP: 203944
The application is for a permit to:	Buildings and Works (Outbuilding)
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
35.03-4 (RLZ)	Construct a building within nominated setbacks
44.01-2 (EMO)	Construct a building
44.06-2 (BMO)	Construct a building
The applicant for the permit is:	Crowther & Sadler Pty Ltd
The application reference number is:	5.2026.261.1

You may look at the application and any documents that support the application free of charge at:
<https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must ♦ **be made to the Responsible Authority in writing,**
 ♦ **include the reasons for the objection, and**
 ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
---	---

If you object, the Responsible Authority will tell you its decision.

April McDonald

From: Snapforms Notifications <no-reply@snapforms.com.au>
Sent: Tuesday, 11 August 2026 3:10 PM
To: Planning Unit Administration
Subject: Planning Permit application
Attachments: Floor Plan and Elevations - Best Sheds.pdf; 21572 BMP V1.pdf; 468892 GRA (Shed).pdf; 21572 Report.pdf; COT Vol9704 Fol474.pdf; 21572 Site Plan V1.pdf; Planning_Permit_Application_2026-08-11T15-09-46_36224636_0.pdf

Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Business trading name: Crowther & Sadler Pty Ltd

Email address: contact@crowthersadler.com.au

Postal address : PO Box 722, Bairnsdale, Vic 3875

Preferred phone number: 0351525011

Owner's name:

Owner's postal address:

Street number: 303

Street name: Stephenson Road

Town: Nicholson

Post code: 3882

Lot number: 1

Plan number: LP203944A

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?: No

Will the proposal result in a breach of a registered covenant restriction or agreement?: No

Existing conditions : Existing dwelling

Description of proposal : Buildings & Works (Outbuilding)

Estimated cost of development: \$30,000

Has there been a pre-application meeting: No

Your reference number: 21572

Full copy of Title: [COT Vol9704 Fol474.pdf](#)

Plans: [21572 Site Plan V1.pdf](#)

Planning report: [21572 Report.pdf](#)

ExtraFile: 3

1. Supporting information/reports: [21572 BMP V1.pdf](#)

2. Supporting information/reports: [468892 GRA \(Shed\).pdf](#)

3. Supporting information/reports: [Floor Plan and Elevations - Best Sheds.pdf](#)

Invoice Payer: Crowther & Sadler Pty Ltd

Address for Invoice: PO Box 722, Bairnsdale Vic 3875

Invoice Email: contact@crowthersadler.com.au

Primary Phone Invoice: 0351525011

Declaration: Yes

Authority Check: Yes

Notice Contact Check: Yes

Notice check 2: Yes

Privacy Statement Acknowledge: Yes

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 3

VOLUME 09704 FOLIO 474

Security no : 124137481596L
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LAND DESCRIPTION

Lot 1 on Plan of Subdivision 203944A.
PARENT TITLE Volume 09547 Folio 088

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP203944A FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: "HZYLESIDE" 303 STEPHENSON ROAD NICHOLSON VIC 3882

ADMINISTRATIVE NOTICES

NIL

eCT Control
Effective from

DOCUMENT END

Our ref: 21572

11 August 2026

Mr. Andrew Bates
Statutory Planning Coordinator
East Gippsland Shire Council
Via: Portal

Dear Andrew,

**Re: Planning Application – Buildings and Works (Outbuilding)
303 Stephenson Road, Nicholson**

Introduction

This Planning Report is prepared in support of proposed buildings and works (outbuilding) at 303 Stephenson Road, Nicholson. The Report addresses the provisions of the Rural Living Zone 2, Erosion Management Overlay, Bushfire Management Overlay and Clause 53.02 Bushfire Planning as contained within the East Gippsland Planning Scheme.



Aerial image of the subject land and surrounds (Source: Google Earth)



FS 520900



Subject Land & Surrounding Context

Formally known as Lot 1 on LP203944 or otherwise known as 303 Stephenson Road, Nicholson, the subject land is located on the western side of Stephenson Road within the north eastern rural living corridor of Nicholson.

The subject land is an irregular shaped property of 4 hectares and is developed with a dwelling and associated outbuildings in the southern part of the site which obtain vehicle access from Stephenson Road.



Subject land looking north-west from the southern area of the site

Within the southern area of the property a waterway dissects the subject land. Land management grazing occurs on the property and scattered native vegetation and planted vegetation is contained on the site.



Image of the waterway looking north from the domestic area of the property

Properties within the area are generally developed with dwellings and associated outbuildings consistent with the zoning of the land. The neighbouring southern and western properties are developed with dwellings which are setback over 100 metres from the subject land.

The Application & Proposal

It is proposed to construct an outbuilding within the southern part of the subject land.

The proposed outbuilding will be setback 57 metres from the western boundary, 1.65 metres from the southern boundary and 12.5 metres from the existing dwelling on the property.



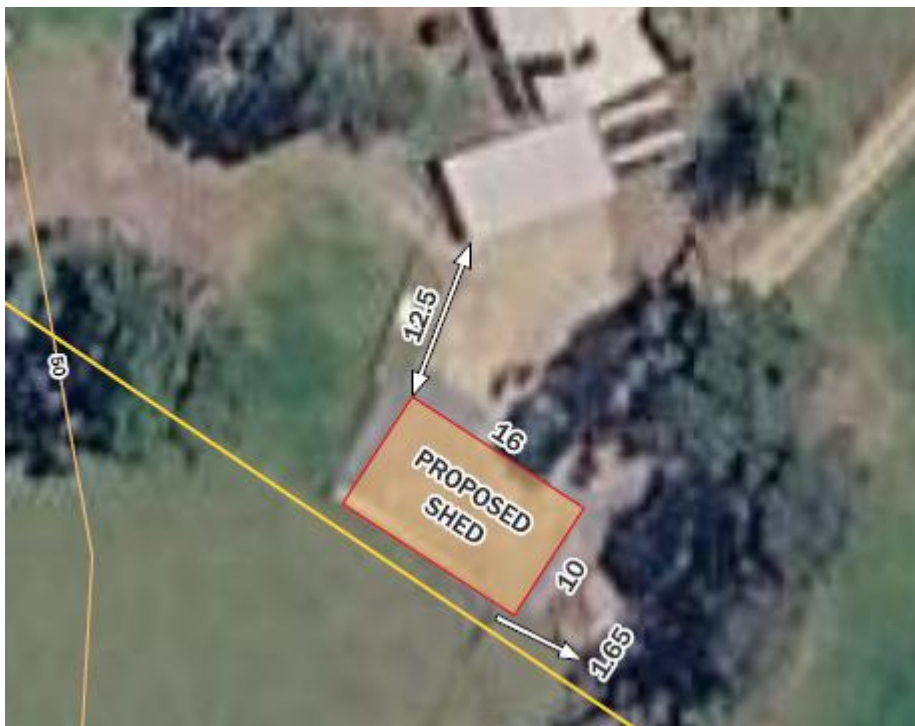
Image of the outbuilding location looking south



Image of the outbuilding location looking north-west to the dwelling



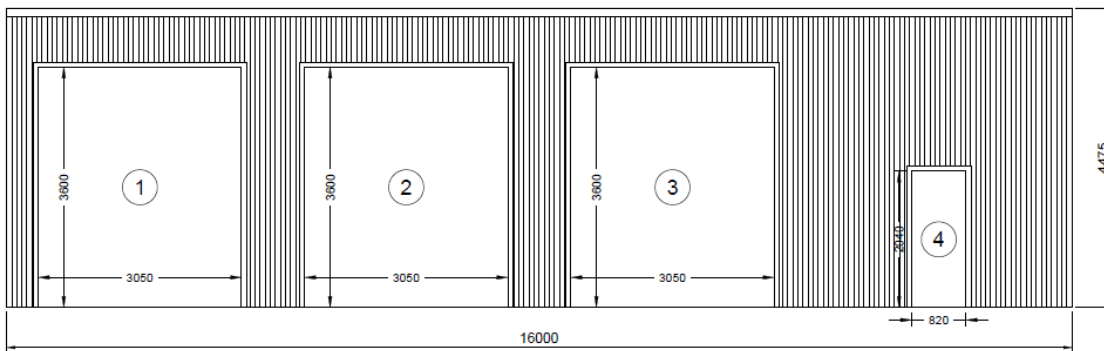
Proposed site plan



Enlargement of the proposed site plan

The proposed outbuilding will be 16 metres in width and 10 metres in length with an overall area of 160 square metres. The building will have an angled design with the northern part of the building being 4.475 metres sloping to the south of the building which will have a height of 3.6 metres.

Within the northern elevation of the building, it will be developed with three garage doors 3.6 metres high and 3.05 metres wide and a personal access door. It is proposed to construct the outbuilding from metal corrugated cladding coloured off white with flashings coloured slate grey.



Proposed northern elevation (Source: Best Sheds)

Planning approval is required pursuant to the following Clauses of the East Gippsland Planning Scheme:

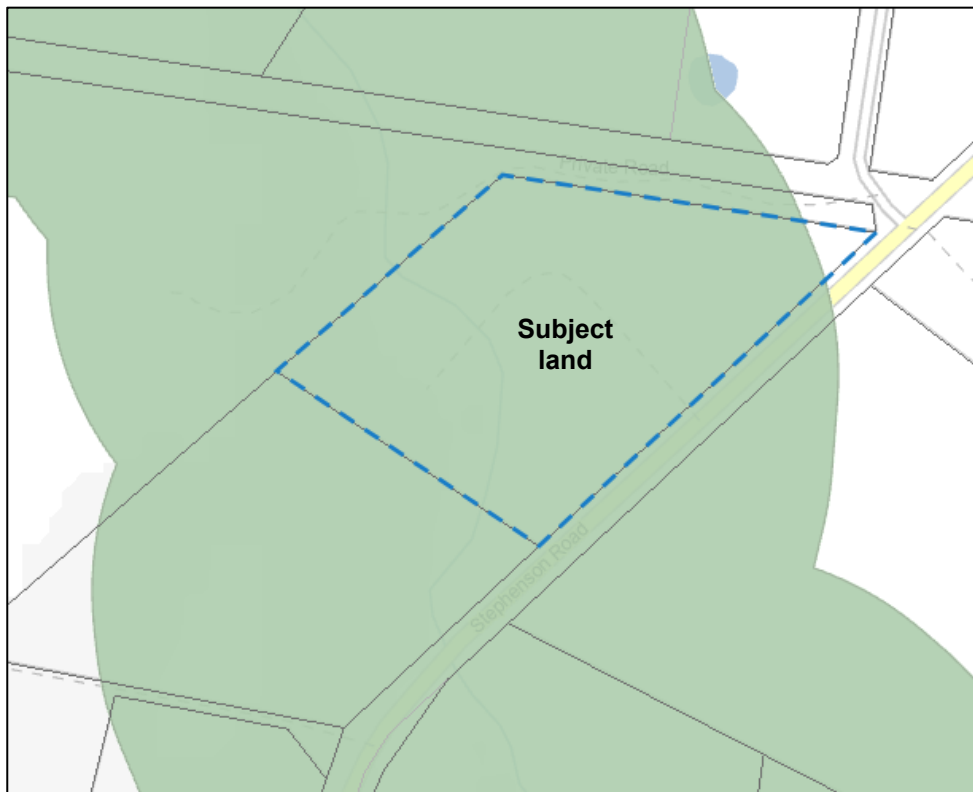
Planning Scheme Clause	Matter for which a Permit is required
35.03-4 Rural Living Zone 2	Buildings and works
44.01-2 Erosion Management Overlay	Buildings and works
44.06-2 Bushfire Management Overlay	Buildings and works

The application is not required to be referred in accordance with Section 55 of the *Planning and Environment Act 1987*. Consistent with Clause 66.03 this non-habitable outbuilding ancillary to a dwelling will meet the requirements of Table 5 to Clause 53.02-5.

Cultural Heritage

Pursuant to Regulation 7 of the *Aboriginal Heritage Regulations 2018*, a CHMP is required for an activity if:

- (a) *all or part of the activity area for the activity is in an area of cultural heritage sensitivity; and*
- (b) *all or part of the activity is a high impact activity*



Extract from Cultural Heritage Sensitivity mapping, with sensitive areas shown in dark green (Source: VicPlan)

Although the majority of the land is within an area of cultural heritage sensitivity, the construction of a building ancillary to a dwelling is an exempt activity and as such, a CHMP is not required for the proposed development.

Planning Policy Framework

As part of the subject land is contained within the Bushfire Management Overlay Clause 13.02-1S Bushfire Planning is relevant to the application. The proposed outbuilding will mitigate the bushfire risk to the structure as it is well separated from areas of bushfire risk, it will be located over 10 metres from the existing dwelling, the outbuilding will be constructed from fire resistant materials and defensible space can readily be provided.

Consistent with Clauses 13.04-2S and 13.04-2L Erosion the subject land and proposed buildings and works have been inspected by a suitably qualified practitioner that advises the proposed development will not create erosion processes or be a landslide risk.

