

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	8 Wood Street METUNG VIC 3904, 109 Metung Road METUNG VIC 3904 Lot: 1 TP: 187687, CA: PART 6B Sec: H
The application is for a permit to:	Vegetation (including native) removal
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
42.02-2	Removal of native vegetation
52.17	Removal of native vegetation
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2026.47.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
---	---

If you object, the Responsible Authority will tell you its decision.

From: Snapforms Notifications <no-reply@snapforms.com.au>
Sent: Wednesday, 25 February 2026 2:30 PM
To: Planning Unit Administration <Planning@egipps.vic.gov.au>
Subject: Planning Permit application

Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Applicant name: East Gippsland Shire Council

Business trading name: C/- Development Solutions Victoria Pty Ltd

Email address: admin@devsolvic.com.au

Postal address : 48 Bailey Street, Bairnsdale Vic 3875

Preferred phone number: 0351524858

Owner's business trading name (if applicable): C/- Development Solutions Victoria

Owner's postal address: 48 Bailey Street, Bairnsdale Vic 3875

Street number: 8 & 109

Street name: Wood Street and Metung Road

Town: Metung

Post code: 3904

Lot number: 1 (8 Wood Street)

Plan number: 187687Y (8 Wood Street)

Other Legal Description: Vol 09093 Fol 193 (8 Wood Street) Crown Allotment 6A & 6B Vol 11801 Fol 820 & 821 (109 Metung Road)

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?: No

Will the proposal result in a breach of a registered covenant restriction or agreement?: No

Existing conditions : Existing Dwelling and Associated Facilities (8 Wood Street) Metung Bowls Club and Metung Tennis Club (109 Metung Road)

Description of proposal : Vegetation Removal

Estimated cost of development: 2000

Has there been a pre-application meeting: Yes

Officer's name: Hamish McIntosh

Your reference number: 26004

ExtraFile: 3

Invoice Payer: Development Solutions Victoria Pty Ltd

Address for Invoice: 48 Bailey Street, Bairnsdale VIC 3875

Invoice Email: admin@devsolvic.com.au

Primary Phone Invoice: 0351524858

Declaration: Yes

Authority Check: Yes

Notice Contact Check: Yes

Notice check 2: Yes

Privacy Statement Acknowledge: Yes

Planning report: [26004 Planning Submission.pdf](#)

Covenants agreements: [APPENDIX A Electronic Instrument Statement MI275800V.pdf](#)

Full copy of Title: [APPENDIX A Crown Diagram 105872N.pdf](#), [APPENDIX A Crown Diagram 105271Q.pdf](#), [APPENDIX A Title Plan - 8 Wood Street.PDF](#), [APPENDIX A Copy of Title - 8 Wood Street.PDF](#), [APPENDIX A Crown Folio Statement 6B.pdf](#), [APPENDIX A Crown Folio Statement 6A.pdf](#)

1. Supporting information/reports: [APPENDIX B Ecological Assessment.pdf](#)

3. Supporting information/reports: [26004 Letter to Council.pdf](#)

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958 Page 1 of 3

VOLUME 09093 FOLIO 193

Security no : 124132190825Y
Produced 16/02/2026 02:44 PM

LAND DESCRIPTION

Lot 1 on Title Plan 187687Y.
PARENT TITLE Volume 08126 Folio 217
Created by instrument F661178 14/04/1975

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP187687Y FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AZ746787E (E)	CONV PCT & NOM ECT TO LC	Completed	28/10/2025
AZ771957N (E)	TRANSFER	Registered	05/11/2025

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 8 WOOD STREET METUNG VIC 3904

ADMINISTRATIVE NOTICES

NIL

eCT Control 25897E QUINN AND QUINN
Effective from 05/11/2025

DOCUMENT END



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Document Type	Plan
Document Identification	TP187687Y
Number of Pages (excluding this cover sheet)	1
Document Assembled	16/02/2026 14:44

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TITLE PLAN		EDITION 1	TP 187687Y
Location of Land Parish: BUMBERRAH Township: METUNG Section: G Crown Allotment: 5(PT), 6(PT) Crown Portion: Last Plan Reference: LP31901 Derived From: VOL 9093 FOL 193 Depth Limitation: NIL		ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN	

Description of Land / Easement Information

THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT
 COMPILED: 14/10/1999
 VERIFIED: BC

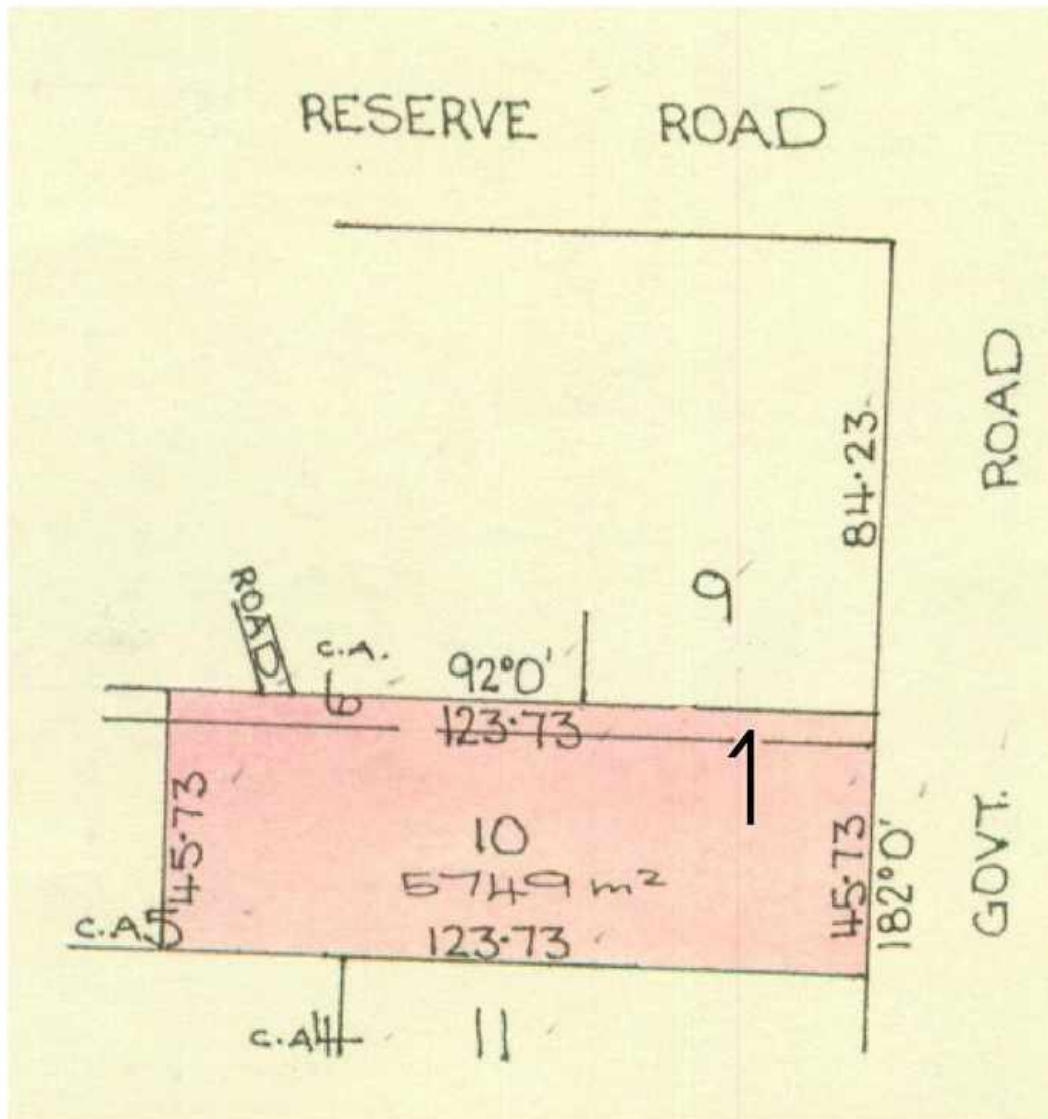


TABLE OF PARCEL IDENTIFIERS
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962
PARCEL 1 = LOT 10 ON LP31901

CROWN FOLIO STATEMENT

VOLUME 11801 FOLIO 820
No Coft exists

Security no : 124132417996Y
Produced 24/02/2026 09:04 AM

CROWN FOLIO

LAND DESCRIPTION

Crown Allotment 6A Section H Township of Metung Parish of Bumberrah.
Created by instrument MI275793P 06/08/2016

CROWN LAND ADMINISTRATOR

STATUS, ENCUMBRANCES AND NOTICES

RESERVATION MI275795K 06/08/2016
TEMPORARY
PUBLIC RECREATION

INDIGENOUS LAND USE AGREEMENT MI275796H 06/08/2016
NATIVE TITLE DETERMINATION VID6007/1998

DIAGRAM LOCATION

SEE CD105871Q FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF CROWN FOLIO STATEMENT-----

Additional information: (not part of the Crown Folio Statement)

Street Address: 109 METUNG ROAD METUNG VIC 3904

DOCUMENT END



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Document Identification	CD105871Q
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CD1058710

CROWN DIAGRAM

Location of Land

Parish : BUMBERRAH
Township : METUNG
Section : H
Allotment : 6A

This plan has been created to assist in locating a Crown land parcel.
Warning: No warranty is given as to the accuracy or completeness of this plan

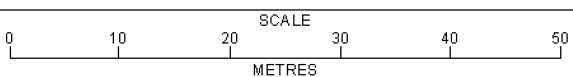
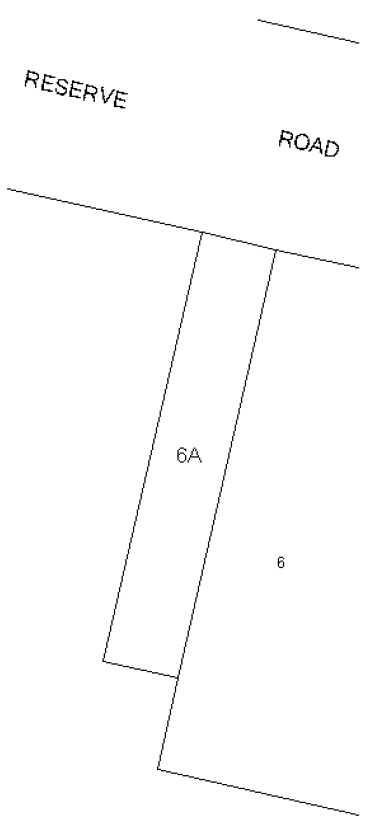
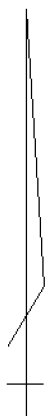
Any derived dimensions are approximate

Standard Parcel Identifier (SPI) : 6A~HPP5526
Vicmap Parcel PFI : 45293883

Coordinate Position
MGA : 575310, 5806290 (55)
Vicroads Directory Reference : 690 D5 (ed. 6)

Compiled from VICMAP cadastral mapping data

Date: 22/05/2009





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Page 1 of 1

CROWN FOLIO STATEMENT

VOLUME 11801 FOLIO 821
No Coft exists

Security no : 124132417997X
Produced 24/02/2026 09:04 AM

CROWN FOLIO

LAND DESCRIPTION

Crown Allotment 6B Section H Township of Metung Parish of Bumberrah.
Created by instrument MI275797F 06/08/2016

CROWN LAND ADMINISTRATOR

STATUS, ENCUMBRANCES AND NOTICES

RESERVATION MI275799B 06/08/2016
TEMPORARY
PUBLIC RECREATION

INDIGENOUS LAND USE AGREEMENT MI275800V 06/08/2016
NATIVE TITLE DETERMINATION VID6007/1998

DIAGRAM LOCATION

SEE CD105872N FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF CROWN FOLIO STATEMENT-----

Additional information: (not part of the Crown Folio Statement)

Street Address: 109 METUNG ROAD METUNG VIC 3904

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CD105872N

CROWN DIAGRAM

Location of Land

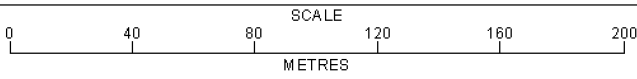
Parish : BUMBERRAH
Township : METUNG
Section : H
Allotment : 6B

This plan has been created to assist in locating a Crown land parcel.
Warning: No warranty is given as to the accuracy or completeness of this plan.
Any derived dimensions are approximate

Standard Parcel Identifier (SPI) : 6B~HVP5526
Vicmap Parcel PFI : 45293884

Coordinate Position
MGA : 575240, 5806270 (55)
Vicroads Directory Reference : 690 D5 (ed. 6)

Compiled from VICMAP cadastral mapping data
Date: 22/05/2009





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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced: 25/02/2026 01:29:14 PM

Dealing Number: MI275800V

Rectification Date: 06/08/2016

Rectification Category: Crown Land Data Migration

Status: Registered

RECTIFICATION

Raised By: REGISTRAR OF TITLES
DX 250639 MELBOURNE

Folio Affected	CofT Supplied	Controlling Party
----------------	---------------	-------------------

11801/821	No	
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Details of Rectification

This Crown Land Use Agreement transaction was created as part of the crown land data migration. No instrument is available for this transaction.

Statement End.

FEB
20
26

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APPLICATION FOR PLANNING PERMIT

VEGETATION REMOVAL

8 WOOD STREET AND 109 METUNG ROAD, METUNG

REF: 26004

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APPENDIX

A	Title and Title Plan
B	Ecological Assessment
C	Due diligence CHMP

DOCUMENT REVISION

1	Draft Report	DAC	21/02/2026
2	Final Report	CMC	25/02/2026

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1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of the applicant for this planning permit application for the removal of native vegetation associated with a stormwater drainage upgrade at 8 Wood Street and 109 Metung Road, Metung being the Metung Recreation Reserve and Bowls Club.

This submission and supporting documentation provide details of the subject area, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

are seeking to improve stormwater drainage infrastructure through private property and public land leading to the Metung Bowls Club at 109 Metung Road, Metung. The project aims to address limitations in the existing drainage system and improve stormwater management within the area. Vegetation removal via direct and indirect impact is inevitable to facilitate the necessary works.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate upgrade in this area and will result in an improved stormwater management outcome.

Address	8 Wood Street, Metung and 109 Metung Road, Metung
Site Description	Lot 1 on Title Plan 187687Y (8 Wood Street) Crown Allotment 6B Section H Township of Metung (109 Metung Road)
Title Particulars	Vol 09093 Fol 193 (8 Wood Street) Vol 11801 Fol 821 (109 Metung Road)
Site Area	5749m ² (8 Wood Street, Metung) Approximately 1.62 hectares (109 Metung Road)
Proposal	Vegetation Removal
Planning Scheme	East Gippsland Planning Scheme
Zone	General Residential Zone – Schedule 1 Public Park and Recreation Zone
Overlays	Design and Development Overlay – Schedule 11 Erosion Management Overlay Land Subject to Inundation Overlay Vegetation Protection Overlay – Schedule 3
Aboriginal Cultural Heritage	Identified as an area of Cultural Heritage Sensitivity
Permit Triggers	Clause 42.02 – 2 Vegetation Protection Overlay – Permit Requirement Clause 52.17-1 Native Vegetation – Permit Requirement
Notice	No Exemption applicable
Referrals	DEECA
Work Authority Licence	Not Applicable
Planning Scheme requirements	Municipal Planning Strategy – Clause 02 Settlement – Towns – Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Planning Policy Framework – Clause 10 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Built environment and heritage – Clause 15 Vegetation Protection Overlay – Clause 42.02 Native Vegetation – Clause 52.17 Decision guidelines – Clause 65

2. SITE CONTEXT

The subject sites are located at 8 Wood Street and 109 Metung Road, Metung. A copy of the Title, Title Plan and Crown diagram are contained in **Appendix A**. The title of 109 Metung Road is affected by a Reservation registered as M275799B and an Indigenous Land Use Agreement MI275800V.