Municipal Planning Strategy

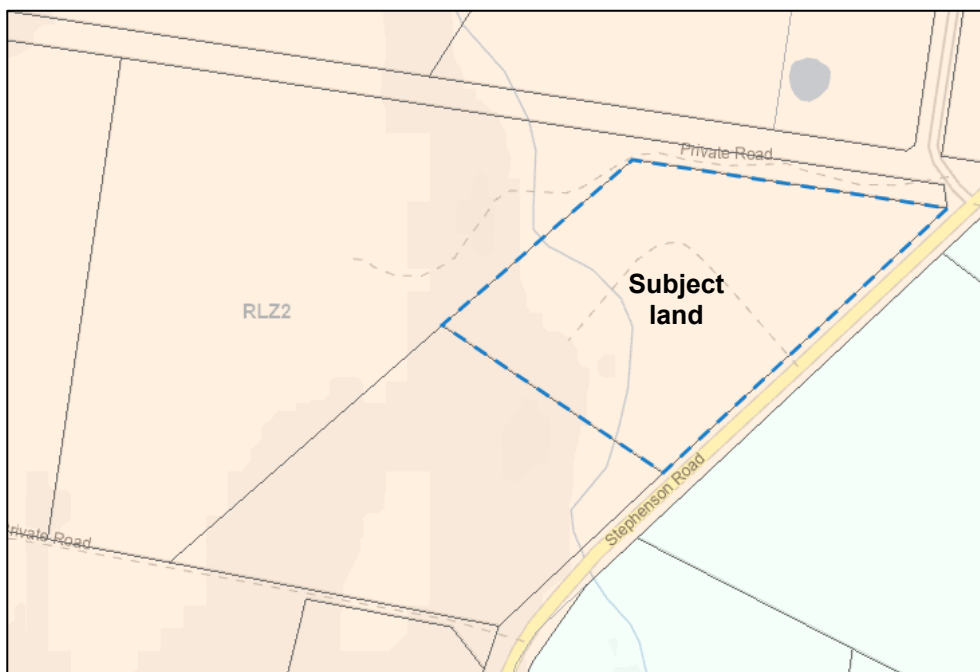
As sought within Clause 02.03-2 Environmental and landscape values – biodiversity and habitat conservation the proposal will not require the removal of native vegetation to create defensible space and the non-habitable building will not create additional nutrient loads that could impact the waterway on the land.

Consistent with Clause 02.03-3 Environmental risks and amenity the proposed outbuilding will be resilient to bushfire risk as it is well separated from bushfire hazards and will not pose a risk to the dwelling from a bushfire event being setback 12.5 metres from the dwelling. The proposal will not create an erosion risk or processes and does not represent a landslip hazard as identified within the geotechnical assessment.

Clause 02.03-6 Housing – rural residential development supports the proposal as the property is within a Rural Living Zone area where dwellings and associated outbuildings are an expected planning outcome.

Rural Living Zone 2

The subject land is contained within the Rural Living Zone under the East Gippsland Planning Scheme.



Planning scheme zone mapping (Source: VicPlan)

As the outbuilding is setback less than 10 metres from the southern boundary and less than 100 metres from the waterway a permit is required for buildings and works within Clause 35.03-4.

Decision Guidelines

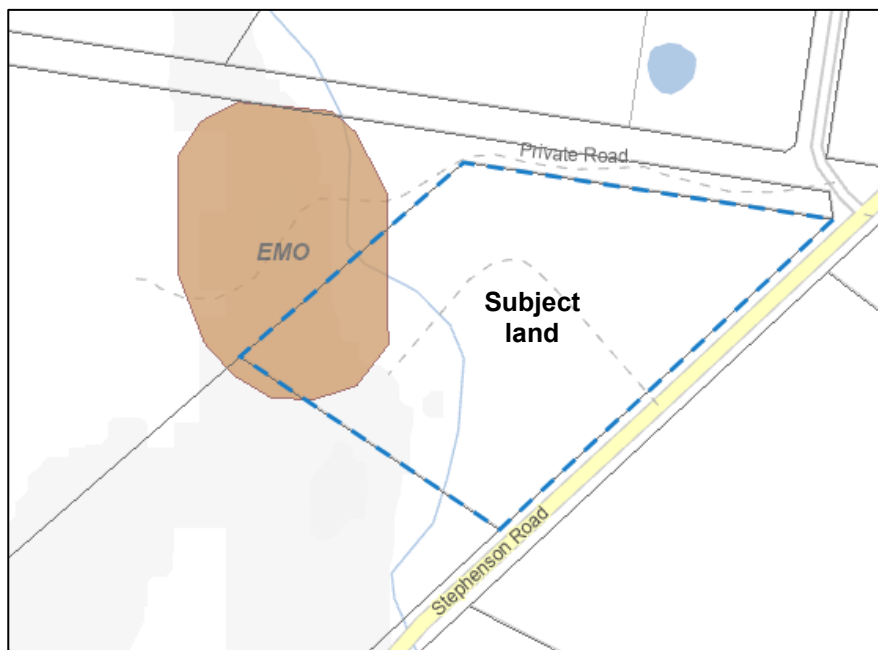
A review of the decision guidelines has been undertaken, and the following commentary is provided:

- Support for the proposed development is found within the Municipal Planning Strategy and Planning Policy Framework as the outbuilding is ancillary to the dwelling which is an expected planning outcome for a rural residential property.

- No native vegetation will require removal to facilitate the building, and the outbuilding will not create additional nutrient loads than currently exists positively addressing the themes contained within the East Gippsland Regional Catchment Strategy.
- The site is suitable for the development given the residential occupation of the land and the building will be well setback from adjoining dwellings.
- Land management grazing occurs on the property with livestock excluded from the domestic area of the property resulting in the development having a negligible impact on the minor agricultural use of the land.
- Development of an outbuilding on the property is a benign development that would not prevent the future expansion of close by land uses.
- Biodiversity of the area will be maintained with no need to remove native vegetation.
- The building is sited away from the existing onsite effluent area avoiding detrimental impacts to the existing system.
- The proposed siting of the outbuilding will be screened from views along Stephenson Road by roadside vegetation.
- Large outbuildings within the area are common place and the design of the building is similar to other outbuildings in rural living environments maintaining the character of the area.
- No additional traffic management issues will arise as a result of the outbuilding development.

Erosion Management Overlay

The area where the proposed outbuilding is to be constructed is subject to the Erosion Management Overlay.



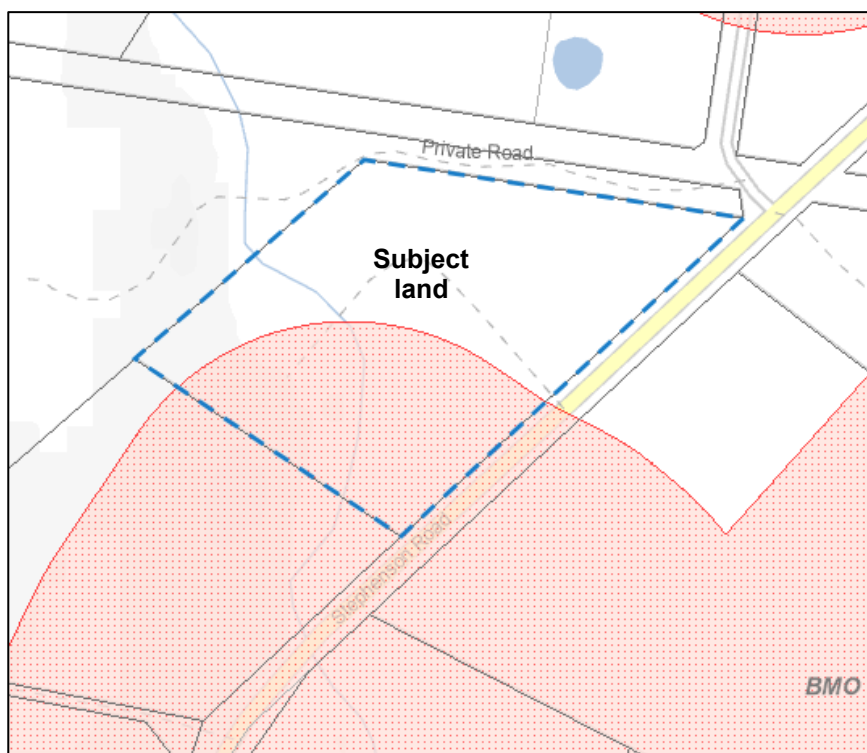
Planning scheme overlay mapping (Source: VicPlan)

Schedule 1 to the Overlay is Areas Susceptible to Landslip which seeks to ensure risk from landslip and erosion hazards achieve a tolerable risk level that is suitable for new development.

The application is accompanied by a geotechnical assessment from a qualified practitioner, which advises that the proposed development does not represent a geotechnical or landslip risk. It is considered that the proposed outbuilding responds to the overlay provisions appropriately.

Bushfire Management Overlay

Parts of the property are contained within the Bushfire Management Overlay.



Planning scheme overlay mapping (Source: VicPlan)

As the application is a non-habitable outbuilding ancillary to a dwelling in accordance with Clause 44.06-3 the application is not required to be accompanied by a Bushfire Hazard Site Assessment, Bushfire Hazard Landscape Assessment and Bushfire Management Statement.

Pursuant to Clause 44.06-3 Application requirements a Bushfire Management Plan has been prepared and accompanies the application.

Clause 44.06-4 advises an application must meet the requirements of clause 53.02.

Clause 53.02 Bushfire Planning

Clause 53.02-1 applies to an application under Clause 44.06 (Bushfire Management Overlay). In accordance with the Table of Clause 53.02-1 an application under Clause 44.06 to construct a non-habitable outbuilding ancillary to a dwelling that meets all of the requirements specified in Table 5 is considered against the provisions of Clause 53.02-5 – Table 5.

The proposed outbuilding meets the requirements of Table 5 within Clause 53.02-5:

- The outbuilding is to be non-habitable and an ancillary building to an existing dwelling. The purpose of the outbuilding is the parking of vehicles and storage of landowner items.
- Defendable space will be provided in accordance with Table 4 to Clause 53.02-5 and will be provided to the title boundary to the south of the outbuilding and 10 metres to the north, east and west aspects of the building.
- The outbuilding is not located within 10 metres of a dwelling, being setback from the house by 12.5 metres.

Decision Guidelines

A review of the proposal against the relevant decision guidelines has been undertaken, and the following commentary is offered:

Decision Guidelines	Response
The Municipal Planning Strategy and the Planning Policy Framework.	The proposed outbuilding is well separated from the landscape bushfire risk within the area, defendable space can be provided, and the outbuilding will be developed from fire resistant materials as sought within bushfire planning policy within the Municipal Planning Strategy and Planning Policy Framework.
The bushfire hazard landscape assessment, the bushfire hazard site assessment, bushfire management statement and bushfire management plan submitted with the application.	The accompanying bushfire management plan demonstrates that the proposal will address the requirements of Table 5 within Clause 53.02-5.
The impact of any State, regional or local bushfire management and prevention actions occurring around the site and in the wider area on the bushfire hazard and level of risk to the proposed development.	Leading up to and during the fire danger period Council undertakes property inspections to ensure property maintenance is appropriate.

Whether the risk arising from the broader landscape can be mitigated to an acceptable level.	The bushfire risk to the building can be mitigated through the implementation of defensible space.
Whether there is reliable access to areas of land where human life can be better protected from the effects of bushfire.	The subject land is located a short distance from the Nicholson township that provides for a lower bushfire risk environment.
The risk to property and community infrastructure from bushfire.	Risk to the proposed outbuilding is mitigated to an acceptable level through the provision of defensible space and appropriate materials.
Whether the proposed development meets the objectives of clause 53.02-4 regardless of other measures which may be available, including private bushfire shelters, community shelters and the presence of places of last resort.	Objectives of Clause 53.02-4 are met by the proposal as separation from the bushfire risk is achieved, defensible space will be provided and fire resistant materials will be used for the outbuilding's construction.
Whether the proposed measures can be practically implemented and maintained in conjunction with the ongoing use of the land.	Defensible space around the proposed outbuilding can be easily implemented and maintained given the outbuilding is within the domestic area of the property.
Whether the use of an alternative measure meets the relevant objective having regard to the bushfire hazard and the nature of any constraint that prevents the applicable approved measure from being implemented.	An alternative measure will not be implemented.
If one or more objectives in clause 53.02-4 will not be achieved in the completed development, whether the development will, taking all relevant factors into account, reduce the bushfire risk to a level that warrants it proceeding.	The objectives in Clause 53.02-4 will be achieved by the proposed development as the building will be sited to minimise the bushfire risk.
Whether the bushfire protection measures can be implemented without unacceptable biodiversity impacts.	Bushfire protection measures can be met without impacting native vegetation.
Whether the water supply and access arrangements are appropriate for the bushfire risk.	Existing access and water supply are sufficient for the bushfire risk associated with the outbuilding.

East Gippsland Shire Council

Conclusion

The proposed buildings and works (outbuilding) at 303 Stephenson Road, Nicholson is considered to accord with all relevant provisions of the Rural Living Zone 2, Erosion Management Overlay, Bushfire Management Overlay and Clause 53.02 Bushfire Planning of the East Gippsland Planning Scheme. The proposal is consistent with the Planning Policy Framework and Municipal Planning Strategy and provides for an appropriate planning outcome.

For these reasons we respectfully request that Council consider the merits of the application favourably and resolve to issue a Planning Permit.

Regards,

RICHARD HOXLEY
Principal Planner

*Encl. Application Form
Site Plan
Floor and Elevation Plans (Best Sheds)
Bushfire Management Plan
Geotechnical Assessment (Simon Anderson Consultants)
Copy of Title
Application Fee \$714.40 – Class 3.*

 Simon Anderson Consultants CIVIL STRUCTURAL PROJECT ENGINEERS P.O. Box 1700 111 Main St Baimsdale, Vic, 3875 ACN 073 392 266 P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065	Job: Proposed Shed 303 Stephenson Rd Nicholson	Date: 31 July 2026 Designed: SJA
	Client:	Job No.: 468892
	Checked:	Page No.: 1 of 5

GEOTECHNICAL RISK ASSESSMENT



303 Stephenson Rd, Nicholson

INTRODUCTION

This report is designed to demonstrate the level of geotechnical risk involved in relation to the Proposed Shed at 303 Stephenson Rd, Nicholson, during and after construction of associated works.

Note that in accordance with “Guidelines for Landslip Susceptibility” section 5: Landslide Zoning; the subject site would not be considered in a landslide hazard zone.

SITE DESCRIPTION

This Rural Living Zoned allotment (4.0 ha) situated on the north side of Stephenson Road has an existing single storey dwelling, detached carport and large shed. The proposed shed site is south of the existing dwelling and has been cut/filled, level benched with concrete panel retaining walls to the cut sides (west & south). A concrete slab on ground has been recently poured with bluestone gravel apron and surrounds, with grated pit drainage.

The subject site, located on a low rolling hill landform, displays moderate falls throughout the property. Access to the proposed shed site is via an existing gravel driveway off Stephenson Road, across Harding Creek and directly up to the proposed shed site. The adjoining rural properties surrounding the subject site have excellent pasture coverage, good surface drainage and show no signs of soil erosion or landslip.

PROJECT DETAILS

A shed (10m x 16m) is proposed for the site. The construction details will be as follows;

- The Proposed Shed will be metal clad with slab on ground construction (existing). The shed will be located within the existing level benched area of the site, resulting in no further disturbance to the sites topsoils.
- The construction of the shed will result in the diversion of a small amount of rainfall from the site. Roof catchment water will be collected by a system of gutters/downpipes and directed to on-site rainwater storage tanks or to LPOD.
- A stabilised vehicle access point is to be provided during and after construction (i.e. existing gravel driveway).
- All fill batters (no steeper than 1 in 2) have been re-sod and sown with local grasses.

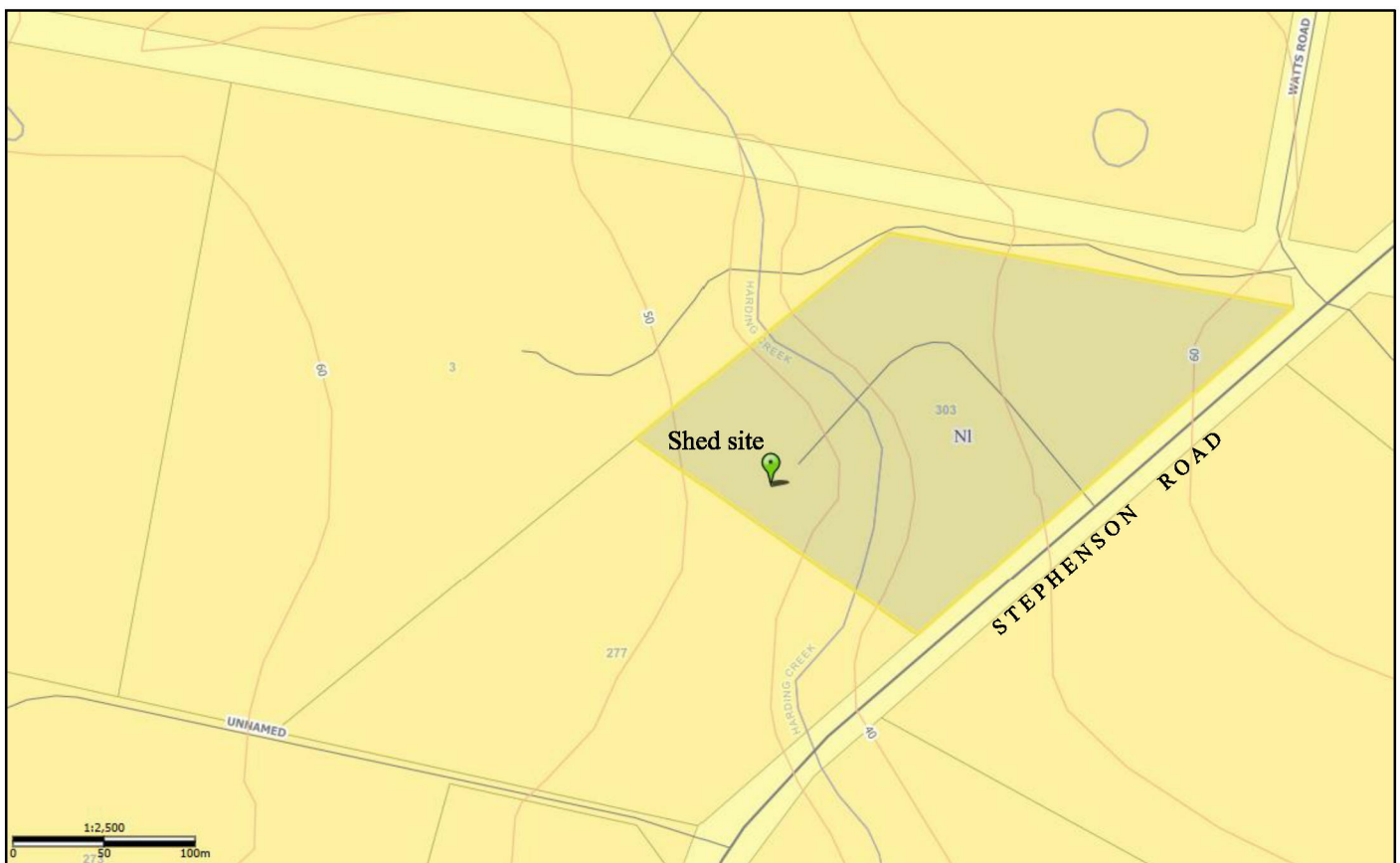
 Simon Anderson Consultants CIVIL STRUCTURAL PROJECT ENGINEERS P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266 P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065	Job: Proposed Shed 303 Stephenson Rd Nicholson	Date: 31 July 2026 Designed: SJA
	Client:	Job No.: 468892
	Checked:	Page No.: 2 of 5

METHODOLOGY

1.DESKTOP INVESTIGATION

A desktop investigation of the subject site was carried out using DSE and GeoVIC mapping of published soil survey information and noted watercourse locations.

Soils of the site have been mapped and described in Sustainable Soil Management “A reference manual to the major agricultural soils of the Bairnsdale and Dargo regions” and are described as belonging to the Stockdale (Sd) map unit with Munro (Mu). This unit occurs on rolling low hills and is comprised of Tertiary sediments and sands. Most of the land has been cleared of native vegetation and used for grazing. The surface soils are mostly fine textured soils, with a sandy loam to fine sandy loam sharply separated from a medium clay subsoil occurring at around 20-40cm, although some subsoils are clayey sands and sandy clays. Some of the sandier surface soils have developed a “coffee rock” layer at the base of the A2 horizon.



Disclaimer: This map is a snapshot generated from Victorian Government data. This material may be of assistance to you but the State of Victoria does not guarantee that the publication is without flaw of any kind

REF: VANDENBERG, A.H.M., 1997. BAIRNSDALE SJ 55-7 Edition 2, 1:250 000 Geological Map (Series 1:250,000 geological maps. Geological Survey of Victoria.)

Geological Unit	Geological Description	Mapping Unit
N1 (Tm-p)	Tertiary Marine deposits consisting of Marine, non-marine: gravel, sand.	Stockdale with Munro (Sd/Mu)

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	Client: I	Job No.: 468892
Checked:		Page No.: 3 of 5

BORE LOG B1	00	Grey/Brown Moist Sandy Loam	TOPSOIL	
	100			
	200	Lt Brown Dry Dense Fine Silty	SAND	
	300			
	400			
	500	Yellow/Brown Dry Stiff	CLAY	
	600	with veins of Sand throughout		
	700			
	800			
	900			
	1000	<i>Note: Bore taken within close proximity to slab</i>		
	1100			
1200				

Soil Profile Morphology – Stockdale (Sd) Map unit

Surface soil

A1 0 – 300 Dark greyish brown (10YR4/2); *sandy loam*; weak medium (10 – 20 mm) polyhedral structure; firm moist; clear wavy change to:

A2 300 – 500 Pale brown (10YR6/3) conspicuously bleached (10YR/8/1d); *sandy loam or loamy sand*; apedal, single grain; firm consistence dry; sharp change to:

Subsoil

B21 500 – 800 Yellowish brown (10YR5/6); *heavy clay*; moderate coarse (20 – 50 mm) polyhedral structure; strong consistence, moist; diffuse change to:

B22 800 – 1m Yellowish brown (10YR5/6) with greyish brown (10YR5/2) and increasing yellowish red (5YR5/6) mottles; *heavy clay*; moderate coarse (20 – 50 mm) lenticular structure; strong consistence moist.

Key profile features

- Strong texture contrast between the surface (A) horizons and subsoil (B) horizons.
- Conspicuously bleached subsurface (A2) horizon.

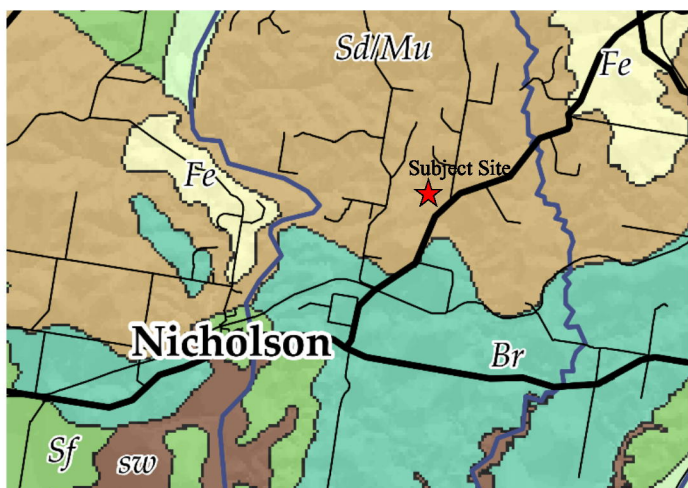


Figure 1 - Lakes to Bruthen soils map sheet

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	Checked:	Page No.: 4 of 5



SITE PLAN
Not to Scale

★ Denotes approx.. test bore location



Figure 3 - Existing Concrete Retaining Wall

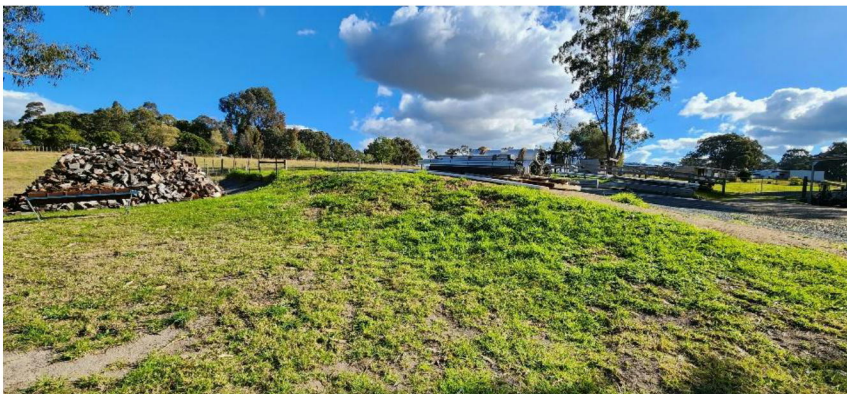


Figure 4 - Existing Fill Batter to shed site (well grassed)

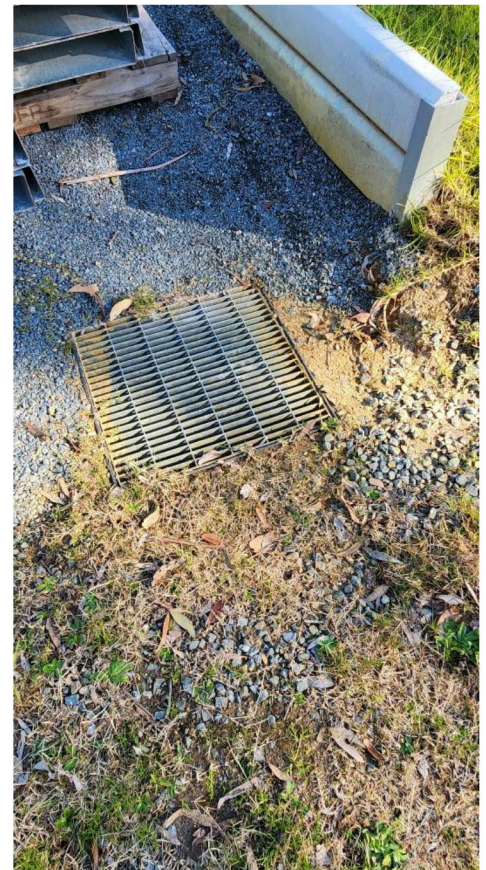


Figure 2 - Grated Pit Drainage

468892 GRA (Shed)

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	Checked:	Page No.: 5 of 5

SUMMARY OF RISK

LANDSLIDE	LOW
SHEET/RILL EROSION	LOW
TUNNEL EROSION	LOW

- Moderate grades over the subject site, approximately 1 in 10 to 1 in 12.
- Excellent grass coverage over the majority of the site, preventing topsoils from being washed away (even in the heaviest torrential downpours).
- The existing fill batters are well grassed and show no signs of soil erosion.
- There is no evidence of soil erosion or landslip on the subject site or adjoining rural properties and I would consider the geotechnical risks to be low.
- Natural soils of the site (dense silty sands overlying stiff sandy clays) will have adequate strength and stability for residential slabs and footings.
- Existing retaining walls show no visual signs of failure.
- Shed construction is to take place on the existing concrete slab-on-ground, resulting in no further disturbance to the sites topsoils
- The proposed shed poses no additional risk to the existing site. Construction works associated with the shed will be protected by Building Code of Australia, Australian Standards, Building and Planning Permit requirements and normal construction practice.