The sites are a gently sloping towards a natural gully system, forming part of a modified drainage corridor that discharges toward Bancroft Bay within the Gippsland Lakes. The gully initially falls in a northerly direction before turning east as it approaches the Metung Recreation Reserve and Bowls Club area where it is near sea level and approximately 130 metres from Bancroft Bay.

The subject area supports remnant native canopy trees, within a modified landscape.

Wood Street is a bitumen sealed road with rollover kerb and channel and swale drainage. Wood Street traverses in an east to west direction. Metung Road is a bitumen sealed road with grassed shoulders and swale drains. Metung Road traverses in a northeast to southwest direction.

The area in relation to Metung and its broader setting are shown in the locality plans provided in **Figure 1** and **Figure 2**.

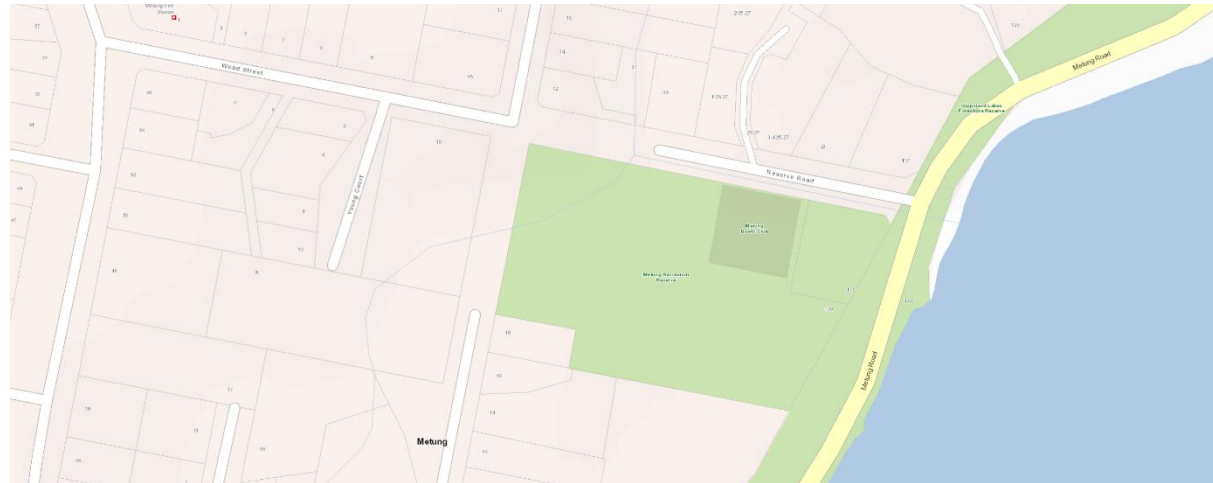


Figure 1 – Locality Plan – Wood Street and Metung Road, Metung (source: mapshare.vic.gov.au)

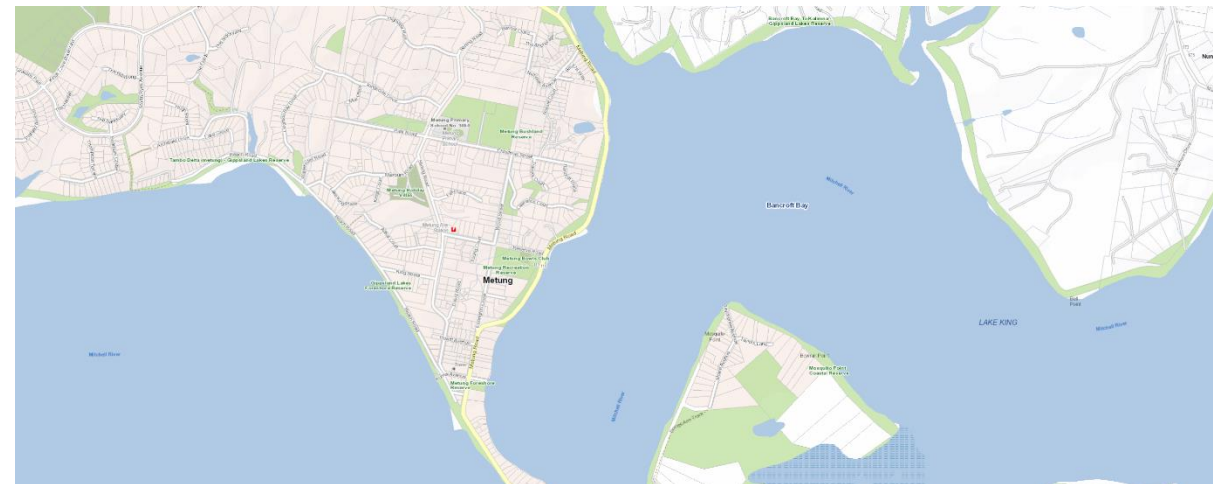


Figure 2 – Locality Plan – Wood Street and Metung Road, Metung (source: mapshare.vic.gov.au)

Surrounds

The land in this locality contains a combination of residential and public land.

The areas adjoining the proposed drainage works include Metung Recreation Reserve, Metung Bowls Club, Metung Fire Station, Gippsland lakes Foreshore Reserve and existing residential dwellings and associated facilities.

Metung is a small village located on the Gippsland Lakes, centrally between Bairnsdale and Lakes Entrance. Metung is a significant fishing village with a focus on tourism and water sports. Metung has a suitable level of community and commercial services and facilities to support the existing residential component.

The subject site in relation to Metung is shown in the aerial photograph below.



Photograph 1 – Aerial Photograph of the subject site and surrounding land –
8 Wood Street and 109 Metung Road, Metung (source: <https://earth.google.com>)
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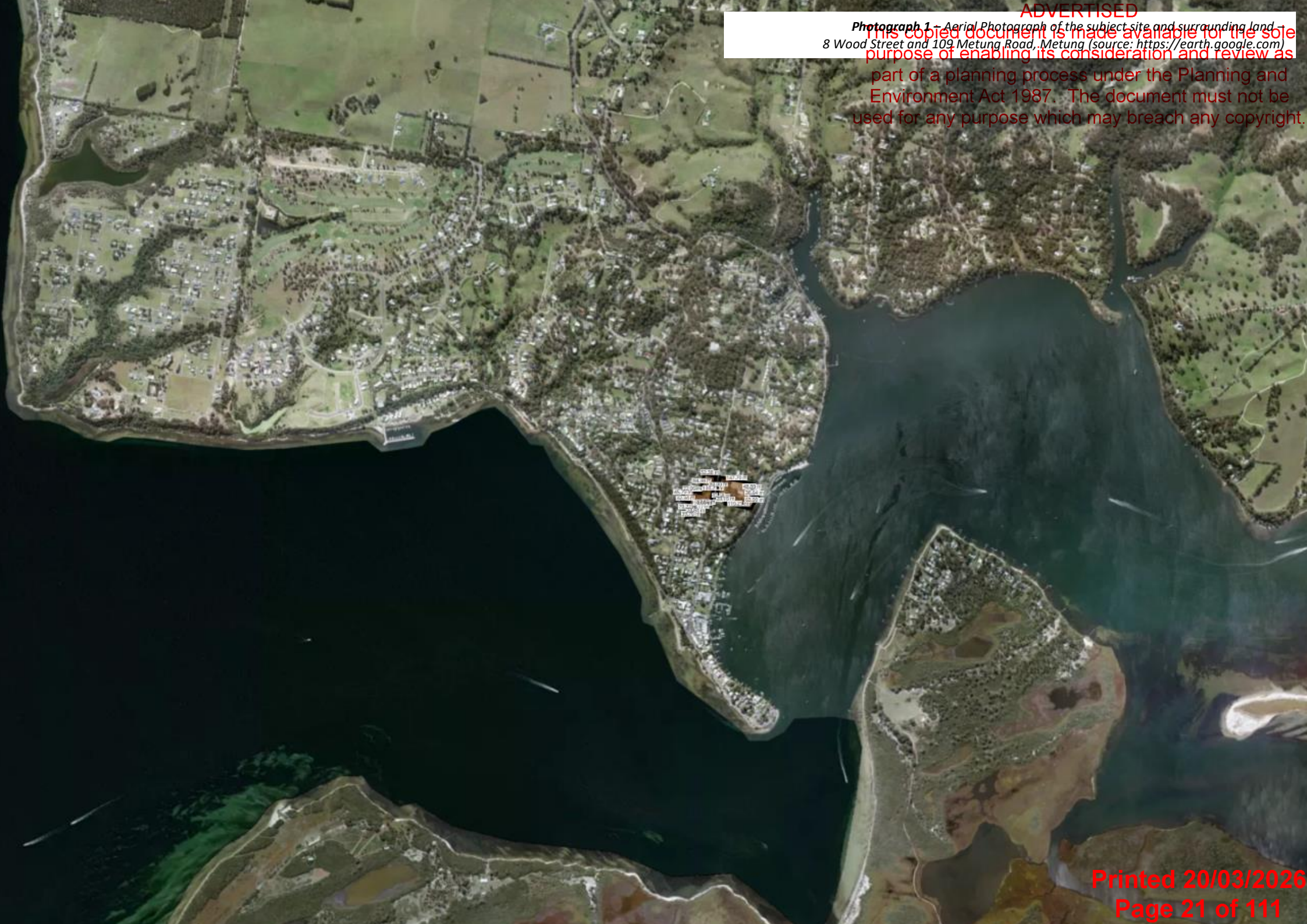
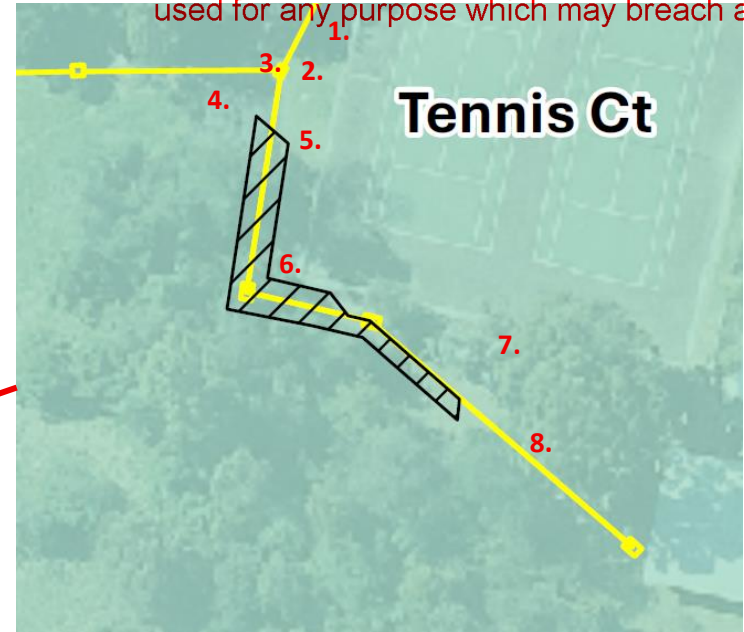
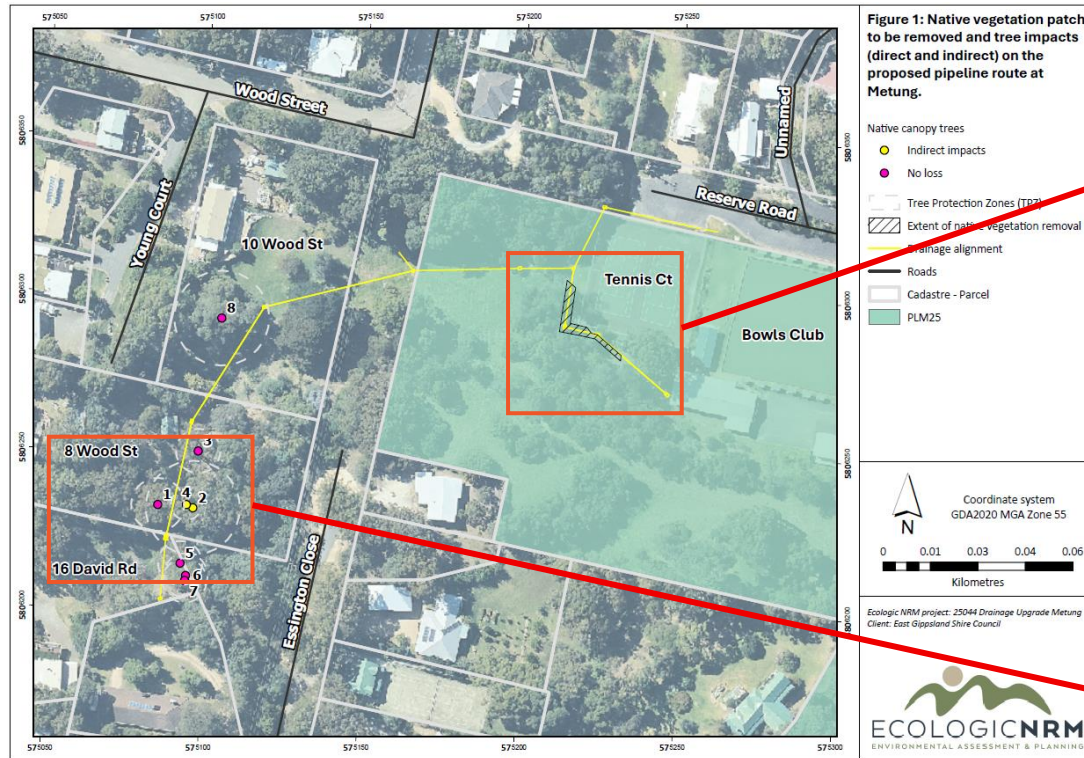


Photo Locations Diagram



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Photograph 2 – Subject site facing southeast at location 1.



Photograph 4 – Vegetation to be removed facing south at location 3.



Photograph 6 – Vegetation to be removed facing southeast at location 4.



Photograph 3 – Vegetation to be removed facing southwest at location 2.



Photograph 5 – Vegetation to be removed facing east at location 4.



Photograph 7 – Vegetation to be removed facing southwest at location 5.

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Photograph 8 – Vegetation to be removed facing southeast at location 6.



Photograph 10 – Vegetation to be removed facing west at location 7.



Photograph 12 – Tree proposed for indirect loss facing southeast at location 9.



Photograph 9 – Vegetation to be removed facing southwest at location 7.



Photograph 11 – Vegetation to be removed facing west at location 8.



Photograph 13 – Tree proposed for indirect loss facing east at location 10.

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3. THE PROPOSAL

This application seeks approval for the removal of native vegetation associated with stormwater drain upgrades. The impacts on vegetation are located at 8 Wood Street and 109 Metung Road, Metung.

The proposal includes 183 metres of new stormwater pipe in two sections, with approximately 31 metres to be under bored and the remainder to be in a 1 metre wide trench at a depth of 1 metre which will connect to junction pits. The works involve installation of underground stormwater infrastructure within an existing gully corridor traversing residential and public land and, while the design has sought to avoid and minimise vegetation removal wherever possible, limited native vegetation removal and impacts to trees are required to facilitate the works.

An Ecological Assessment has been prepared and is contained in **Appendix B**. The assessment documents the existing vegetation conditions, identifies and maps the native vegetation proposed to be removed, includes a Native Vegetation Information Management report and associated offset calculation.

The proposal will result in indirect impacts to two Coast Grey-box (*Eucalyptus bosistoana*) trees located within 8 Wood Street, Metung.

Tree #2 has a Diameter at Breast Height (DBH) of 124 cm and is identified as being subject to indirect impact within its Tree Protection Zone as a consequence of the proposed trenching works. Tree #4 has a DBH of 41 cm and is also identified as being subject to indirect impact. Additionally, a mapped patch of native vegetation located on 109 Metung Road, Metung will be directly impacted and is indicated below in the shaded area as well as within the Ecological Assessment.

These impacts have been assessed within the Ecological Assessment and have been incorporated into the native vegetation removal calculations and corresponding offset requirements.

An extract from the Ecological Assessment showing the location of the proposed vegetation removal is provided in **Figure 3** and in **Appendix B**.

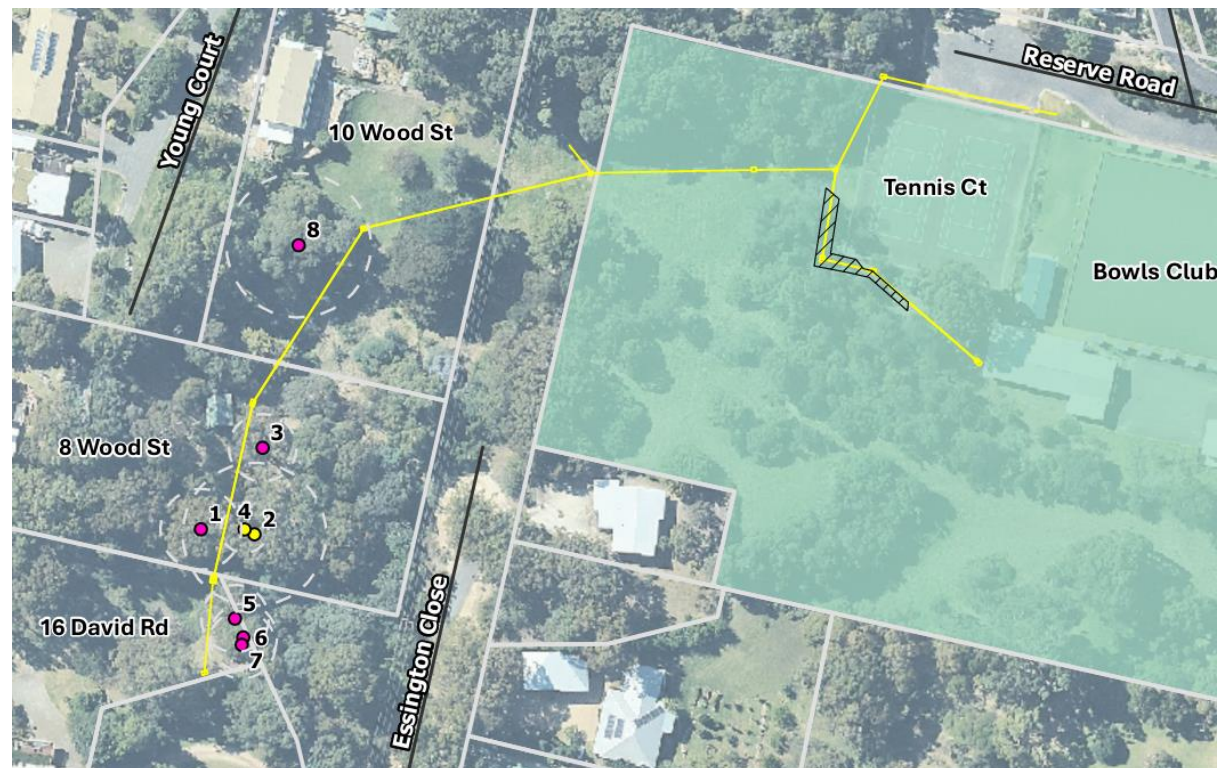


Figure 3 – Native Vegetation Removal Map – Ecologic NRM

4. ZONES AND OVERLAYS

General Residential Zone – Schedule 1

The purpose of the General Residential Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

An extract of the General Residential Zone Map is provided to the right in **Figure 4**.

A permit is not required for the removal of vegetation under the provisions of the General Residential Zone. This is not addressed further.



Figure 4 – General Residential Zone – (source - mapshare.vic.gov.au)

Public Park and Recreation Zone

The purpose of the Public Park and Recreation Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To recognise areas for public recreation and open space.
- To protect and conserve areas of significance where appropriate.
- To provide for commercial uses where appropriate.

An extract of the Public Park and Recreation Zone is provided in **Figure 5**.

A permit is not required for the removal of vegetation under the provisions of the Public Park and Recreation Zone. This is not addressed further.



Figure 5 – Public Park and Recreation Zone – (source - mapshare.vic.gov.au)

Design and Development Overlay – Schedule 11

The purpose of the Design and Development Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

An extract of the Design and Development Overlay Map is provided in **Figure 6**.

A permit is not required for the removal of vegetation under the provisions of the Design and Development Overlay. This is not addressed further.

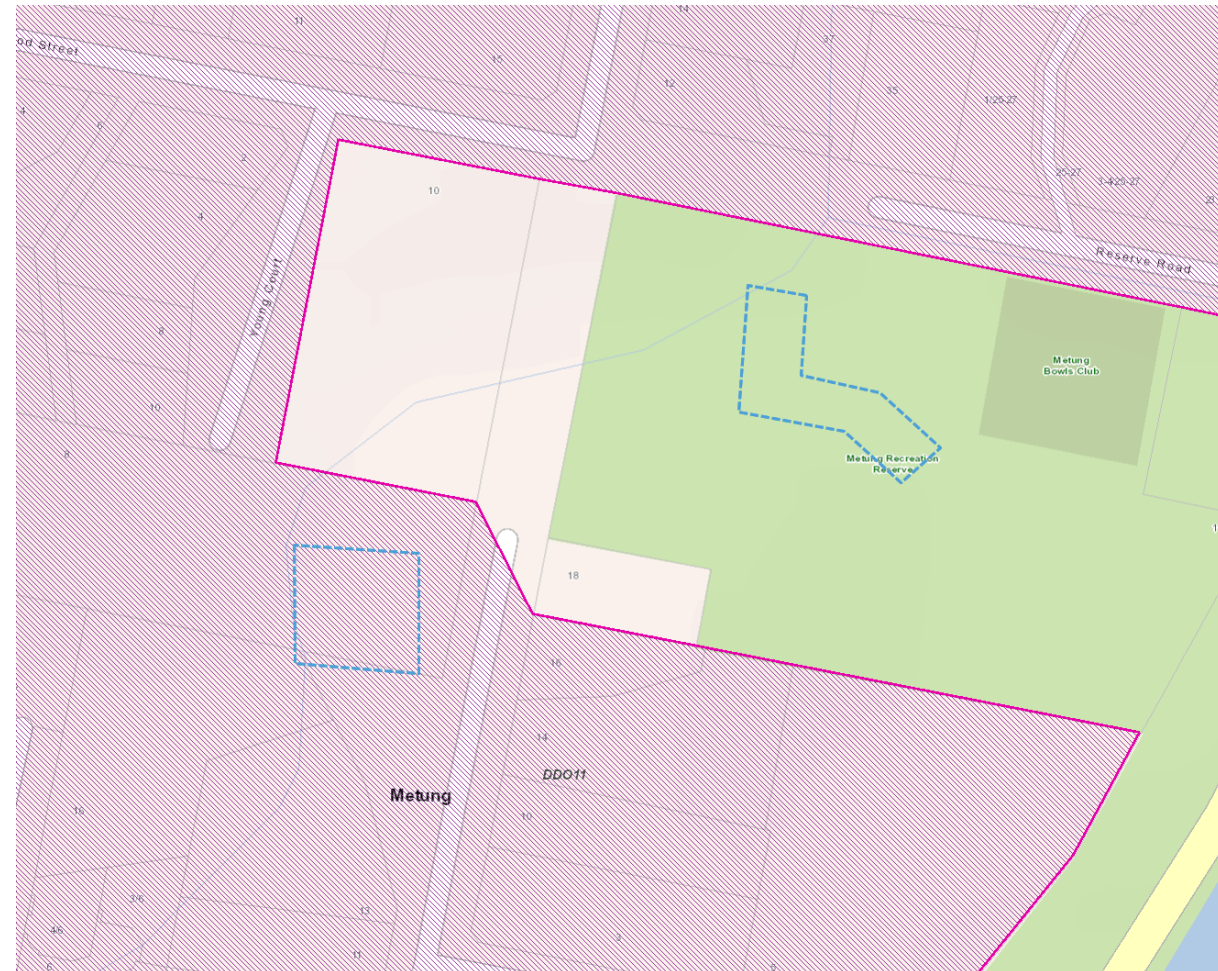


Figure 6 – Design and Development Overlay – (source - mapshare.vic.gov.au)

Erosion Management Overlay

The purpose of the Erosion Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.

An extract of the Erosion Management Overlay Map is provided in **Figure 7**.

Clause 44.01-3 provides a permit is required to remove, destroy or lop any vegetation. The Schedule provides in 3.0 a permit is not required for vegetation removal carried out by or on behalf of a public authority, government department or municipal council.

As this application is being made for and on behalf of the East Gippsland Shire Council, a permit is not required and this is not addressed further.



Figure 7 – Erosion Management Overlay – (source - mapshare.vic.gov.au)

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Land Subject to Inundation Overlay

The purpose of the Land Subject to Inundation Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework
- To identify flood prone land in a riverine or coastal area affected by the 1 in 100 (1 per cent Annual Exceedance Probability) year flood or any other area determined by the floodplain management authority.
- To ensure that development maintains the free passage and temporary storage of floodwaters, minimises flood damage, responds to the flood hazard and local drainage conditions and will not cause any significant rise in flood level or flow velocity.
- To minimise the potential flood risk to life, health and safety associated with development.
- To reflect a declaration under Division 4 of Part 10 of the Water Act, 1989.
- To protect water quality and waterways as natural resources by managing urban stormwater, protecting water supply catchment areas, and managing saline discharges to minimise the risks to the

environmental quality of water and groundwater.

- *To ensure that development maintains or improves river, marine, coastal and wetland health, waterway protection and floodplain health*

An extract of the Land Subject to Inundation Overlay Map is provided in **Figure 8**.



Figure 8 – Land Subject to Inundation Overlay – (source - mapshare.vic.gov.au)

A permit is not required for the removal of vegetation under the provisions of the of the Land Subject to Inundation Overlay. This is not addressed further.

Vegetation Protection Overlay – Schedule 3

The purpose of the Vegetation Protection Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas of significant vegetation.
- To ensure that development minimises loss of vegetation.
- To preserve existing trees and other vegetation.
- To recognise vegetation protection areas as locations of special significance, natural beauty, interest and importance.
- To maintain and enhance habitat and habitat corridors for indigenous fauna.
- To encourage the regeneration of native vegetation.

An extract of the Vegetation Protection Overlay Map is provided in **Figure 9**.

The proposal will require the indirect impact to two native trees and the direct impact of a patch of trees and as such a permit is required under the provisions of the Vegetation Protection Overlay. No exemptions apply in this instance.

The relevant decision guidelines are addressed in Section 6. An Ecological Assessment is contained in **Appendix B** which includes a Native Vegetation Information Management Report.

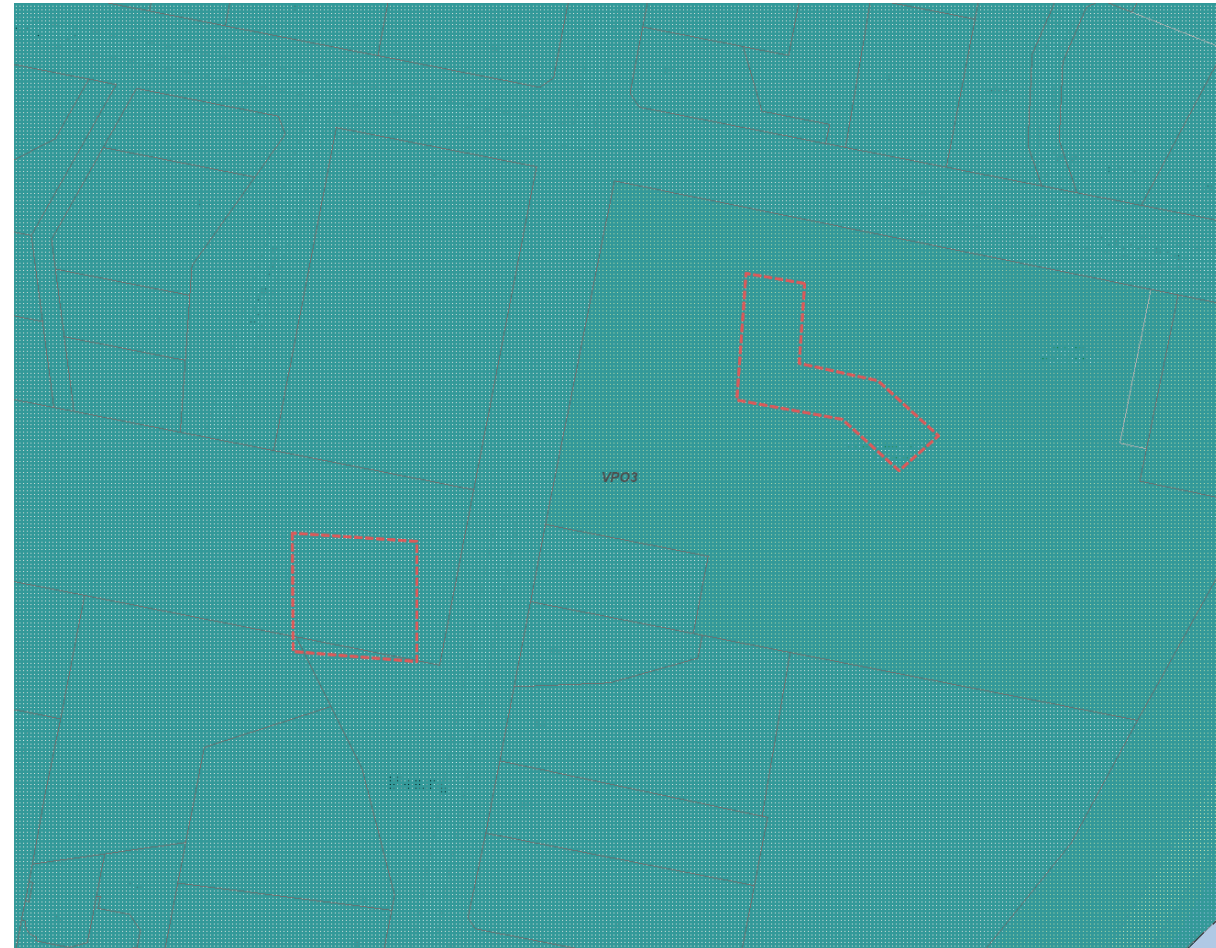


Figure 9 – Vegetation Protection Overlay – (source - mapshare.vic.gov.au)

A response to the decision guidelines of the Schedule 3 is provided below in Section 6.