Based on findings from both the Desktop and Site investigations the site is suitable for development as proposed and further intensive investigation would not be necessary to confirm the above findings.

VERIFICATION

I, the author of this document, declare that I am suitably qualified and experienced to carry out this site assessment.



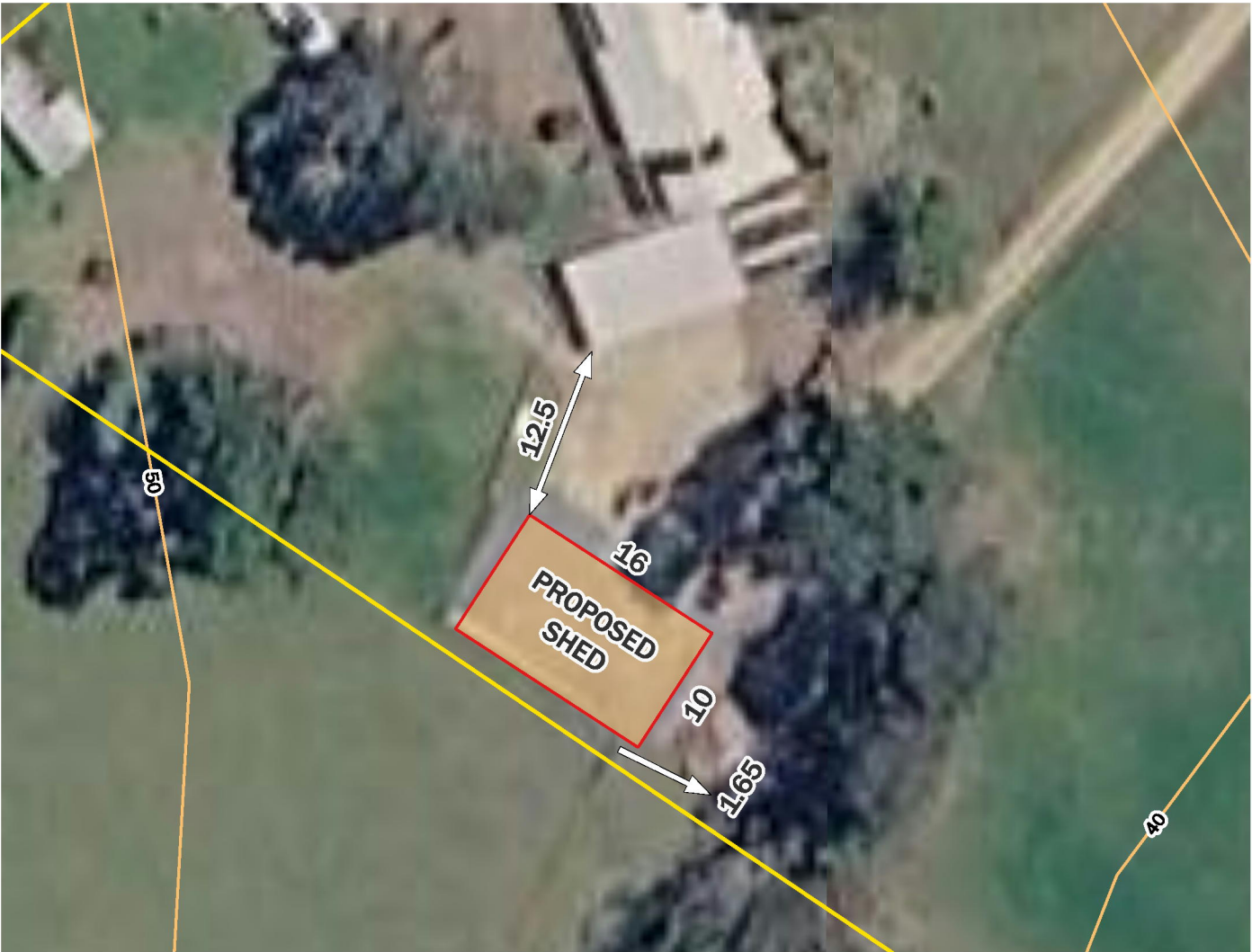
Simon Anderson BE (Civil)CPEng MIEAust No 930355
BCC Registration No EC-1711
Date 31 July 2026

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- PARCEL_VIEW
- Subject Land
- Proposed Shed
- EL_CONTOUR
- HY_WATERCOURSE

Google Satellite



SCALE OF ENLARGEMENT 1:500

		NOTATIONS		SITE PLAN			
303 STEPHENSON ROAD, NICHOLSON				PARISH OF BUMBERRAH CROWN ALLOTMENT 15 (PART) LOT 1 - LP203944			
Crowther & Sadler Pty, Ltd. LICENSED SURVEYORS & TOWN PLANNERS 152 MACLEOD STREET, BAIRNSDALE, VIC., 3875 P. (03) 5152 5011 E. contact@crowthersadler.com.au		SCALE (SHEET SIZE A3)				SURVEYORS REF.	
		1:2,000				21572 VERSION 1 - DRAWN 30/06/2026	
				Printed 21/08/2026			

Crowther & Sadler

Pty Ltd.

LICENSED SURVEYORS & TOWN PLANNERS

152 MACLEOD STREET, BAIRNSDALE, VIC., 3875
P. (03) 5152 5011 E. contact@crowthersadler.com.au

ENGINEERING SCHEDULE

CERTIFIED STEEL PORTAL FRAME SHED DESIGN IN ACCORDANCE WITH NCC 2022 FOR SITE WIND SPEED "43.95m/s", WIND REGION "A5", TERRAIN CATEGORY "2.5", IMPORTANCE LEVEL "2"

Internal Pressure: 0.5
Design Snow Load: 0.00 KPa, Roof Snow Load: 0.00 KPa

Customer: Lachlan Nichols
Site Address: 303 Stephenson Rd, Nicholson VIC 3882

Main Building: Span: 10, Length: 16, Height: 3.6, Roof Pitch: 5 degree skillion roof
The length being comprised of 4 bays, the largest bay is 4m bays.
Left LeanTo: NA
Right LeanTo: NA

Total Kit Weight: 4932.51kg

INTERNAL PORTALS	END PORTALS
Column: C40030 Rafter: C40030 Knee Brace: C25024 Knee Brace Length: 1800 Apex Brace: NA Apex Brace Length: NA	Column: C40030 Rafter: C40030 Knee Brace: NA Knee Brace Length: NA Apex Brace: NA Apex Brace Length: NA Endwall Mullion: C40030
LEFT LEAN TO PORTALS	RIGHT LEAN TO PORTALS
Internal Column: NA Internal Rafter: NA End Column: NA End Rafter: NA Knee Brace: NA Knee Brace Length: NA	Internal Column: NA Internal Rafter: NA End Column: NA End Rafter: NA Knee Brace: NA Knee Brace Length: NA

NOTE: All unclad intermediate columns are always back to back (refer to drawing: Floor Plan).

PURLINS AND GIRTS		
Eave Purlin: TH120100 Side Wall Girts: TH120100 Front End Wall Girts: TH120100 Back End Wall Girts: TH120100 Roof Purlins: TH120100	Max Spacing: 1400 Max Spacing: 1400 Max Spacing: 1400 Max Spacing: 1200	Overlap: 10% Overlap: 10% Overlap: 10% Overlap: 10%

NOTE: Girt spacing will vary to a maximum 1.4m where window/s are located.

FASTENERS
Sleeve Anchor Bolts: M16x105 Sleeve Anchor Frame Bolts: M16x45 Purlin Assembly Zinc (Mild) Frame Screws: Frame Screw 14x14x22 Cross Bracing Strap: 32mm x 1.2 strap Open Bay Header Height: NA

COLOUR SCHEDULE
Roof Sheets: Off White External Wall Sheets: Off White Roller Doors: Off White Flashings: Slate Grey PA Doors: Off White Windows: NA

DOMESTIC & LIGHT INDUSTRIAL STEEL PORTAL FRAME SHED STRUCTURES
This structure is designed in compliance with AS4600, AS3600 and AS1170 1 to 4 as Importance Level 2 with a Live Load of 0.25kPa as "Air Leaky Structures" providing stability when openings are prevalent.

The structures are clad with corrugated pre-painted finish, 0.42mm walls and 0.42mm roof (compliant with AS1562.1 Metal) over cold formed 450 to 550mPa galvanized steel C sections primary frames.

Primary framing is fastened together with 4.6 Class galvanized bolts adequately tensioned on ground prior to erection.

Secondary framing steel bracing, with purlins and girts lapped, are all tek fastened to primary steel with a minimum of two (2) teks per connection as specified in details.

All rainwater products are compliant with AS2179.1 (Metal).

ENGINEERING

The undersigning engineer has checked that the design of the structure complies with relevant current Australian Standards as stated above and the following i.e AS4671- 2001 Steel Reinforcing materials, AS3600 - Concrete structures. However, he will not be present during construction, neither will he conduct inspections nor construction supervision.

The class 10a buildings are designed for erection on pad footings or slab based on soil of classification "A"- "P" with minimum bearing capacity 100kPa (i.e. organic soil is to be removed to a suitable material below natural surface).

Where (suitable) fill is required to level the site, it should be placed and compacted in layers of 150mm maximum.

Concrete pad footings and slab supply and placement is to be in compliance with AS2870-2011 Residential Slabs & Footings, AS3600-2009 Concrete Structures for A2 and B2 exposure (i.e. 25mPa strength @ 28 days strength) with recommended slump 75 to 80mm for light pneumatic tyred traffic all trafficable floors.

25mm deep concrete saw cut, to be made into the surface of the concrete slab every 6m in width or length as crack control joints.

For sites where these conditions are considered to be inadequate, a customized foundation design for the structure can be supplied to suit a specific purpose.

CONSTRUCTION

Erection of the structure is to be in compliance with local and state ordinances,

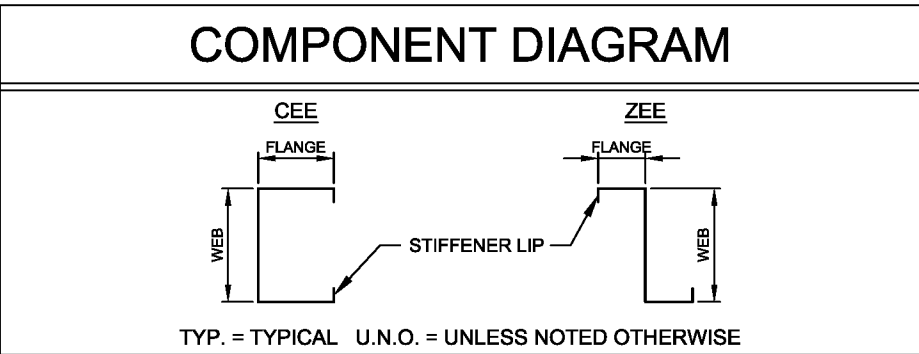
Occupational Health and Safety Regulations and with plans provided.

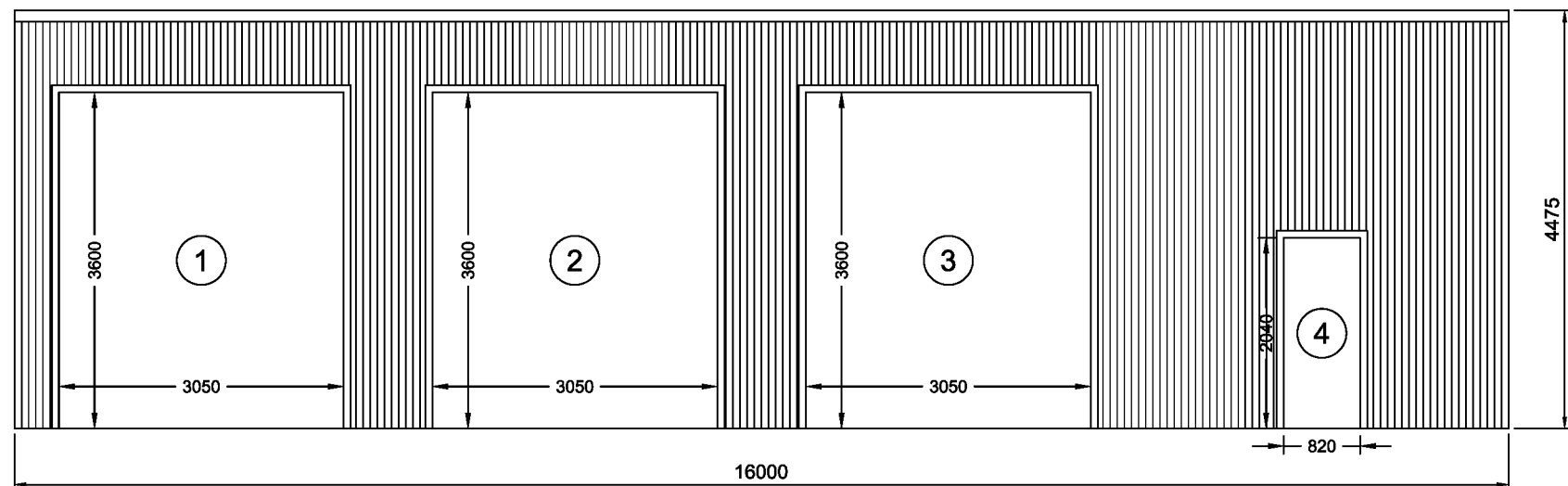
GENERAL

The designs as portrayed on the drawings remain the intellectual property of Best Sheds Pty Ltd and are provided for building approval and construction purposes only.