Vegetation Protection Overlay – Schedule 3 continued:

Nungurner – Metung vegetation protection area.

Statement of nature and significance of vegetation to be protected.

- *The Nungurner-Metung area is located on the shores of the Gippsland Lakes and comprises large areas of remnant native vegetation and tree-lined roadsides. Much of the area constitutes a Site of Biological Significance, whilst significant areas of native vegetation are also located within the built up areas.*
- *Vegetation contributes significantly towards aesthetic values of the area and provides for a unique character in a lakeshore setting, resulting in a highly attractive area to both local residents and visitors.*
- *Remnant native vegetation throughout the area, including important examples of coastal vegetation, Gippsland Coastal Grey Box and Box - Ironbark communities, is of high conservation value and provides important fauna habitat.*
- *Remnant native vegetation plays an important role in stabilising the often*

highly erodible dissected gullies characteristic of the area.

- *Conservation and enhancement of this area is generally important to, and supported by, the local community.*

Vegetation protection objectives to be achieved include:

The Nungurner-Metung Vegetation Protection Overlay seeks to conserve high conservation value vegetation and vegetation with high aesthetic and landscape value.

The overlay objective is:

- *The overlay objective is to ensure that development occurs so as:*
- *To conserve areas of high conservation value vegetation by minimising the extent of vegetation loss.*
- *To preserve existing trees and other vegetation where it contributes to high landscape and aesthetic values of the area.*
- *To conserve and enhance fauna habitat and habitat corridors by minimising the extent of vegetation loss and encouraging regeneration of indigenous species.*
- *To reduce the risk of soil erosion and degradation of water quality by minimising the extent of vegetation loss.*

Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is recognised as being within an area of Aboriginal Cultural Heritage Sensitivity.

The proposed vegetation removal associated with stormwater infrastructure upgrades is within the area identified as being of cultural heritage significance.

The proposed removal of vegetation does not require the development of a Cultural Heritage Management Plan. A due diligence check is provided in **Appendix C**.

An extract of the Aboriginal Cultural Heritage Map is provided in **Figure 10**.

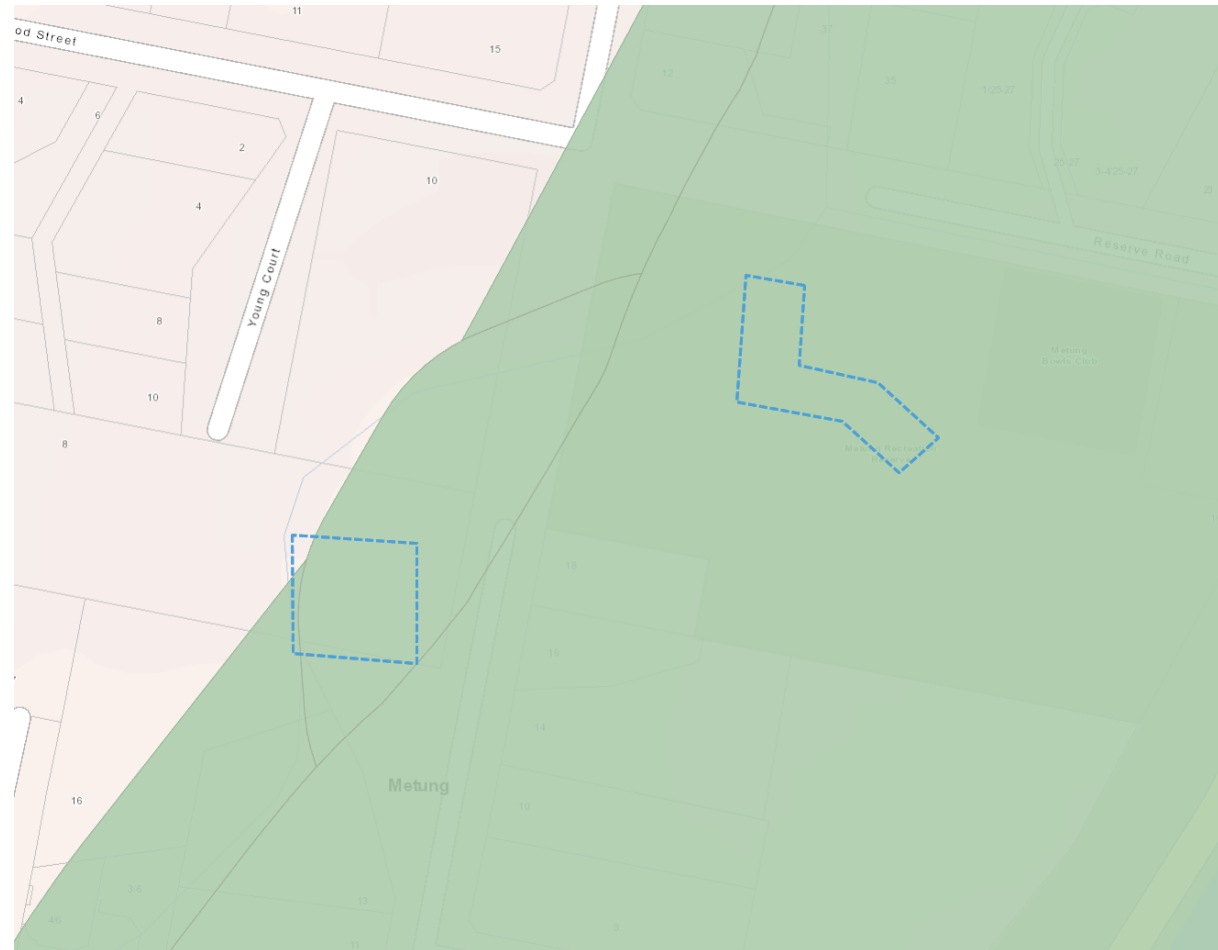


Figure 10 – Aboriginal Cultural Heritage Map – (source - mapshare.vic.gov.au)

5. OTHER PLANNING PROVISIONS

Clause 52.17 -

The purpose of the Native Vegetation provisions is:

- *To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. This is achieved by applying the following three step approach in accordance with the Guidelines for removal, destruction or lopping of native vegetation (Department of Environment, Land Water and Planning, 2017) (the Guidelines).*
 1. *Avoid the removal, destruction or lopping of native vegetation.*
 2. *Minimise the impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.*
 3. *Provide an offset to compensate for the biodiversity impact if a permit is granted to remove, destroy or lop native vegetation.*

To manage the removal, destruction or lopping of native vegetation to minimise land and water degradation.

Clause 52.17-1 provides a planning permit is required to remove, destroy or lop native vegetation, including dead native vegetation.

The Ecological Assessment provided by Ecologic NRM Pty Ltd is contained in **Appendix B** addresses all application requirements, including the avoid, minimise and offset objectives.

The decision guidelines of Clause 52.17-4 are addressed below in Section 6 of this submission.

6. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed vegetation removal is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** by providing for works that will improve stormwater drainage while respecting the surrounding environment and development as much as practicable.
- **Clause 02.03-1** identifies Metung in the towns category. Metung is a small coastal township providing residential, tourism and recreational opportunities.
- The proposed vegetation removal is necessary to facilitate infrastructure upgrades which will improve stormwater collection, movement and discharge. The works will formalise the existing drainage path, reduce erosion, flooding and provide a more controlled discharge toward Bancroft Bay. The proposal will include 183 metres of new stormwater pipe in two sections with approximately 31 metres of pipe proposed to be under bored with the balance of works to be in a 1 metre wide trench with the culvert being 1 metre deep and connect to junction pits. **Clause 11 – Settlement** – the proposal is consistent with

the objectives outlined for planning in general by improving local stormwater drainage of the area.

- **Clause 12** – provides planning must implement environmental principles for ecologically sustainable development and should protect, restore and enhance sites and features of nature conservation, biodiversity, geological or landscape value.
- The proposal has adequately considered and addressed the biodiversity and native vegetation management objectives outlined in **Clause 12** including ensuring only the minimum extent of vegetation is impacted. The East Gippsland Shire Council has sought to avoid native vegetation loss during the design process however, indirect impact of two trees located on 8 Wood Street and direct impact to a patch of native vegetation at 109 Metung Road is unavoidable to achieve the purpose of the project. Balancing the need to upgrade and formalise the gully system and existing stormwater drainage infrastructure with the retention of native vegetation is challenging however, the proposal has been designed to avoid and minimise impacts wherever practicable, with only the minimum extent of vegetation removal required to facilitate the proposal.
- **Clause 19.03-3S** requires consideration of drainage and stormwater management. The proposed vegetation removal is necessary to

upgrade and formalise the existing drainage path which will provide for a controlled discharge to the receiving environment. The works area is within the Gippsland Lakes Ramsar site approximately 160 metres from Bancroft Bay and as such will require Marine and Coastal Act (MACA) consent. This will be provided when available.

- The relevant decision guidelines of **Clause 42.02** and **52.17** have been addressed which seek to prevent any net loss of biodiversity resulting from the removal, destruction, or lopping of native vegetation.
- The purpose of the project is to upgrade and formalise the existing stormwater drainage path and infrastructure to improve stormwater movement and reduce hazards. Native vegetation removal associated with the works has been avoided and minimised wherever practicable, however, limited removal and indirect impacts on canopy trees are required to facilitate the installation of underground drainage infrastructure within the existing gully corridor.
- The proposal will result in both direct and indirect impacts to native vegetation as identified in the Ecological Assessment contained in **Appendix B** including, impacts to two Coast Grey Box (*Eucalyptus bosistoana*) within 8 Wood Street identified as trees 2 and 4 and impacts to a patch of vegetation located at 109 Metung Road which is identified in the

shaded area in Section 3 of this submission and within the Ecological Assessment. A Native Vegetation Removal report and offset calculations are provided within the Ecological Assessment accompanying this application.

- The removal of vegetation in this instance is unavoidable and the two native trees being removed will require an offset to be purchased to the value of 0.023 General Habitat Units. A Native Vegetation Information Management and offset report is contained within the Ecological Assessment at **Appendix B**.
- This submission and supporting documentation has addressed the decision guidelines of **Clause 65**, and the proposal has taken into consideration the potential effect on the environment, human health and the amenity of the area.

7. CONCLUSION

This submission is in support of a planning permit application for vegetation removal at 8 Wood Street and 109 Metung Road, Metung.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it is concluded that the proposed vegetation removal is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposed vegetation removal will provide for improved stormwater management by extending and upgrading the current infrastructure.
- The proposal is respectful of the environment and will only impact the minimum extent of vegetation necessary and will provide appropriate offsets.

It is requested that a planning permit be granted for the proposal.

Development Solutions Victoria

Disclaimer:

This document has been prepared for planning permit application purposes only. The report has been made with careful consideration and with the best information available to Development Solutions Victoria Pty Ltd at the time.

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EGSC DRAINAGE UPGRADE, METUNG

Ecological Assessment

Final

January 2026



DOCUMENT CONTROL

Client				
Title	EGSC Drainage Upgrade, Metung: Ecological Assessment			
Ecologic NRM project no	25044			
Author	Lester Wharfe			
Manager	Dr Trish Fox			
Version	Final			
Electronic file name	25044 EGSC Drainage Upgrade Metung Eco Assessment_Review 1			
Date last saved	19/1/2026 2:49 PM			
Distribution	Name/Business	Version	Format	Date
	Dr Trish Fox, Ecologic NRM, internal review	Review v1	Word	12/01/2026
	Tufail Taj, EGSC	Review v1	pdf	16/01/2026
	Tufail Taj, EGSC	Final	pdf	19/01/2026

Front cover photograph: proposed pipeline route between two non-native pines and an orchard over a weedy understorey.

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EXECUTIVE SUMMARY

East Gippsland Shire Council (EGSC) is seeking to improve storm water drainage infrastructure through private properties and public land leading to the Metung Bowls Club, 109 Metung road, Metung. The current piped stormwater system terminates in a bubble-up pit on the edge of property at No 16 David Road.

The project involves the installation of approximately 185m of new stormwater pipe in two sections.

EGSC engaged Ecologic NRM to undertake the required ecological assessment.

Biodiversity values

The site of proposed works at Metung lies within the Gippsland Plains bioregion. The Ecological Vegetation Class present is probably an ecotone between EVC 151 Plains Grassy Forest and EVC 15 Limestone Box Forest, both of which have a bioregional conservation status of vulnerable. Ecologic NRM recorded 24 native flora species and 24 weed species during surveys.

No impacts to national or state threatened ecological communities will occur. Impacts to two trees of the endangered species Coast Grey Box *Eucalyptus bosistoana*, listed as endangered under the Victorian Flora & Fauna Guarantee Act 1988, are predicted via indirect losses and have been accounted for in this report, but could be mitigated by careful onsite management during works.

Approvals

A planning permit will be required to remove 0.079ha of native vegetation associated with the installation of new drainage infrastructure. No trees will be directly removed but indirect losses to the two Coast Grey-box are anticipated and have been accounted for in this report; however, mitigation of impacts may be possible, and an independent arborist has provided recommendations. Losses must be offset by 0.023 General Habitat Units, with a minimum strategic biodiversity value of 0.195, and one large tree within the EGSC/EGCMA area. EGSC must purchase credits via the NVCR or source them internally; credits are available and may cost approximately \$2,500 (ex GST and broker fees) and broker's information is included in this report.

The pipeline route crosses the General Residential Zone and Public Park and Recreation Zones and four overlays, including a Vegetation Protection Overlay, apply; several of these overlays also trigger the requirement for a planning permits. Ecologic NRM recommends that EGSC consults with GLaWAC regarding the potential impact to cultural heritage values.

Although within the Gippsland Lakes Ramsar (wetlands of international importance) site, improvements to the drainage infrastructure are not expected to have a significant impact on the Ramsar wetland, and no referral to the Australian Government is required. As the new works will deliver stormwater more directly to the Gippsland Lakes, Ecologic NRM recommends that measures, such as gross pollutant traps, are put in place to ensure water quality is maintained.

The planning permit application required under Clause 52.17, can also be taken as an application for permission under the Marine and Coastal Act 2018.

1 INTRODUCTION

1.1 Background

East Gippsland Shire Council (EGSC) is seeking to improve storm water drainage infrastructure through private properties and public land leading to the Metung Bowls Club, 109 Metung Road, Metung. The current piped stormwater system terminates in a bubble-up pit on the edge of property at No 16 David Road. The purpose of the project is to link this pipe to the stormwater system further down the gully system through No 8 Wood Street, No 10 Wood Street, across an unmade government road reserve (Essington Close) and thence into the existing system at the Bowls Club. The result will be an uninterrupted underground stormwater system to avoid potentially damaging overland flow.