SNOW LOAD

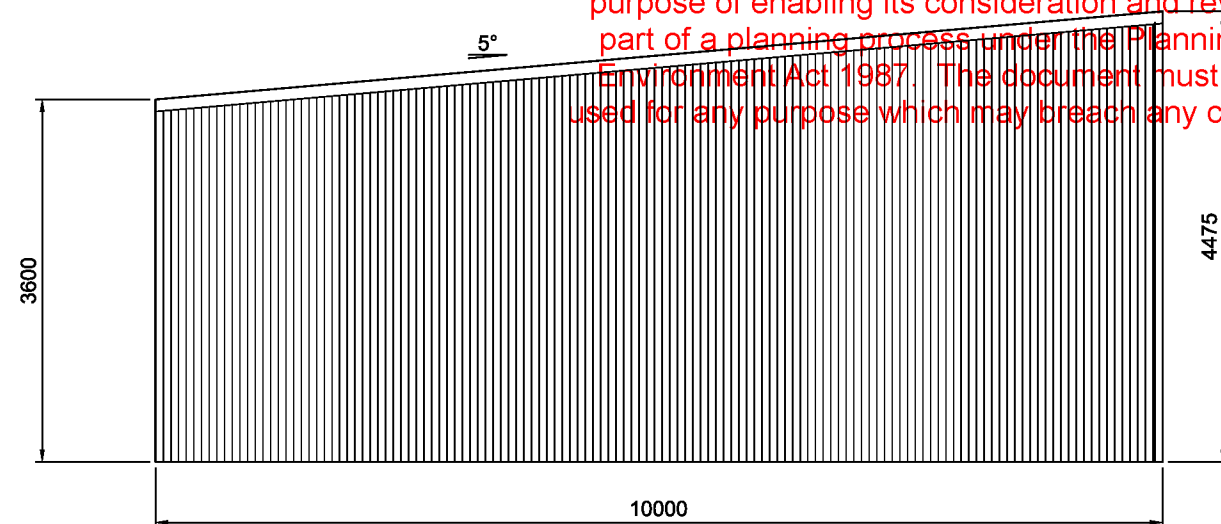
Following conditions only apply to buildings with snow loading:
No maintenance or roof traffic permitted on the roof while there is snow present.
No other structure to be erected within 500mm of the gutters of this building.





2 LEFT ELEVATION

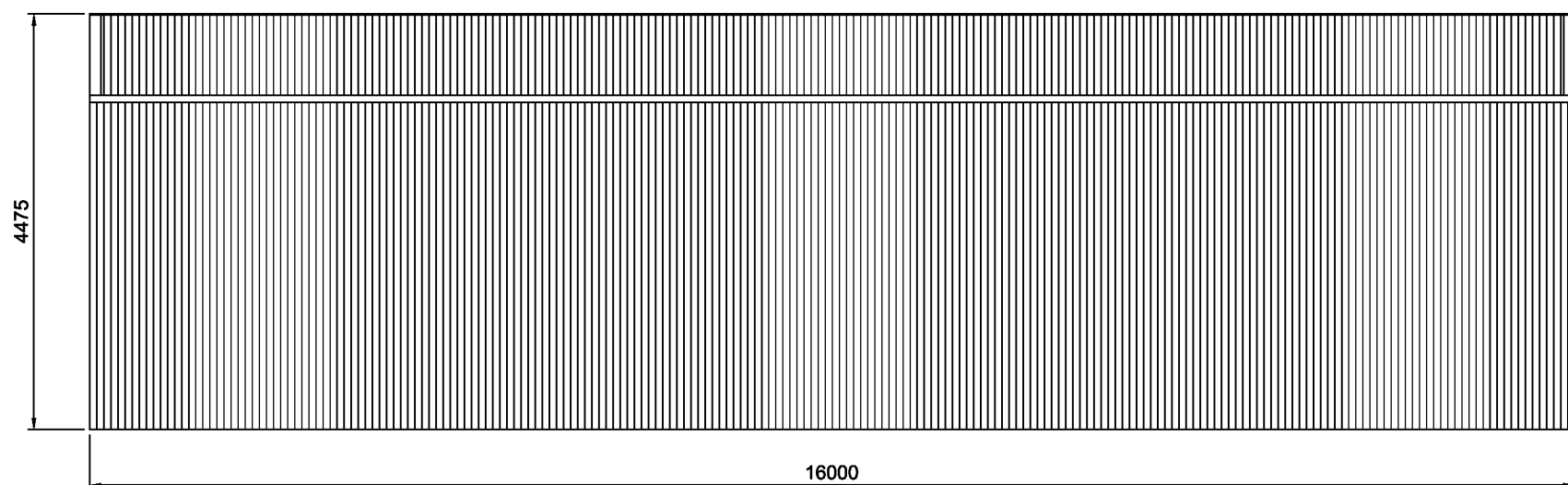
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3 REAR ELEVATION

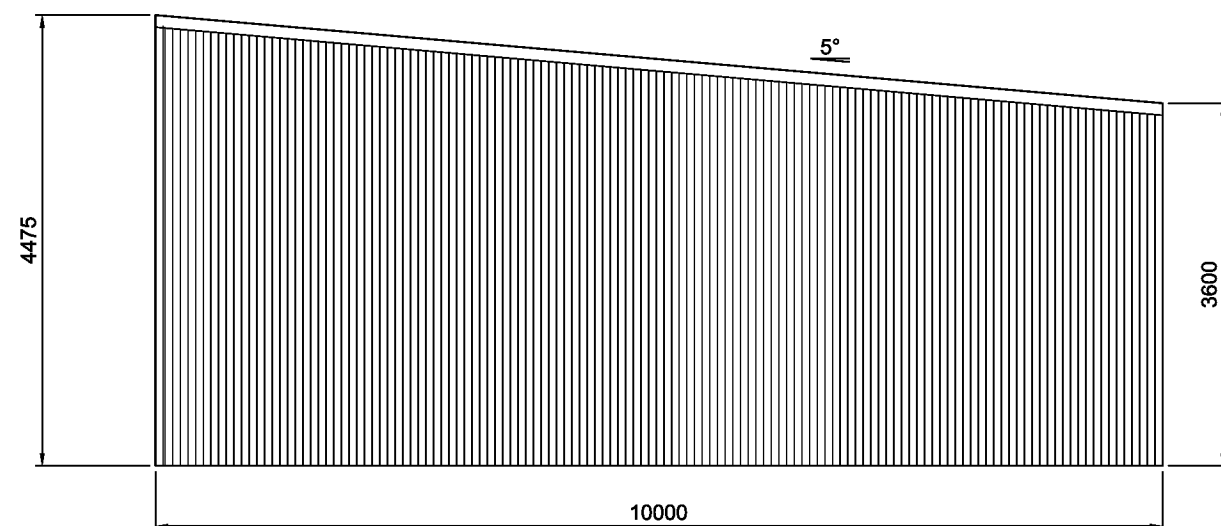
SCALE: 1:75

FRAME #5



1 RIGHT ELEVATION

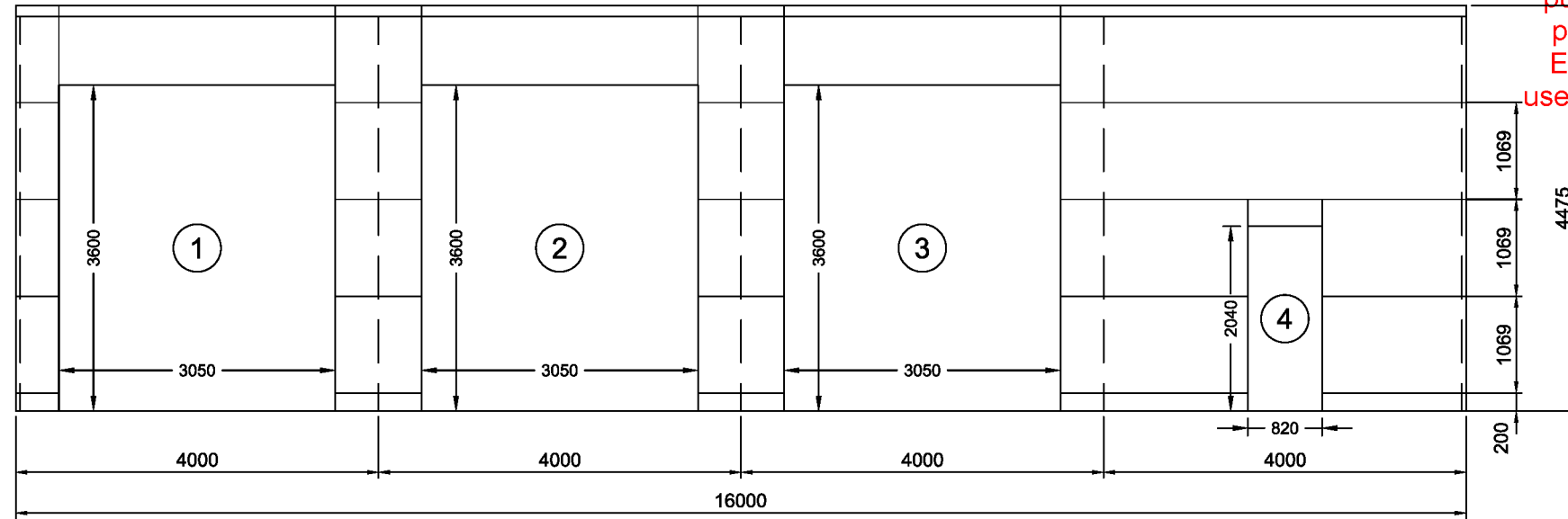
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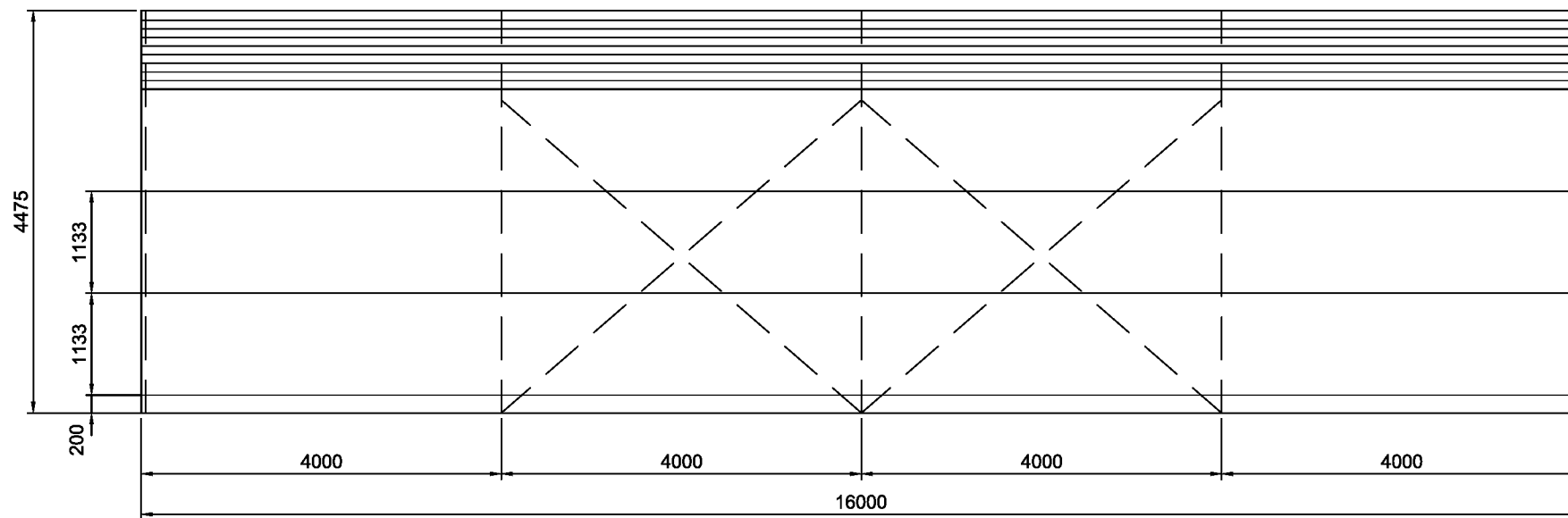
4 FRONT ELEVATION

SCALE: 1:75

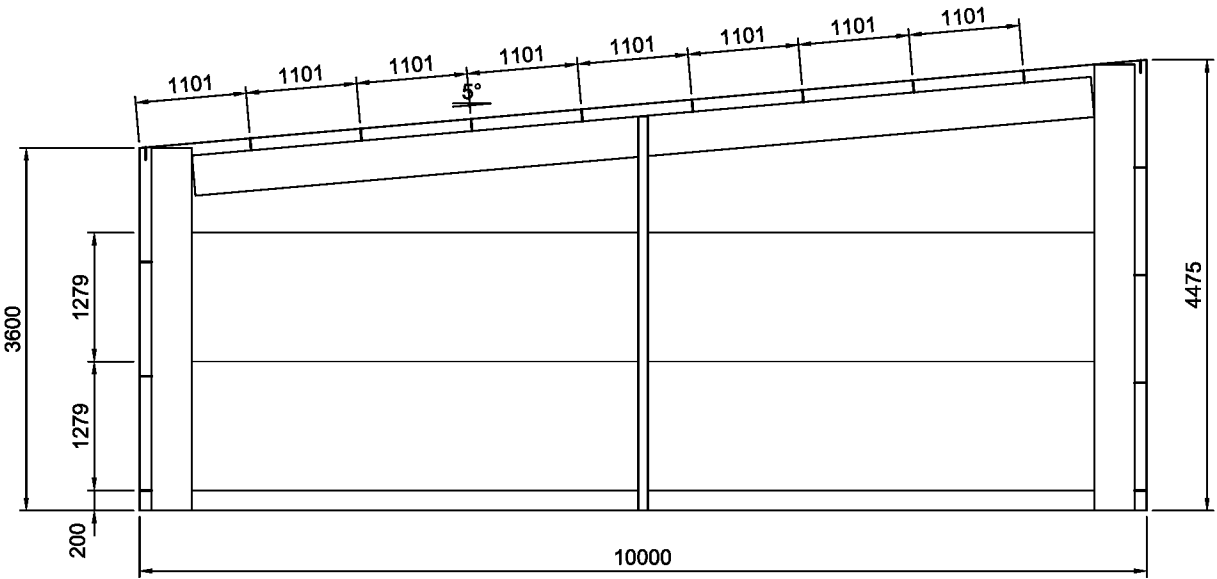
FRAME #1



2 LEFT ELEVATION
3 SCALE: 1:75



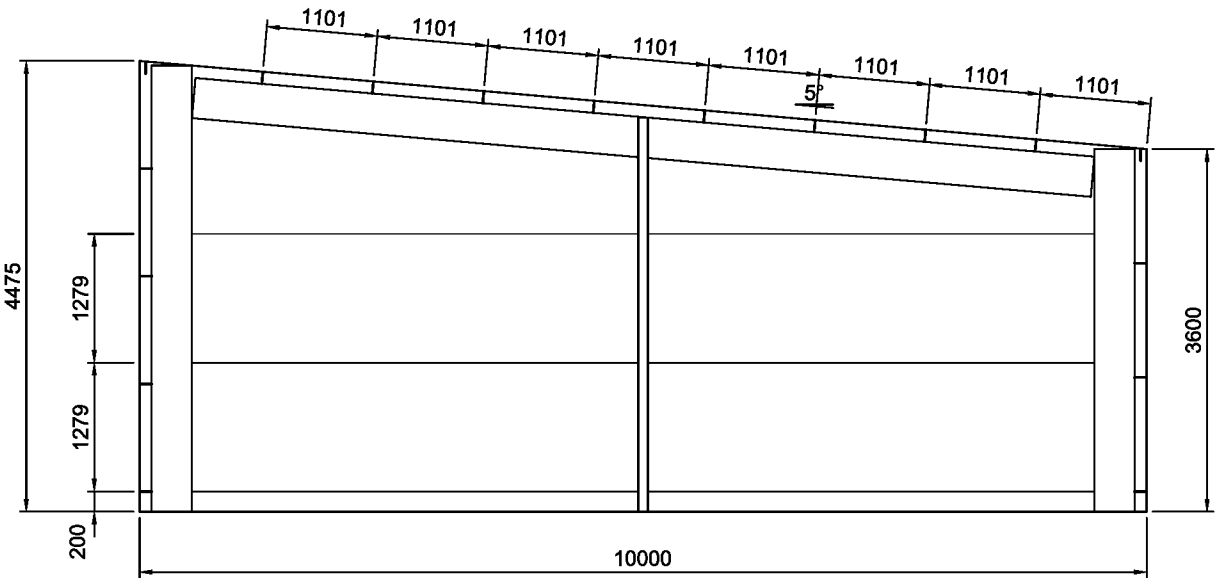
1 RIGHT ELEVATION
3 SCALE: 1:75



1 REAR ELEVATION
4

SCALE: 1:75

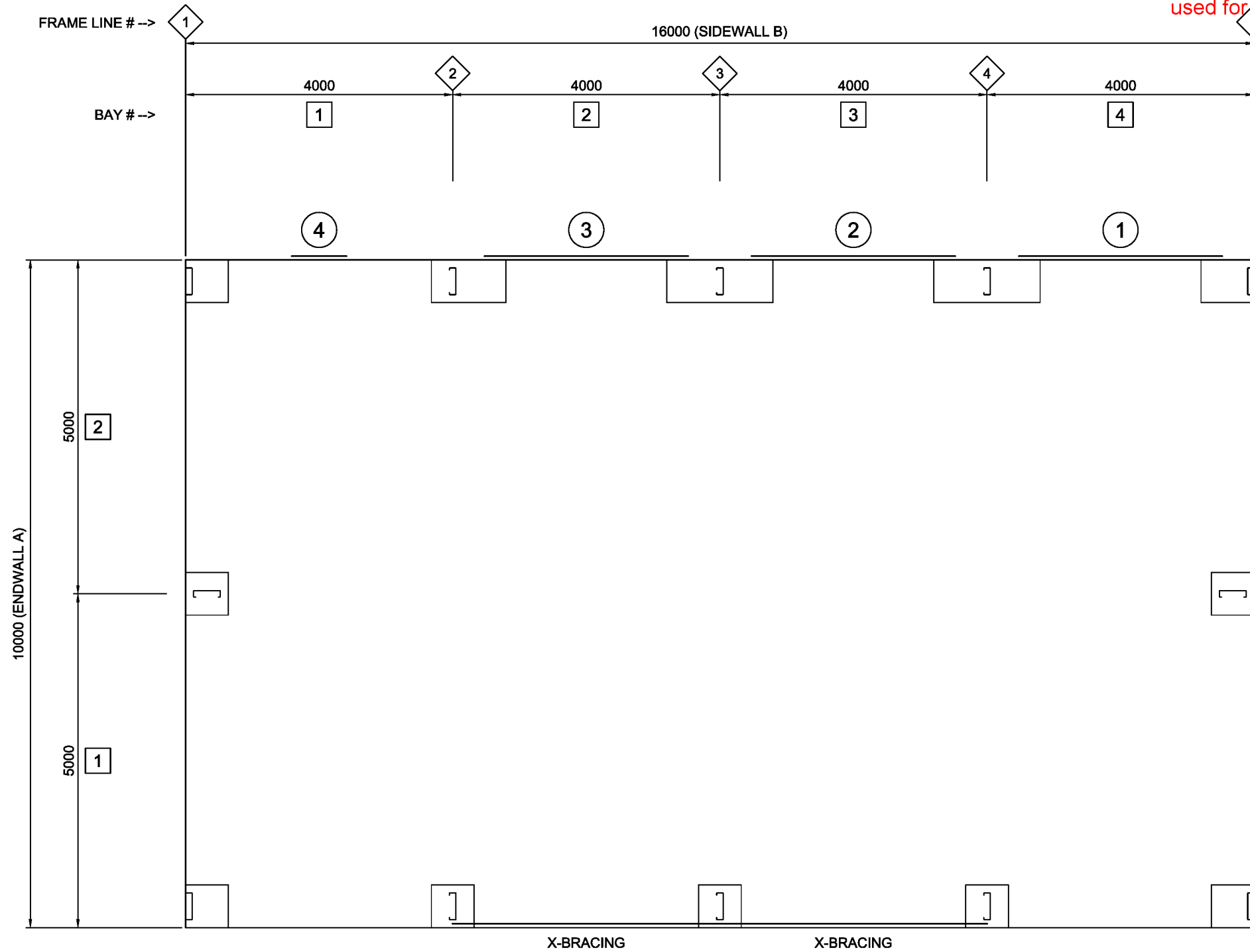
FRAME #5



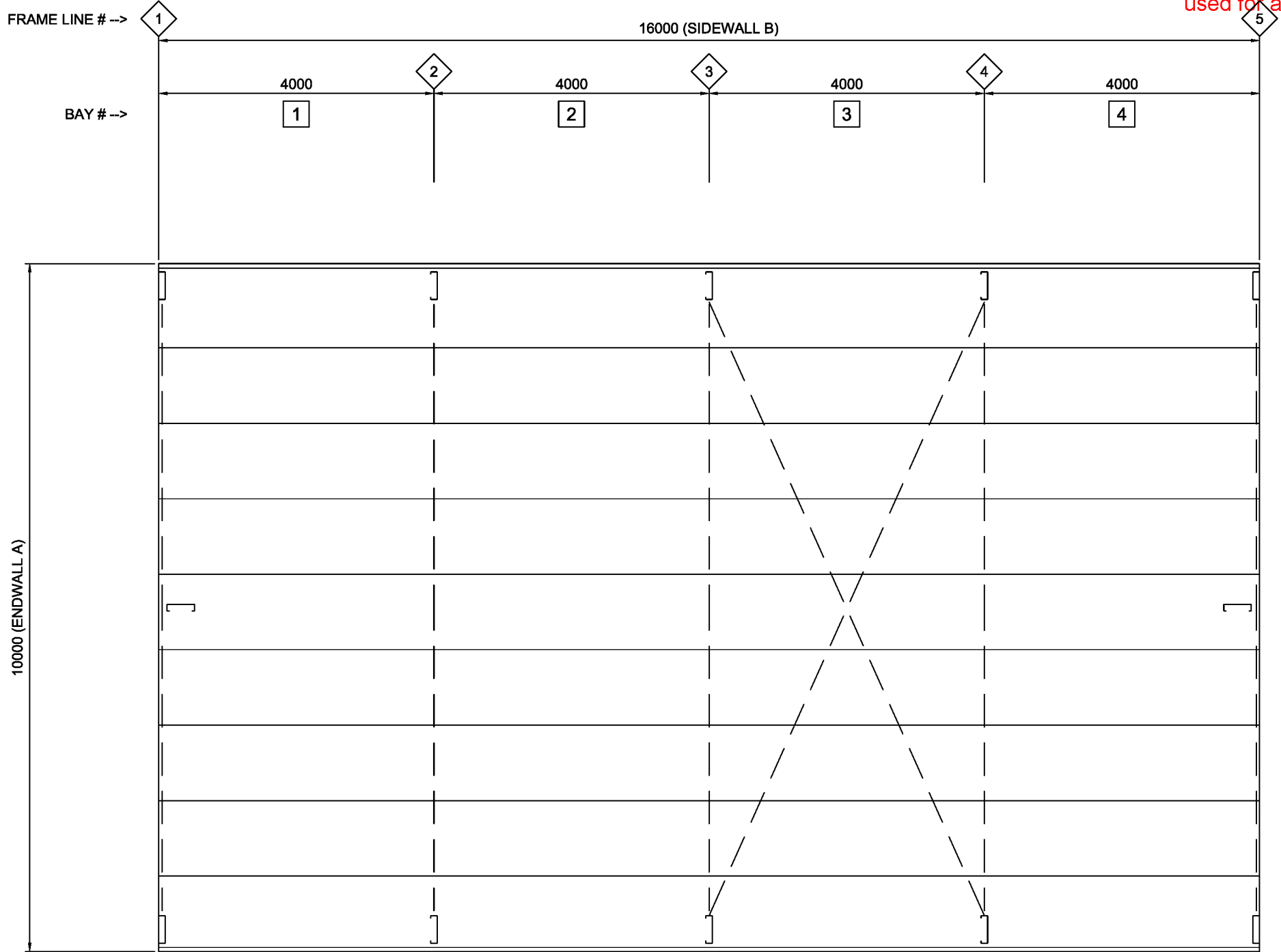
2 FRONT ELEVATION
4

SCALE: 1:75

FRAME #1



1 FLOOR PLAN
5 SCALE: 1:75

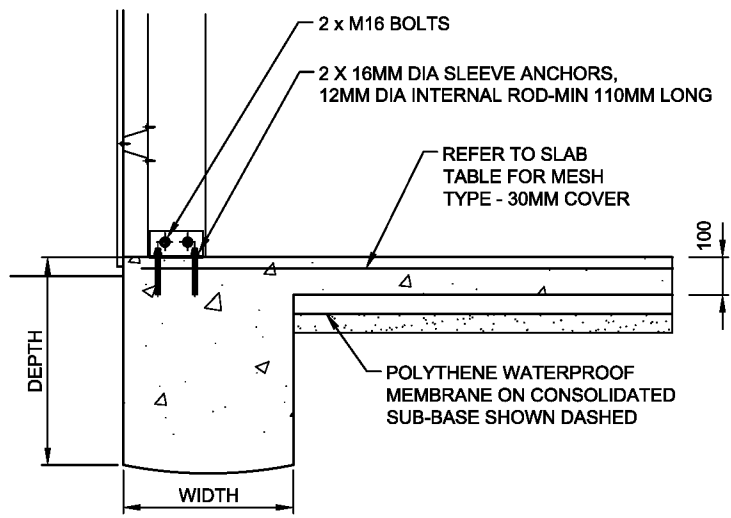


1 ROOF FRAMING PLAN
6 SCALE: 1:75

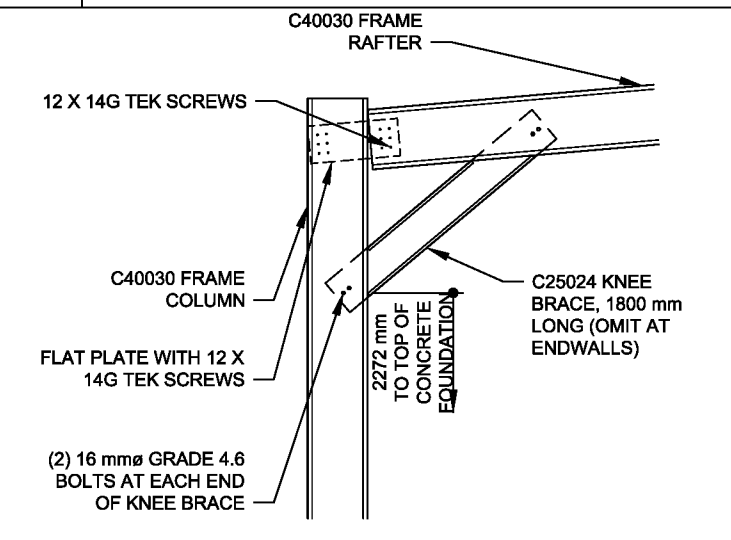
SLAB FOUNDATIONS DOMESTIC / LIGHT INDUSTRIAL (100mm MINIMUM CONCRETE SLAB INCLUDED)					
SOIL CLASSIFICATION (COMPACTED)	REINFORCING IN SLAB	EDGE BEAM	PIER	EDGE BEAM (slab thickness not included)	
	MESH REINFORCING	TRENCH MESH	ø x DEPTH	DEPTH	WIDTH
A, S, & M	SL72	---	450 x 400	---	---
M - D	SL82	L11TM3	---	300	300
H TO H - D	SL82	L11TM3	---	400	300
E TO E - D	SL82	L11TM4	---	400	400
P (DROP EDGE BEAM OR STANDARD EDGE BEAM WITH PIERS UNDER COLUMNS 300 INTO FIRM GROUND)	SL82	L11TM4	450ø	400	400