1.2 Site description

The site is a gently sloping, natural gully within the township of Metung. The gully initially runs downwards in a northerly direction swinging east as it descends to the Metung Recreation Reserve at which point it is very close to sea level and within 130m of the edge of Bancroft Bay on the Gippsland Lakes. The gully is well vegetated with remnant native trees. Some native understorey remains but other areas are completely weed invaded. There are numerous non-native tree species, introduced grasses and garden and orchard plantings along the route of the proposed pipeline. At its steepest point, the gully has an approximate gradient of 6% flattening to less than 1% around the Bowls Club.

1.3 Description of works

The project involves the installation of approximately 185m of new stormwater pipe in two sections. Approximately 31m of the pipe will be under-bored to minimize impacts on a large tree whilst the remainder will be placed in a 1m wide excavated trench. The depth of invert of the pipe will be 1m.

The new pipe will be tied into existing junction pits, and two new junction pits will be installed.

Whilst the trench will be 1m wide the assumed width of impact will be 3m.

Design drawings supplied by Crossco Consulting are included in Appendix 1.

1.4 Objectives

Ecologic NRM's objectives were to:

- Undertake a desktop review of biodiversity databases and mapping tools.
- Complete a field survey to identify and map of native vegetation and potential habitat for threatened species within the proposed works area.

2 METHODS

2.1 Desktop assessment

2.1.1 Threatened and protected species

Victorian Biodiversity Atlas (VBA) records for threatened species protected under the FFG and/or EPBC Act were assessed within 5km of the site. The 5km buffer accounted for species that have only been recorded in adjacent areas but could be present in the site, or spatial inaccuracies in the data. This species data was supplemented with species identified using the EPBC Act Protected Matters Search Tool (PMST), i.e., EPBC-listed species not recorded in the VBA but that could potentially be present. The PMST was also used to identify threatened ecological communities and other environmental values present or potentially present within 5km of the works area.

2.1.2 Ecological vegetation classes (EVC) and bioregion

The Department of Energy, Environment and Climate Action's (DEECA) online tool NatureKit was used to identify the bioregion and modelled EVC/s at the project site.

2.1.3 Planning zones and overlays

A Planning Property Report was generated using the Department of Transport and Planning's VicPlan mapping tool.

2.2 Field survey

Ecologic NRM (Lester Wharfe, Dr Trish Fox and Shayla Odd) undertook a field survey at Metung on 3 December 2025 with a follow up visit on 8 January 2026 by Lester Wharfe with arborist Nathan Williamson of Roots 2 Leaves.

2.3 Determination of assessment pathway and application requirements

The assessment pathway was determined using DEECA's NVR Map to identify the location category of the proposed native vegetation removal, and the proposed extent (hectares) of native vegetation to be removed.

Background: As per the *Guidelines for the removal, destruction or lopping of native vegetation* (the Guidelines) (DELWP, 2017) planning permit applications to remove native vegetation must be assessed under one of three pathways: basic, intermediate, or detailed. The relevant assessment pathway for an application is determined by the extent of native vegetation being removed (including past removal) and the location category (Location 1,2, or 3). The location category reflects the potential risk to biodiversity resulting from a small amount of native vegetation removal in that area. The assessment pathway dictates the level of detail required to accompany a planning permit application for the removal of native vegetation.

2.4 Determination of offset requirements

The offset requirement for this project was determined by creating a GIS spatial layer recording the extent, condition, and other characteristics of native vegetation to be removed. DEECA's NVR Map was used to produce a Native Vegetation Removal Report showing the offset requirement and type, and specifying from what geographical area the offset can be secured.

Background: Offsets are categorised as either *species* or *general* offsets. A species offset is required when the removal of native vegetation has a significant impact on habitat for rare or threatened species. A general offset is required when native vegetation is removed without significant impact on individual species. The size of the required offset is recorded in *species habitat units* (SHU) or *general habitat units* (GHU). Individual large trees are also required to be offset as part of the species or general offset.

2.5 Taxonomy

Common and scientific names for flora and fauna species in this report follow the DEECA *Victorian Biodiversity Atlas* (VBA) checklist. Please note these names are not always consistent with those used in other databases.

2.6 Survey limitations

The following limitations apply to the methodology:

- The vegetation assessment includes only vascular flora; non-vascular flora such as mosses and liverworts were not sampled, neither was aquatic flora.
- Certain flora species are only readily identifiable under specific temporal, environmental or climatic conditions. Field surveys were undertaken in summer and there is the potential that plants which flower outside this period were not detected.
- Mapping of environmental values was undertaken using a hand-held mobile device using ESRI Field Maps app. The accuracy of this mapping is therefore limited to the GPS unit and accuracy of aerial imagery, which included Vicmap Basemaps utilised in various DEECA online tools and in-built imagery in Esri ArcGIS Pro.

3 RESULTS

3.1 Desktop assessment

3.1.1 Potential impacts on Matters of National Environmental Significance

The Protected Matters Search Tool (DEECEW, 2023) identified that the works site lies within the Gippsland Lakes Ramsar site however as works are not expected to have a significant impact to the Ramsar site, no referral to the Australian Government is required.

The PMST also revealed the potential presence of two critically endangered vegetation communities: White Box-Yellow Box-Blakely's Red Gum Grassy Woodland and Derived Native Grassland and Natural Damp Grassland of the Victorian Coastal Plains. Neither community occurs at the Metung project site.

The PMST search also revealed the potential presence of numerous threatened species (listed in Appendix 4), none of which was recorded on site. Improvements to drainage will not have a negative impact on species and little potential habitat for any of the threatened flora and fauna remains.

3.1.2 Potential impacts on State threatened species

Interrogation of the VBA also revealed records for several species listed as threatened under the FFG Act (also listed in Appendix 4). The only threatened species recorded on site was *Eucalyptus bosistoana* Coast Grey Box. Indirect impacts to one large Coast Grey-box and some small Coast Grey-box are

anticipated but can be mitigated if the independent arborist's recommendations (see below) are followed.

3.2 Planning Zones and Overlays

Table 1 summarises the planning zones and overlays relevant to the site.

Table 1. Planning Zones and Overlays

Zone/Overlay	Abbr.	Comments
General Residential Zone	GRZ	Applies to 16 David Rd, 8 Wood Street and 10 Wood Street. A planning permit is required for a 'Utility installation' (other than Minor utility installation and Telecommunications facility).
Public Park and Recreation Zone	PPRZ	Applies to 109 Metung Road. A planning permit is required to construct or carry out works
Design and Development Overlay	DDO	Applies to 16 Davids Rd and 8 Wood Street. Overlay intended to protect vegetated character of area. Requires that permits consider the extent and impact of vegetation removal along with measures to avoid, minimize and mitigate that removal. Concomitant with the requirements of Section 52.17 of the planning scheme requiring a permit for the removal of native vegetation.
Erosion Management Overlay	EMO	Applies to 16 David Rd, 8 Wood Street and 10 Wood Street. Overlay intended to protect land from erosion, landslips, degradation and coastal processes. A permit is required to remove, destroy or lop any vegetation. Concomitant with the requirements of Section 52.17 of the planning scheme requiring a permit for the removal of native vegetation.
Vegetation Protection Overlay	VPO	Applies to 16 David Rd, 8 Wood Street, 10 Wood Street and 109 Metung Road. Vegetation Protection Overlay and associated VPO3 schedule, the Nungurner-Metung vegetation protection area. The overlay seeks to protect biologically and aesthetically significant vegetation within the area. Overlay specifically relates to remnant native vegetation. Relevant to the large old trees potentially impacted by the proposed works. A permit is required to remove, destroy or lop vegetation. Concomitant with the requirements of Section 52.17 of the planning scheme requiring a permit for the removal of native vegetation.
Land Subject to Inundation Overlay	LSIO	Applies to 109 Metung Road. This does not apply to the proposed works as they are outside the LSIO area.
Area of Aboriginal Cultural Heritage Sensitivity		The proposed works lie within 'Areas of cultural heritage sensitivity', defined under the Aboriginal Heritage Regulations 2018, which include registered Aboriginal cultural heritage places and landform types that are generally regarded as more likely to contain Aboriginal cultural heritage. Ecologic NRM advises EGSC to consult with GLaWAC to determine if the drainage upgrades would impact act on cultural values.

3.3 Vegetation and landscape description

3.3.1 Ecological vegetation classes (EVC), bioregion and vegetation

DEECA's online mapping tool (DEECA, 2024a) shows the Ecological Vegetation Class Plains Grassy Forest EVC 151 as present in the area, with Limestone Box Forest EVC 15 also mapped locally; the latter's species composition matches more closely that found on site. It is likely that the actual EVC on site is Limestone Box Forest or an ecotone between the two EVCs. Both have a bioregional conservation status of Vulnerable in the Gippsland Plains bioregion (DEECA, 2024b).

The route of the proposed pipeline includes remnant native trees and some areas of native understorey along with planted trees, introduced grasses and other weeds, and garden and orchard plantings. The route of the proposed pipeline will require removal of a small patch (0.008ha) of native vegetation to the south-west of the tennis courts (Zone 1 in NVR report). This patch will be subject to direct removal.

All native and non-native trees were assessed by an appropriately qualified arborist in a pre-planning survey to provide advice on impacts to tree root zones. These reports are not included in this report as they considered all tree species, native and non-native. During Ecologic NRM's initial surveys, it was noted that two trees had not been included in either the feature survey or the arborist's pre-planning surveys. Ecologic NRM organized an arborist, Roots 2 Leaves, to return to the site to assess those trees; the memo regarding those trees is included in Appendix 5. Information about impacts on all native trees along the pipeline route is presented in Table 2

Table 2. Native trees (numbered as in Figure 1) on the pipeline route and potential impacts

Tree #	Species	DBH (cm) ¹	DBH (cm) ¹	TPZ (m)	Impact assumption	Notes / Comments from surveys
1	Coast Grey-box	70	70	8.4	No loss	Arborist inspection indicates 17.2% impact, however tree can be safely retained (see Appendix 5).
2	Coast Grey-box	124	124	14.88	Indirect impacts	Arborist inspection indicates 21.2% impact. Presumed lost and accounted for in offset calculations in this report
3	Coast Grey-box	58, 56	58	7	No loss	No impact, arborist's pre-planning survey report.
4	Coast Grey-box	41	41	4.9	Indirect impacts	Not on feature survey. Revisited by arborist. Presumed lost and accounted for in offset calculations in this report
5	Coast Grey-box	54, 54	54	6.5	No loss	No impacts as pipe connects with existing infrastructure here
6	Coast Grey-box	43	43	5.2	No loss	No impacts as pipe connects with existing infrastructure here
7	Coast Grey-box	25	25	3	No loss	No impact, arborists report.
8	Blue Box	155	155	15	No loss	Underboring proposed here to avoid impacts.

¹ two measurements indicate tree had multiple trunks; the dbh of the largest trunk was used to calculate TPZs

EGSC has committed to under-boring the pipe in the vicinity of a large Blue Box *Eucalyptus baueriana* (which has a dbh of 155cm) following advice from the arborist regarding this significant habitat tree (Tree

8 in Table 2 and Figure 1). No impacts, direct or indirect, will occur to this tree. The arborist used an air spade to undertake an investigation of potential impact to roots of a large Coast Grey-box *Eucalyptus bosistoana*, which is listed as endangered in the Flora & Fauna Guarantee Act 1988, showing that this tree would not be impacted.

Indirect impacts were predicted to occur to another large tree, the endangered species Coast Grey-box (70cm dbh; Tree 1 in Figure 1), as excavation may impact 17.2% of the Tree Protection Zone. However, the arborist has stated that as the tree is within a gully, it is likely that most functional and structural roots extend into undisturbed ground upslope on the opposite side of the proposed trench; proposed works will not compromise the tree's health or structural stability.

The arborist has also recommended that further investigation is required to ensure a third large Coast Grey-box (124cm dbh; Tree 2 in Figure 1) is not impacted: the impact to its TPZ is predicted to be 21.2% and the arborist has suggested several management options to determine retention viability. Ecologic NRM has included this tree as lost for the purposes of this report.

Impacts to a small Coast Grey-box (41cm dbh; Tree 4 in Figure 1) are also anticipated and this tree has been assumed lost.

The presence of a Coast Grey-box which appears to have been poisoned recently by persons unknown was also noted. This tree was made safe by an arborist as limbs were dropping into the adjacent tennis court. In aerial photos this tree still appears as a healthy canopy but is already lost. The dbh of the two trunks was 53 and 58cm. This loss had not been accounted for within this study.