THICKNESS: 100MM WITH MINIMUM 30MM COVER. REFER TO SLAB FOUNDATION TABLE FOR REINFORCING SPECIFICATION

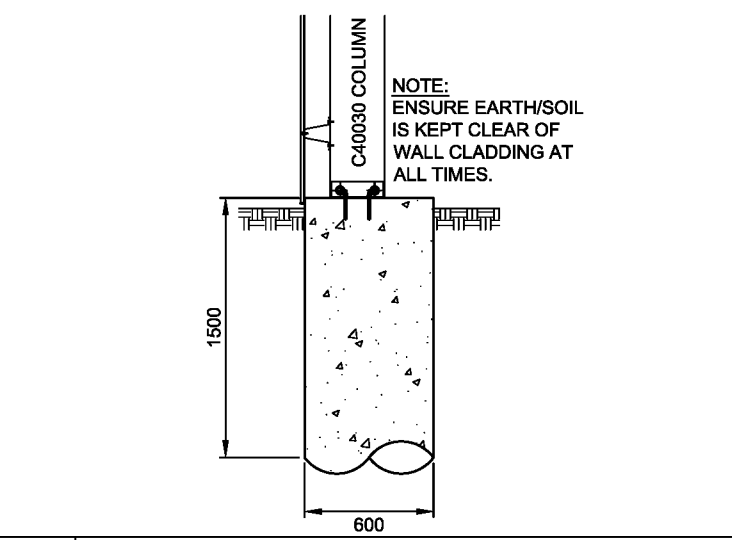
STRENGTH: 25mPa



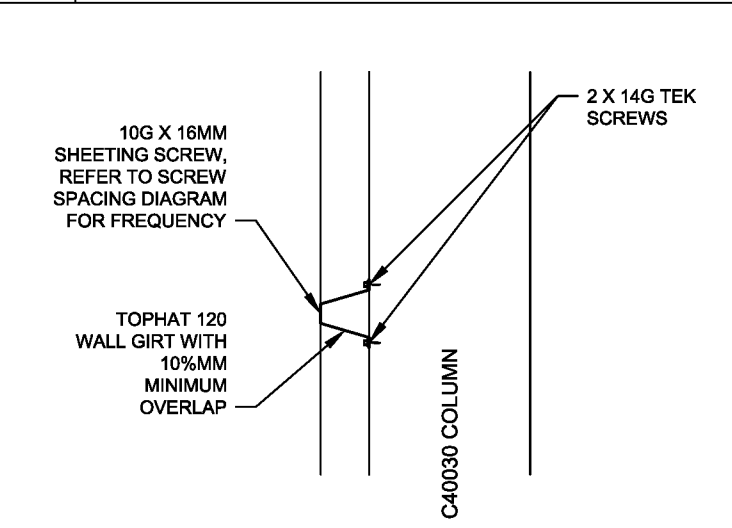
Y SLAB DETAIL



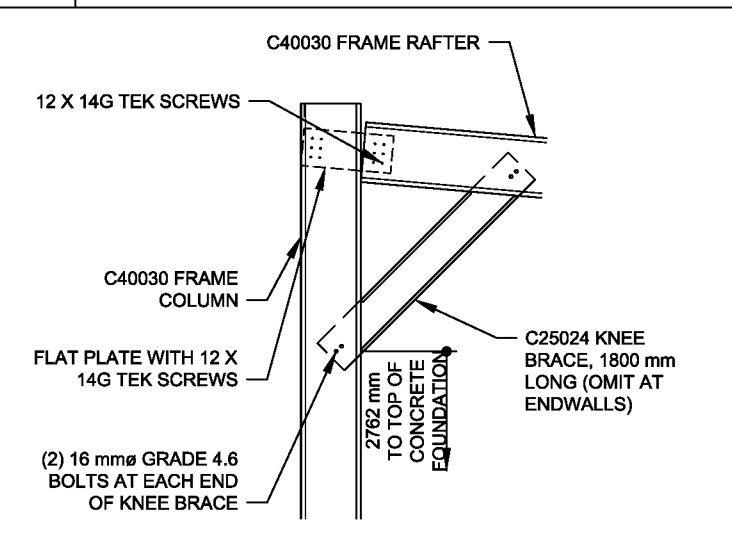
A HAUNCH CONNECTION



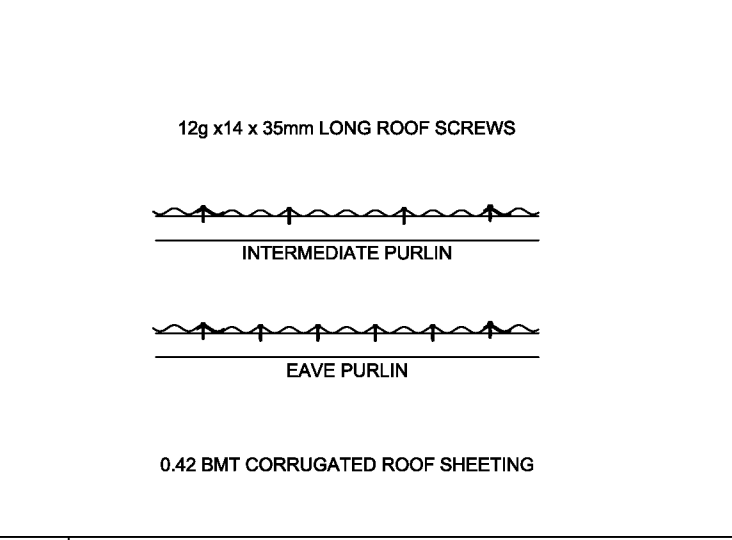
Z ALTERNATE PIER DETAIL



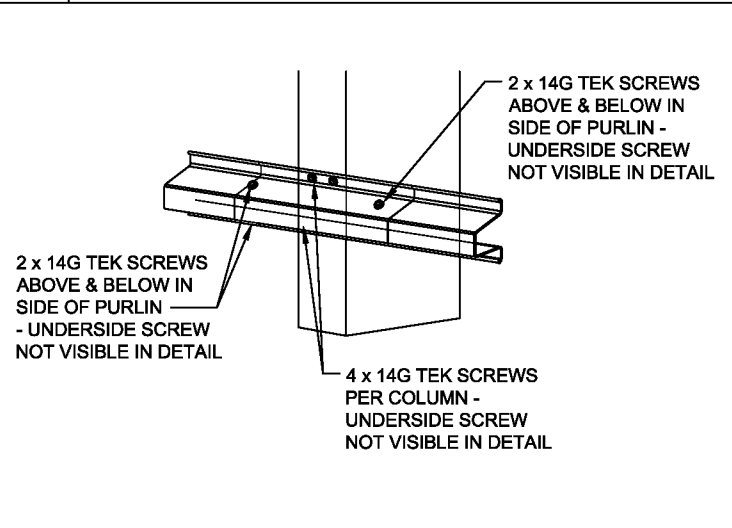
F GIRTS CONNECTION



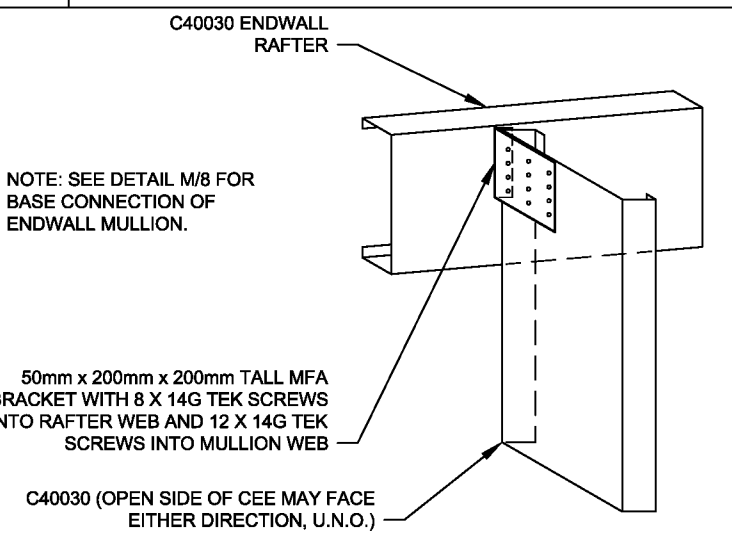
B HIGH EAVE HAUNCH CONNECTION



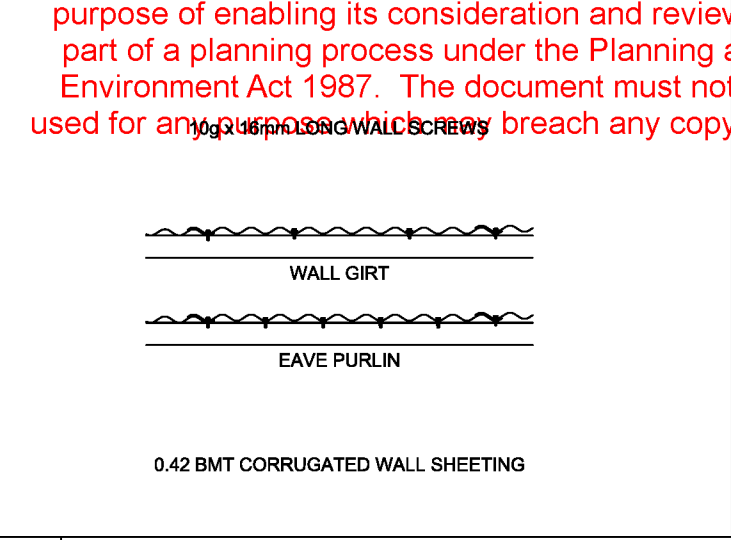
I ROOF SHEETING



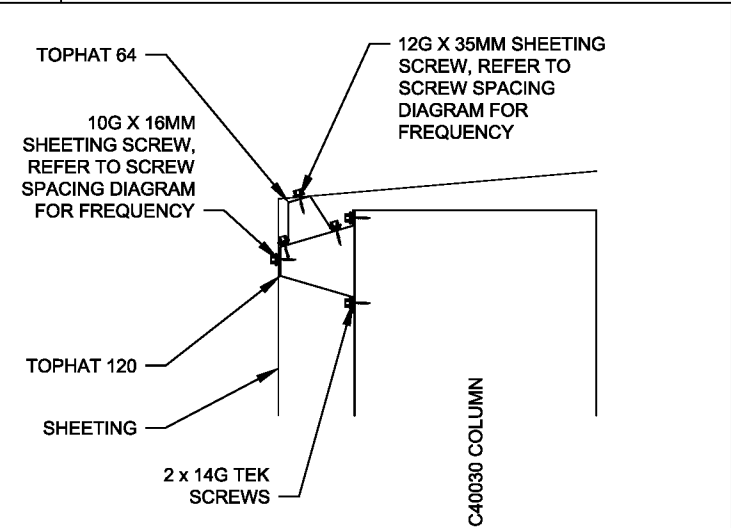
G TOP HAT CONNECTION



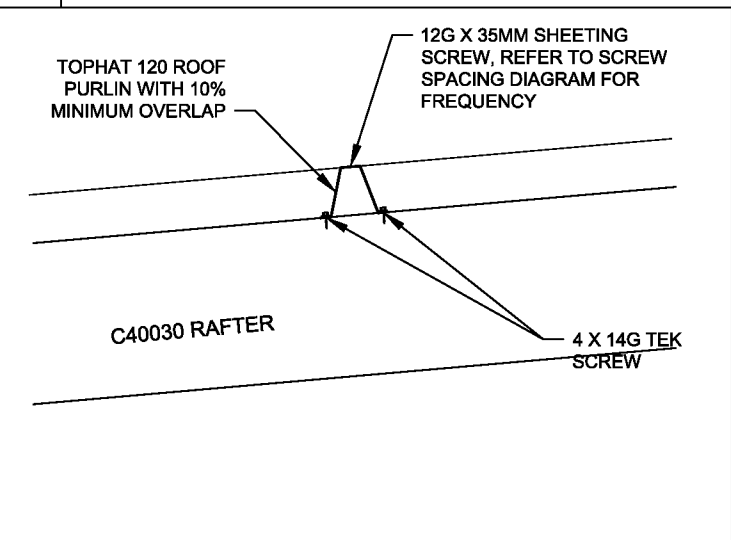
C ENDWALL MULLION TO RAFTER



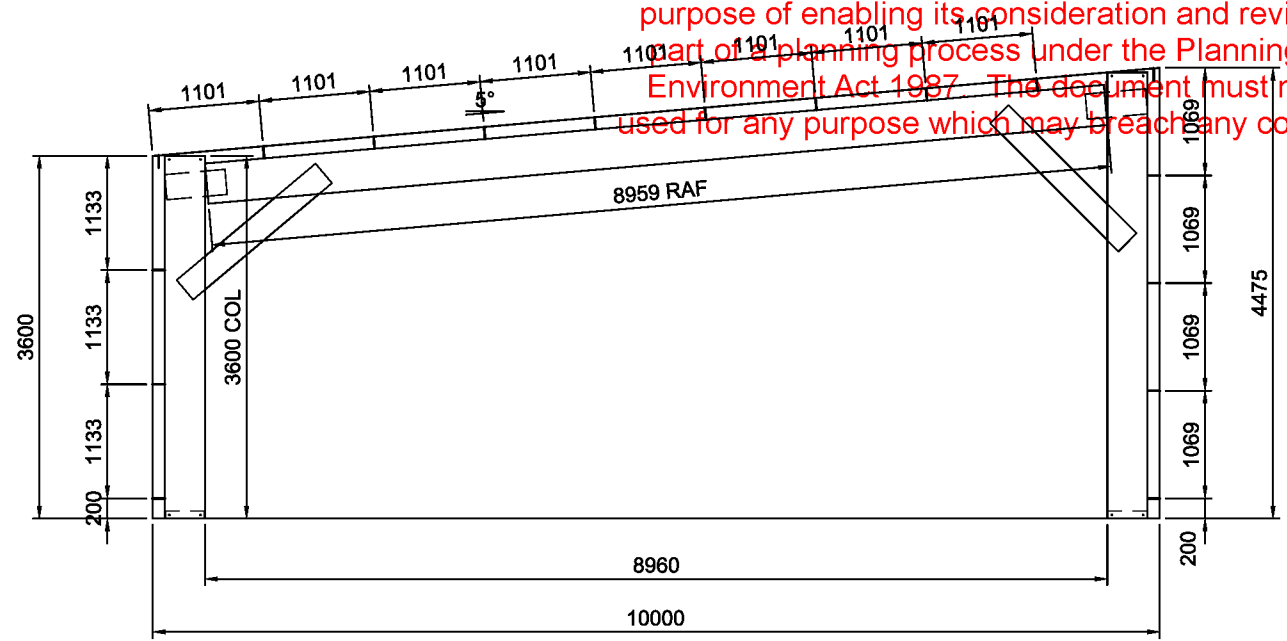
J WALL SHEETING



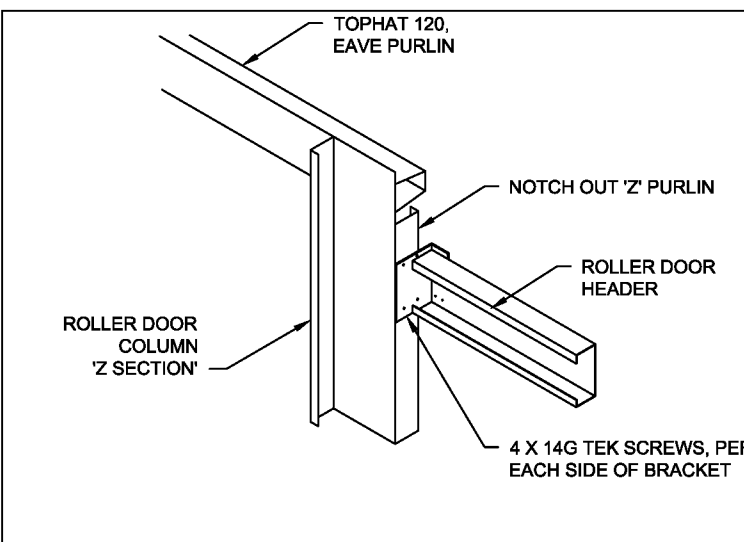
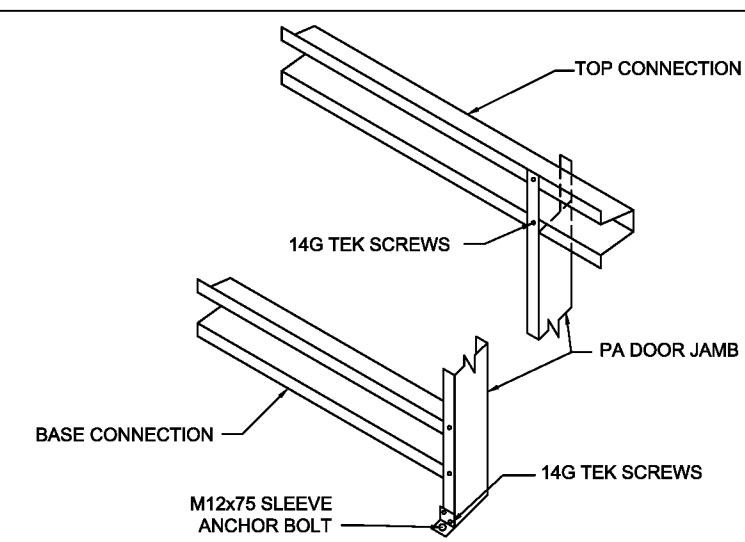
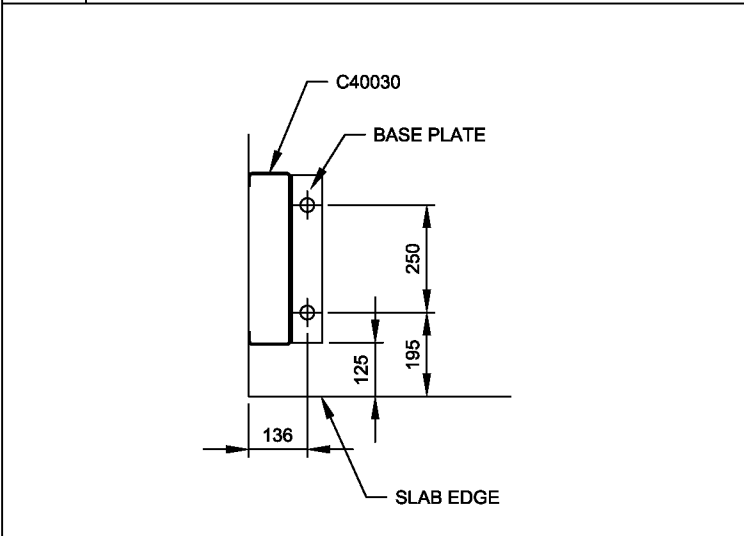
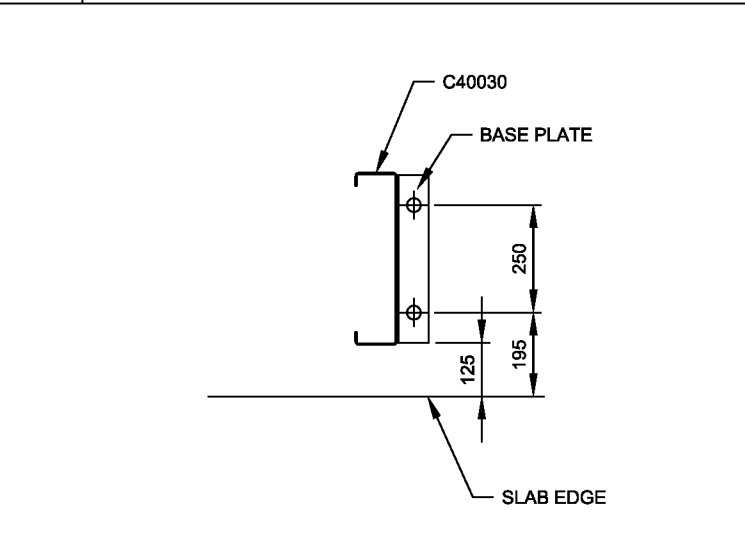
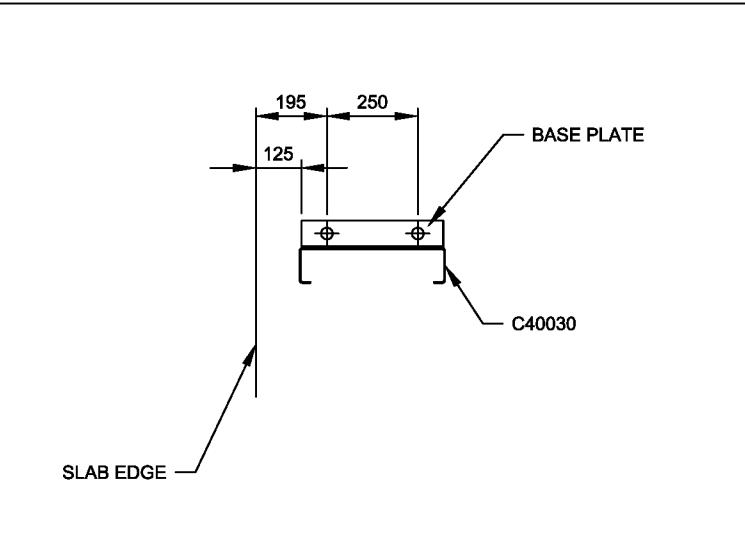
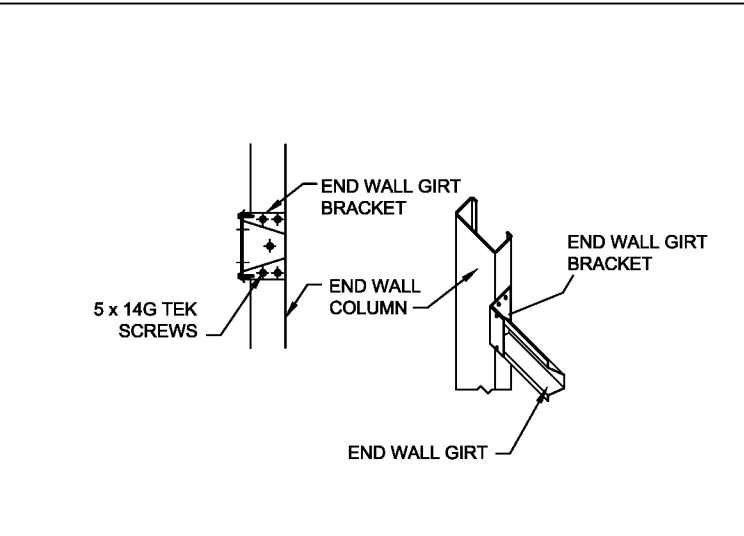
H EAVE CONNECTION



E PURLIN CONNECTION



1 TYP. FRAME CROSS-SECTION
8 SCALE: 1:75 FRAMES 2-4

 TOPHAT 120, EAVE PURLIN NOTCH OUT 'Z' PURLIN ROLLER DOOR COLUMN 'Z' SECTION' ROLLER DOOR HEADER 4 X 14G TEK SCREWS, PER EACH SIDE OF BRACKET		 TOP CONNECTION 14G TEK SCREWS PA DOOR JAMB BASE CONNECTION 14G TEK SCREWS M12x75 SLEEVE ANCHOR BOLT		1 8 TYP. FRAME CROSS-SECTION SCALE: 1:75 FRAMES 2-4 10000			
O TH120 SIDE ROLLER DOOR DETAIL		P PA DOOR STYLE CONNECTION					
 C40030 BASE PLATE 250 125 195 136 SLAB EDGE		 C40030 BASE PLATE 250 125 195 SLAB EDGE		 195 250 125 BASE PLATE C40030 SLAB EDGE		 END WALL GIRT BRACKET END WALL COLUMN 5 x 14G TEK SCREWS END WALL GIRT	