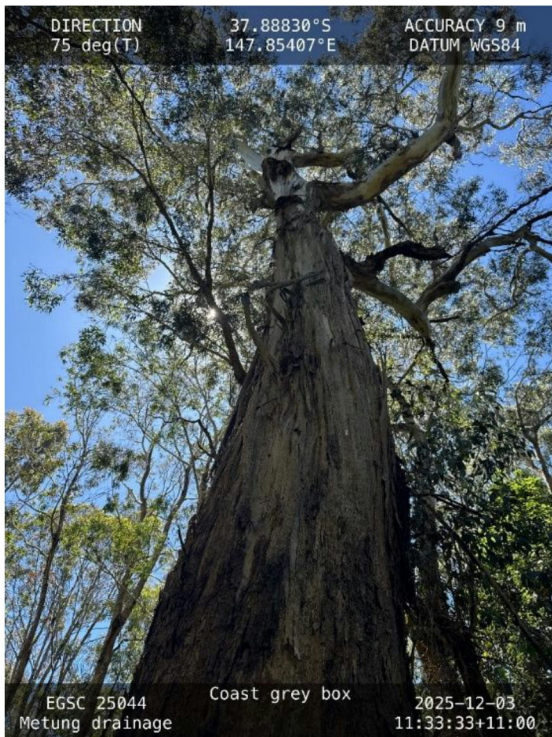


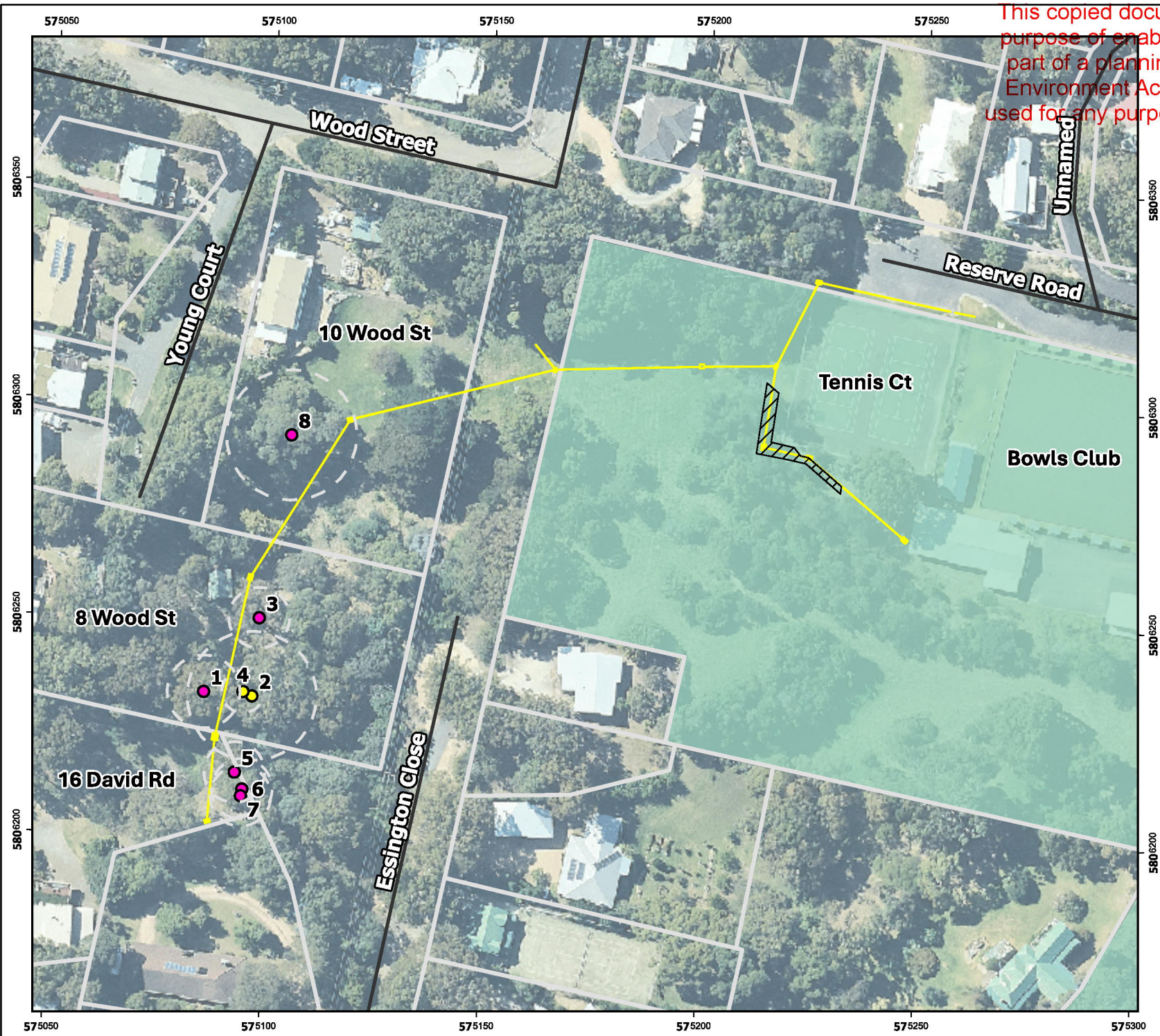
Plate 1. Predicted indirect loss of this Coast Grey-box (Tree 2 in Fig 1) could be mitigated if the arborist's recommendations are followed.



Plate 2. Moderate impacts to the root zone of this Coast Grey-box (Tree 3 in Fig 1) are predicted but the arborist has advised that works can proceed as planned.

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Figure 1: Native vegetation patch to be removed and tree impacts (direct and indirect) on the proposed pipeline route at Metung.



- Native canopy trees
 - Indirect impacts
 - No loss
- Tree Protection Zones (TPZ)
- ▨ Extent of native vegetation removal
- Drainage alignment
- Roads
- ▭ Cadastre - Parcel
- PLM25

Coordinate system
GDA2020 MGA Zone 55

N

0 0.01 0.03 0.04 0.06
Kilometres

Ecologic NRM project: 25044 Drainage Upgrade Metung
Client:





Plate 3. The dead Coast Grey-box

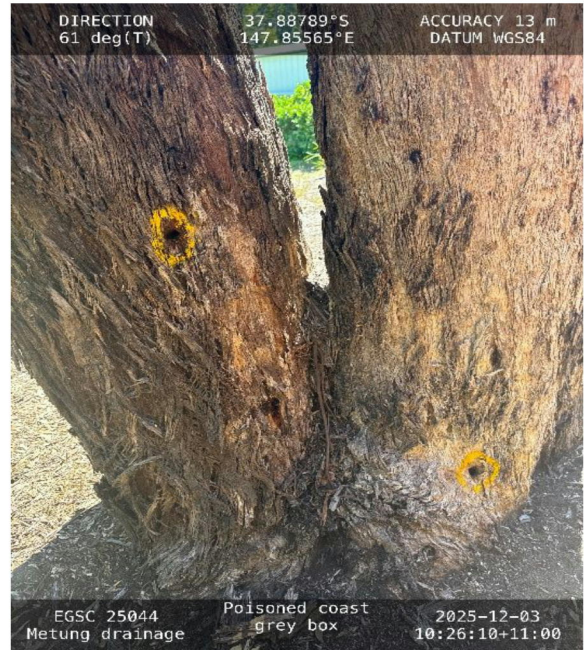


Plate 4. Drill holes were highlighted by the arborist to demonstrate that this tree had been intentionally poisoned by persons unknown.



Plate 5. Part of the pipeline route where no native vegetation occurs.



Plate 6. Weedy area around an existing stormwater pit.

Ecologic NRM recorded 24 native flora species and 24 weeds and/or non-Victorian flora species, and these are listed in Appendix 2. The various fruit trees in the orchard are not included in the flora list.

3.3.2 Weeds

Of the introduced species recorded by Ecologic NRM, several are declared noxious weeds under the Catchment and Land Protection Act 1994 (Vic.) (CaLP Act) and are also Weeds of National Significance: Blackberry *Rubus fruticosus* spp. agg. and Bridal Creeper *Asparagus asparagoides*. African Love-grass *Eragrostis curvula* is also classified as Regionally Controlled Weeds in the East Gippsland Catchment Management Area. Regionally Controlled Weeds are invasive plants that are usually widespread in a region; landowners must take all reasonable steps to prevent their growth and spread (VRO, 2020). Other highly invasive environmental weed species such as Bluebell Creeper *Billardiera heterophylla* and Wandering Trad *Tradescantia fluminensis* occur within the work site and Ecologic NRM advises EGSC to ensure contractors demonstrate excellent weed hygiene protocols during works.

3.4 Planning and Environment Act 1987

Removal of native vegetation under Clause 52.17 of the East Gippsland Planning Scheme requires a planning permit from the East Gippsland Shire Council in accordance with the *Guidelines for the removal, destruction and lopping of native vegetation* (DELWP, 2017) unless an exemption applies. No exemptions apply in this case.

EGSC must obtain a planning permit for removal of 0.079ha of native vegetation and one large tree

3.4.1 Assessment pathway

The assessment pathway for this project has been identified as **Intermediate** as per Table 3 based on the extent and location (Location 1) of the proposed native vegetation removal.

Table 3. Assessment pathway

Extent (including any past removal)	Location Category		
	Location 1	Location 2	Location 3
Less than 0.5 hectares and not including any large trees	Basic	Intermediate	Detailed
Less than 0.5 hectares and including one or more large trees	Intermediate	Intermediate	Detailed
0.5 hectares or more	Detailed	Detailed	Detailed

3.4.2 Topographic and landform information

Table 4 summarises the topographic and land information that addresses Decision Guidelines 2, 3 and 4 in the *Assessor's handbook – Applications to remove, destroy or lop native vegetation* (DELWP, 2019).

Table 4. Topographic and landform information

Value	Site Applicability and Details
Role of native vegetation in protecting water quality, waterways, and riparian ecosystems.	This proposal seeks to remove a small area (0.008ha) of native vegetation to avoid the concentration of storm water in a small section of the gully system concerned.
Site within 30 metres of wetland or waterway	Not applicable
Prevent land degradation particularly where ground slopes more than 20 percent, on land that is subject to soil erosion or slippage, in harsh environments.	The slope in this location is gently sloping and less than 20%. There is low risk of erosion and soil slippage. The proposed works seek to reduce overland flow of water within the gully specifically to reduce erosion risk. Erosion and sediment control measures are recommended during the works.
Preventing adverse effects on groundwater quality.	The new works will deliver stormwater more directly to the Gippsland Lakes therefore it is recommended that measures, such as gross pollutant traps, are put in place to ensure water quality is maintained.
Manage native vegetation to preserve identified landscape values.	Direct loss of native vegetation has been minimized in this proposal. Indirect losses of canopy trees have been minimized by under-boring where possible. It is recommended that a qualified arborist provides further advice and onsite supervision during trenching to minimize unavoidable indirect losses.

3.4.3 Extent and type of native vegetation removal

A total of 0.079ha of native vegetation will be lost, directly and indirectly, by the proposed drainage upgrade at Metung. A Native Vegetation Removal Report is included in Appendix 6.

Table 5. Extent and type of native vegetation removal

Zone type: P – Patch; S – Scattered tree; CT – Canopy tree

Zone type	EVC or Species	DBH	Extent of removal (hectares)	Number of large trees
Patch	GipPO151		0.008	0
Patch Tree (outside mapped patch)	Coast Grey-box	40		0
Patch Tree (outside mapped patch)	Coast Grey-box	124	0.07	1
-			0.079^a	

^a – see NVR report in Appendix 6 for confirmation

3.4.4 Avoid and minimise statement

EGSC has avoided the loss of native vegetation by careful design work and by engaging a qualified arborist to provide preliminary advice on significant trees.

However, total avoidance was not possible given the requirement to introduce sub-surface drainage within an existing gully system but impacts are relatively low (0.079 ha).

EGSC has accepted the recommendation that under-boring in the vicinity of the large Blue Box (Plate 7) rather than trenching and will fund this to ensure this tree is not impacted.

Ecologic NRM recommends that EGSC employs a qualified arborist to provide further advice and onsite supervision to minimise impacts to the single large old Coast Grey-box canopy tree and the smaller Coast Grey-box canopy tree identified as subject to indirect loss.



Plate 7. The large Blue Box (dbh 155cm)

3.4.5 Offset requirement and statement

The loss of 0.079ha of native vegetation must be offset by 0.023 General Habitat Units with a minimum strategic biodiversity value score of 0.195 as outlined in Table 8. No species offset is required.

Table 6. Summary of offset requirements

Offset Type	Offset Amount / Details
General Offset	
General offset amount	0.023 General Habitat Units
Minimum strategic biodiversity value score	0.195
Large trees	1
Vicinity	East Gippsland Catchment Management Authority (EGCMA) or East Gippsland Shire Council

3.4.6 Offset availability and pricing

The required offset is currently available for purchase via the Native Vegetation Credit Register (NVCR) (Appendix 5). EGSC must purchase credits via the NVCR or source them internally.

Table 7. Indicative cost to purchase offset credits

Offset Type	Indicative cost per 1 unit	Indicative cost for this project
General Habitat Units with large trees	\$103,000 - \$114,000	\$2,495.50
Total indicative cost		\$2,495.50

Recent trades show that General Habitat Units with large trees have sold for between \$103,000 and \$114,000 in East Gippsland (small trades with 1 large old tree in 2025). The cost of the offset required for this project could therefore be \$2,495 if the average cost is assumed. Brokers fees and GST are excluded from this estimate. These offsets are available and information about brokers is included in Appendix 5.

3.4.7 Non-applicable planning permit application requirements

Table 8 summarises the application requirements for a planning permit to remove native vegetation and identifies which ones are not relevant to the current project and hence have not been addressed in this report.

Table 8. Summary of planning permit application requirements relevant to this project

Number	Application Requirement	Applicable (Y/N)
1	Information about the native vegetation to be removed	Y 3.3.1
2	Topographic and land information relating to the native vegetation to be removed	Y 3.4.2
3	Recent, dated photographs of the native vegetation to be removed	Y Throughout report
4	Details of any other native vegetation approved to be removed, or that was removed without the required approvals	N
5	An avoid and minimise statement	Y 3.4.4
6	A copy of the Property Vegetation Plan	N
7	Written defensible space statement	N
8	Native Vegetation Precinct Plan statement	N
9	Offset statement	Y 3.4.5
10	Site assessment report of the native vegetation to be removed	Y
11	Information about impacts to rare or threatened species habitat	N

4 POLICY AND LEGISLATIVE CONTEXT

4.1 State laws and policies

4.1.1 Flora and Fauna Guarantee Act 1988

The *FFG Act 1988* is the Victorian Government's legislation for the conservation of threatened species and communities and the management of potentially threatening processes. The FFG Act provides for the listing of threatened plant and animal species and ecological communities (Threatened List) and potentially threatening processes (Processes List). It also contains provisions for protected flora, which are not listed as threatened, but declared to be protected under Section 46 of the FFG Act.

Although a threatened species (Coast Grey-box) may be indirectly lost, no FFG permit is required as the trees are on private land.

4.1.2 Catchment and Land Protection Act 1994

The CaLP Act is the Victorian Government's legislation governing the management of invasive species in the State, including defining responsibilities for landowners based on threats to catchment and other values. Ecologic NRM recommends that EGSC advises contractors to control and prevent the spread of

EGSC must take all reasonable steps to prevent the growth and spread of the Regionally Controlled weeds Blackberry, Bridal Creeper and African Lovegrass during the drainage infrastructure upgrade at Metung.

4.1.3 Marine and Coastal Act 2018

Marine and coastal Crown land is defined under section 4 of the Marine and Coastal Act 2018. All use, development and works on marine and coastal Crown land by any party, including committees of management, requires consent under the Marine and Coastal Act 2018 (DELWP, 2018). Once an application for a planning permit has been made, EGSC's application will be directed to DEECA for consideration. Under section 61(3) of the Planning and Environment Act 1987, the local government cannot issue a planning permit on marine and coastal Crown land unless consent under the Marine and Coastal Act 2018 has been issued.

The planning permit application required for the Metung drainage upgrade can also be taken to be an application for consent under the Marine and Coastal Act 2018.

4.2 Commonwealth laws

4.2.1 Environment Protection and Biodiversity Conservation Act 1999

The *Environment Protection and Biodiversity Conservation (EPBC) Act 1999* is the Australian Government's environmental legislation which provides a legal framework to protect and manage nationally and internationally significant flora, fauna, ecological communities and heritage places, defined in the EPBC Act as Matters of National Environmental Significance.

Although within the Gippsland Lakes Ramsar site, the upgrade to the drainage infrastructure at Metung is not considered to be of significant impact to the Ramsar site. Ecologic NRM recommends the use of mitigation measures such as gross pollutant traps to ensure water quality is maintained.

5 REFERENCES

- DAWE. (2020). *Threatened species & ecological communities*. Retrieved from Australian Government Department of Agriculture, water and the Environment: <https://www.environment.gov.au/biodiversity/threatened>
- DEECA. (2024a). *NatureKit*. Retrieved from Biodiversity: <https://www.environment.vic.gov.au/biodiversity/naturekit>
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- DELWP. (2017). *Guidelines for the removal, destruction and lopping of native vegetation*. Melbourne: Victorian Government Department of Environment, Land, Water and Planning.
- DELWP. (2018). *Use, development and works on marine and coastal Crown land: Fact Sheet*. The State of Victoria Department of Environment, Land, Water and Planning .
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- DSE. (2004). *Vegetation Quality Assessment Manual - Guidelines for applying the Habitat Hectares scoring method Version 1.3*. Melbourne: Victorian Government Department of Sustainability and Environment.