K CORNER COLUMN BASE		L INTERNAL COLUMN BASE		M ENDWALL MULLION BASE		N ENDWALL GIRT BRACKET	

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BUSHFIRE PROTECTION MEASURES

MANDATORY CONDITION

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defensible space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

DEFENDABLE SPACE

- Defendable space is provided for a distance of 50 metres around the building or to the property boundary whichever is the lesser and managed in accordance with the following:
- Grass must be short cropped and maintained during the declared fire danger period.
 - All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
 - Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
 - Plants greater than 10 centimetres in height must not be placed within 3 metres of a window or glass feature of the building.
 - Shrubs must not be located under the canopy of trees.
 - Individual and clumps of shrubs must not exceed 5 square metres in area and must be separated by at least 5 metres.
 - Trees must not overhang or touch any elements of the building.
 - The canopy of trees must be separated by at least 5 metres.
 - There must be a clearance of at least 2 metres between the lowest tree branches and ground level.



- PARCEL_VIEW
- Defendable Space
- Subject Land
- Google Satellite
- Proposed Shed

Crowther & Sadler Pty Ltd.
LICENSED SURVEYORS & TOWN PLANNERS
152 MACLEOD STREET, BAIRNSDALE, VIC., 3875
P. (03) 5152 5011 E. contact@crowthersadler.com.au

BUSHFIRE MANAGEMENT PLAN

303 STEPHENSON ROAD, NICHOLSON

SCALE (SHEET SIZE A3)

SURVEYORS REF.

1:1,000

21572

VERSION 1 - DRAWN 30/06/2026