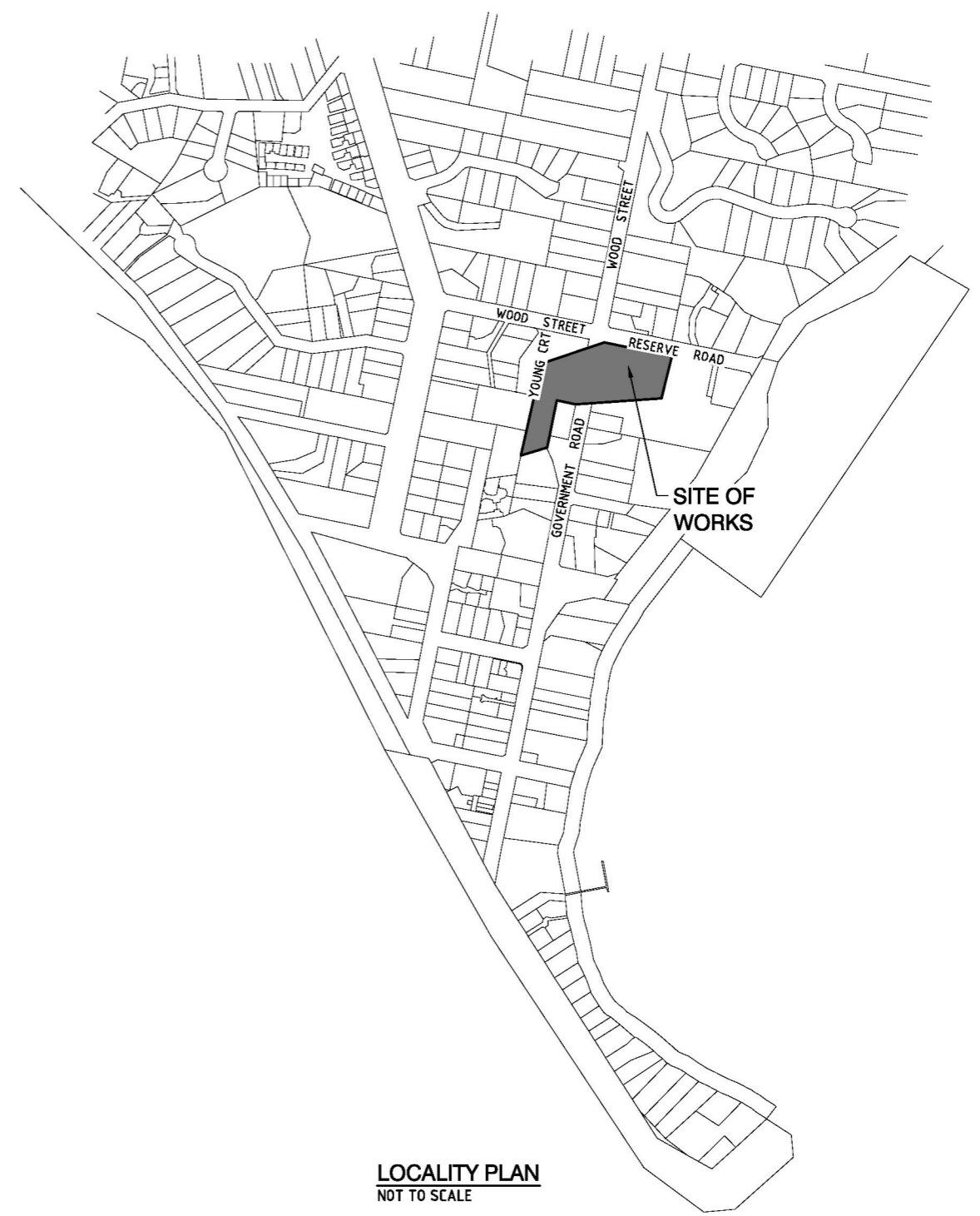
6 APPENDICES

Appendix 1 Design drawings (supplied by Crossco Consulting Pty Ltd)

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METUNG DRAINAGE IMPROVEMENTS, METUNG

METUNG BOWLS CLUB DRAINAGE WORKS



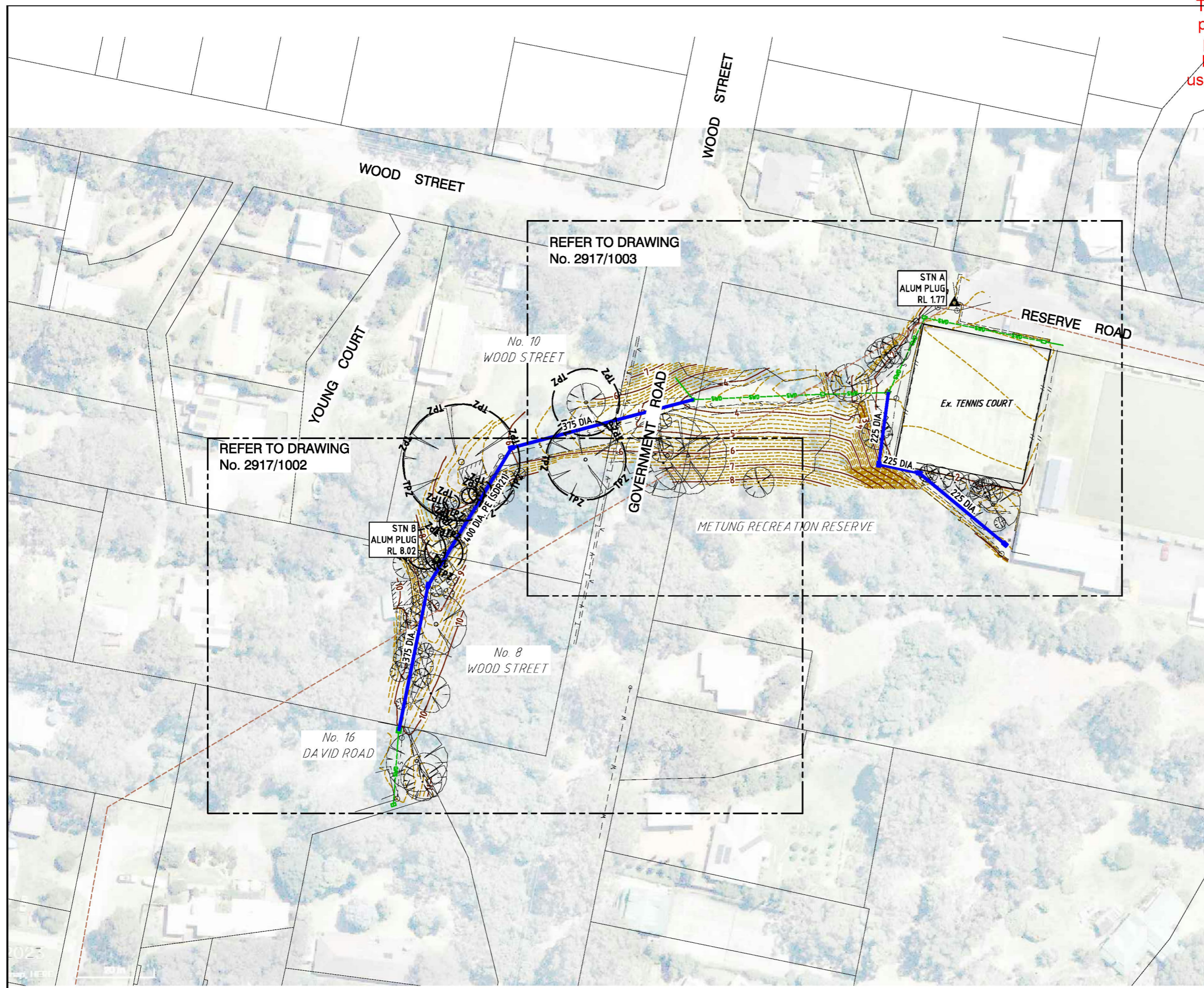
LOCALITY PLAN
NOT TO SCALE

DRG. No.	DESCRIPTION
2917/1000	LOCALITY PLAN AND DRAWING LIST
2917/1001	OVERALL LAYOUT PLAN
2917/1002	DETAIL LAYOUT PLAN - SHEET 1 OF 2
2917/1003	DETAIL LAYOUT PLAN - SHEET 2 OF 2
2917/1004	DRAINAGE LONGITUDINAL SECTION
2917/1005	STANDARD DETAILS

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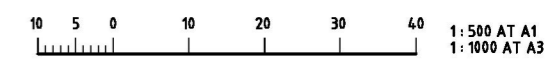
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- 1 PROPOSED STORMWATER PIT
- 1 PROPOSED STORMWATER PIT No.
- EXISTING CONTOURS (0.5m INTERVAL)
- EXISTING EDGE OF SEAL
- EXISTING KERB
- EXISTING STORMWATER DRAINAGE
- EXISTING DRAINAGE
- EXISTING SEWER
- EXISTING WATERMAIN
- EXISTING GASMAIN
- EXISTING ELECTRICITY
- EXISTING OVERHEAD ELECTRICITY
- EXISTING COMMS
- TPZ TREE PROTECTION ZONE (TPZ)
- EXISTING TREE/S
- EXISTING TREE/S TO BE REMOVED

STATION. CO-ORDINATE SET OUT TABLE

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STN. B	847.536	1103.938	8.02

CONTRACTOR TO LOCATE AND DEPTH ALL SERVICES IN CLOSE PROXIMITY TO NEW AND EXISTING CONSTRUCTION PRIOR TO WORKS

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 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH OCCUPATIONAL HEALTH AND SAFETY GUIDELINES.
 - ALL PIPE TO BE CLASS 2 RRJ RCP OR FRCP OR RIBBED POLYPROPYLENE UNLESS OTHERWISE SHOWN AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.
 - SEDIMENT CONTROL STRUCTURES TO BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATION AND TO THE APPROVAL OF THE SUPERINTENDENT.
 - THE CONTRACTOR IS TO UNDERTAKE WORKS TO CAUSE MINIMAL DISTURBANCE TO EXISTING SOFT AND HARD LANDSCAPING WITH IN THE WORKS AREA. DISTURBED AREAS ARE TO BE RECTIFY (AS FAR AS REASONABLY PRACTICAL) TO RETURN SITE TO EXISTING CONDITIONS AND TO THE APPROVAL OF THE SUPERINTENDENT.



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 CHECKED: R.S.
 APPROVED: M.S.

SCALE: 1:500

DATUM: HEIGHT: AND HORIZONTAL: ARBITRARY

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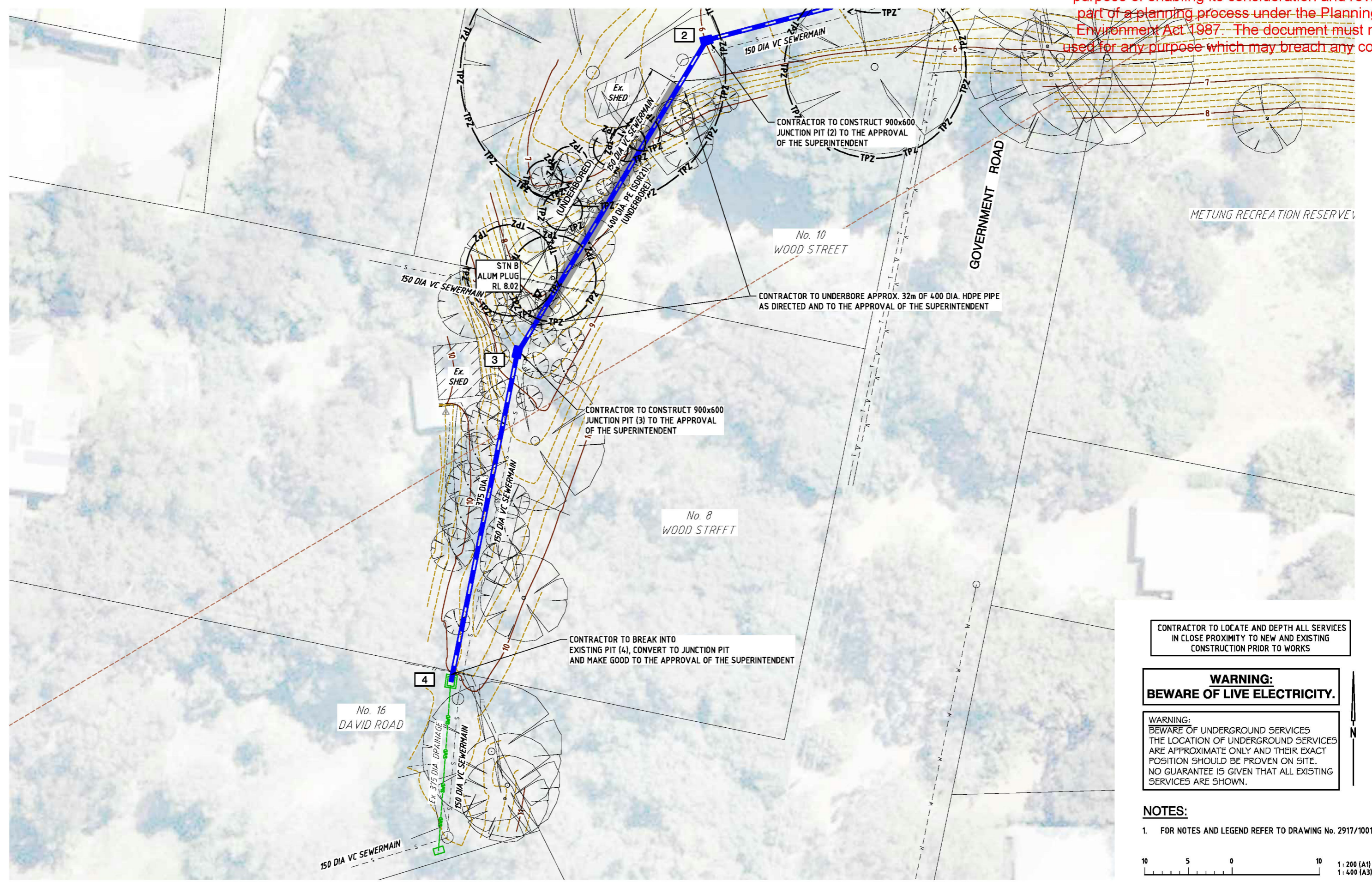
METUNG DRAINAGE IMPROVEMENTS, METUNG METUNG BOWLS CLUB DRAINAGE WORKS

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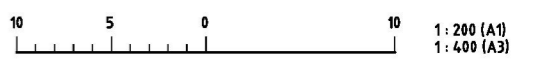
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APPROVED: M.S.		SURVEY REF: 20808
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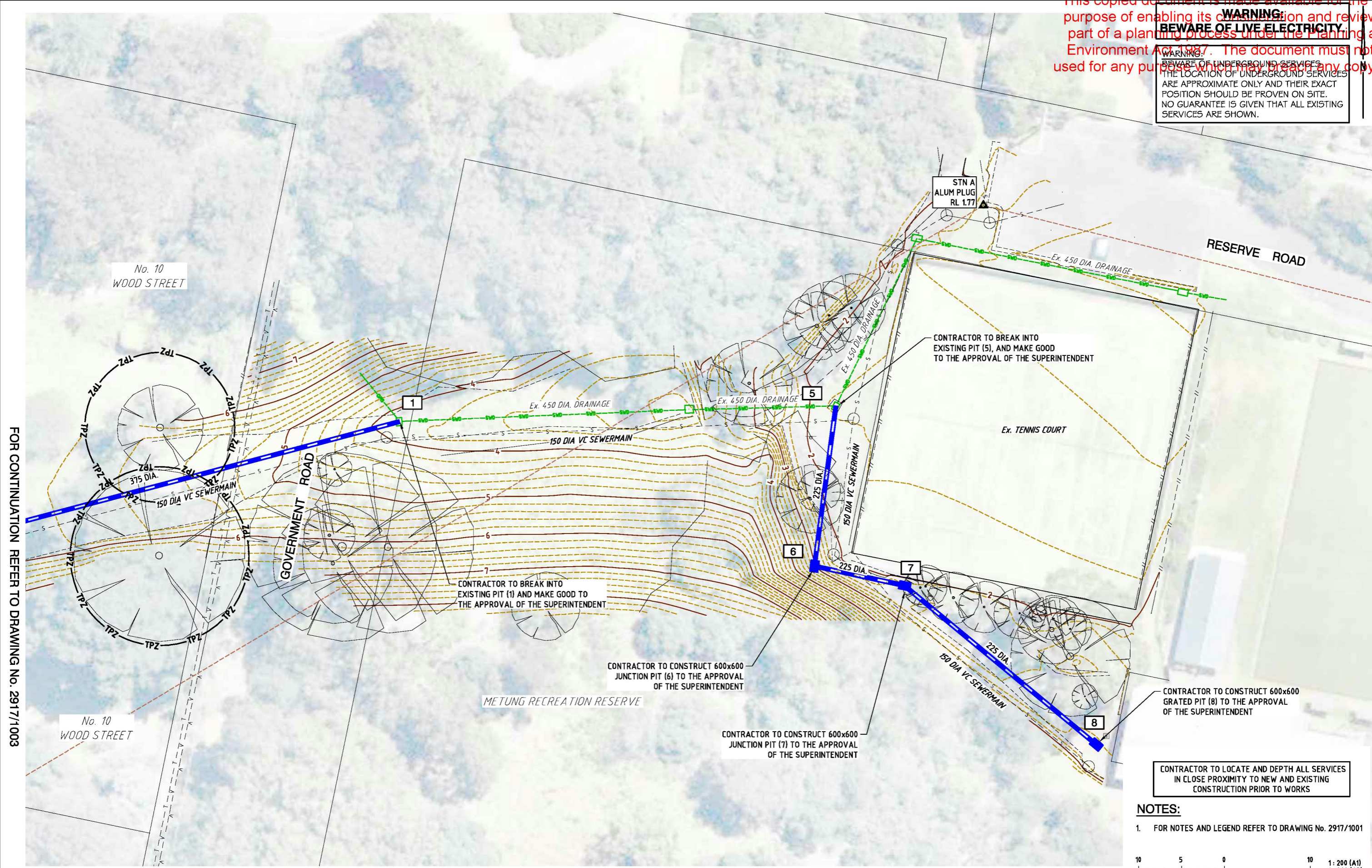
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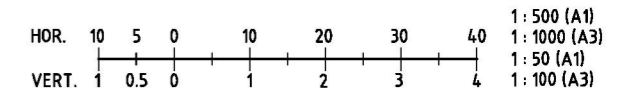
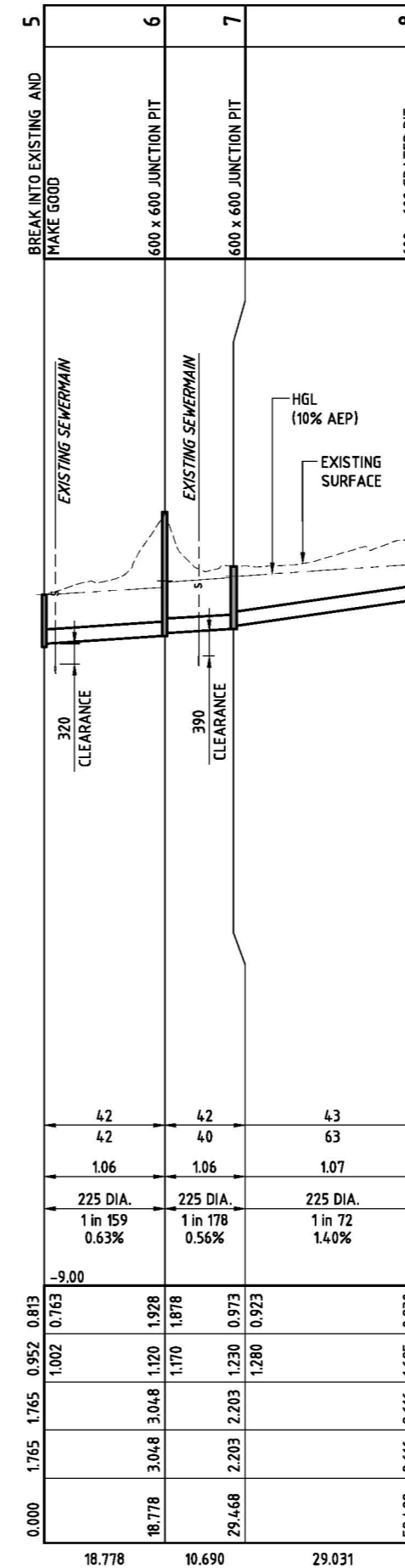
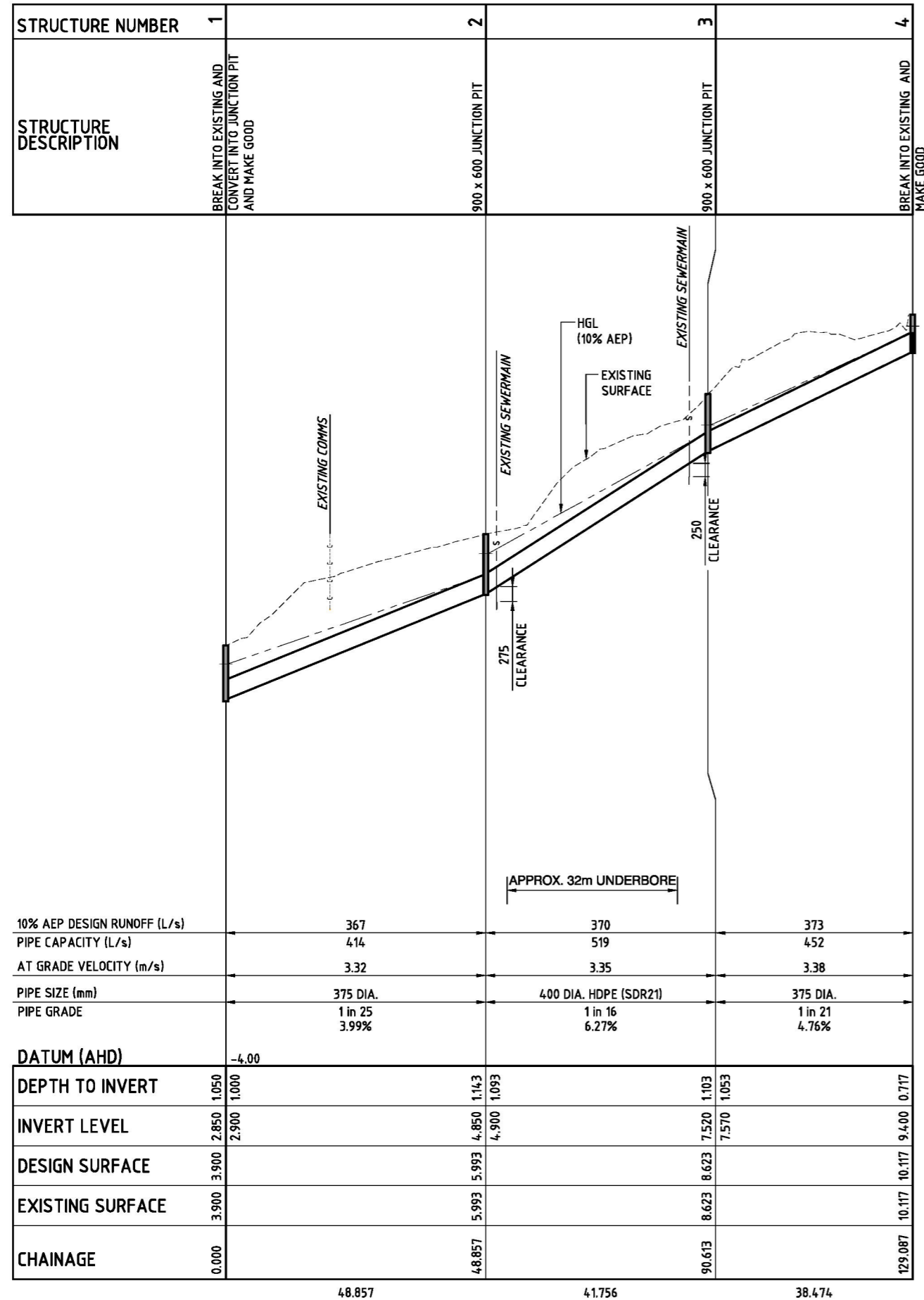
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DRAWN: A.M.M.		
CHECKED: R.S.		
APPROVED: M.S.		SURVEY REF: 20808
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DETAIL LAYOUT PLAN - SHEET 4 OF 6

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ENGINEERING & ENVIRONMENTAL CONSULTANTS

DESIGNED: A.D.
 DRAWN: A.M.M.
 CHECKED: R.S.
 APPROVED: M.S.

SCALE: AS SHOWN

DATUM: HEIGHT: AHD
 HORIZONTAL: ARBITRARY

A1

SURVEY REF: 20808
 PLAN No: -

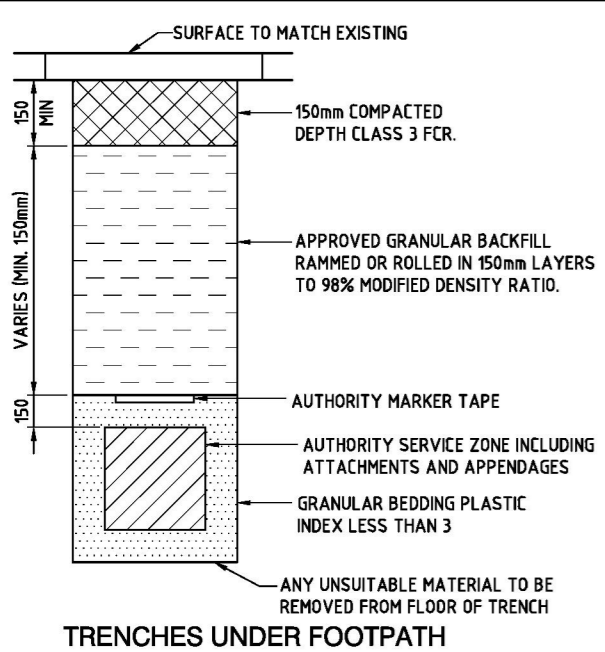
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METUNG DRAINAGE IMPROVEMENTS, METUNG METUNG BOWLS CLUB DRAINAGE WORKS

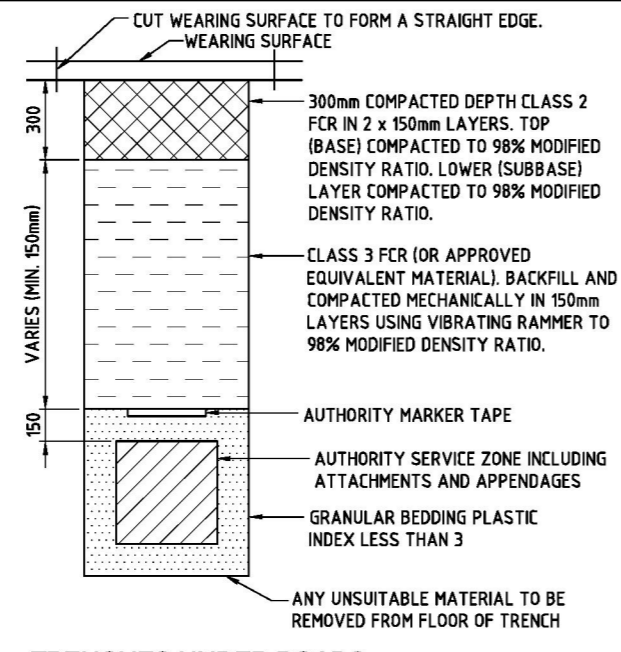
DATE: AUGUST 2025
 SHEET 5 OF 6
 DRAWING No: -

DRAINAGE LONGITUDINAL SECTION

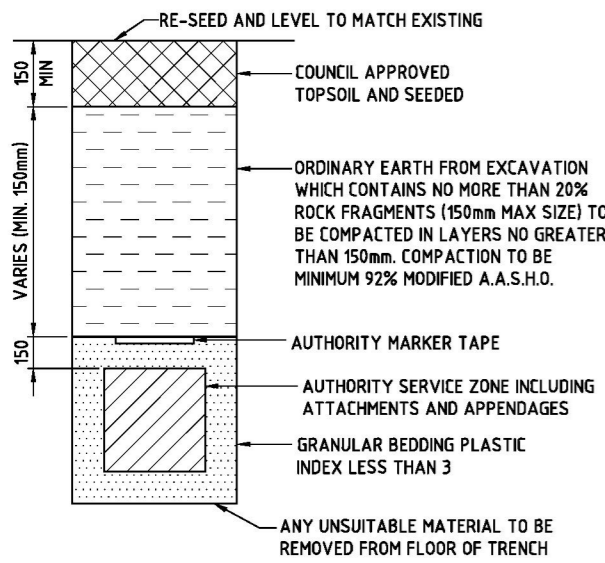
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TRENCHES UNDER FOOTPATH



TRENCHES UNDER ROADS

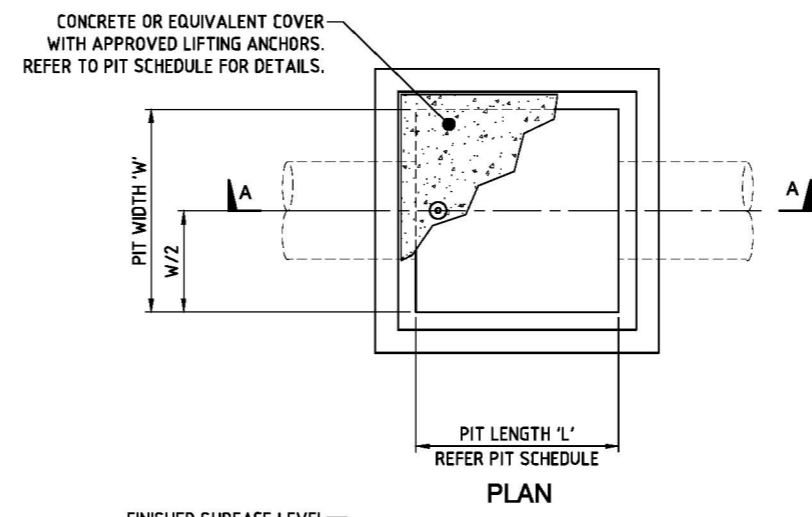


TRENCHES UNDER SWALES

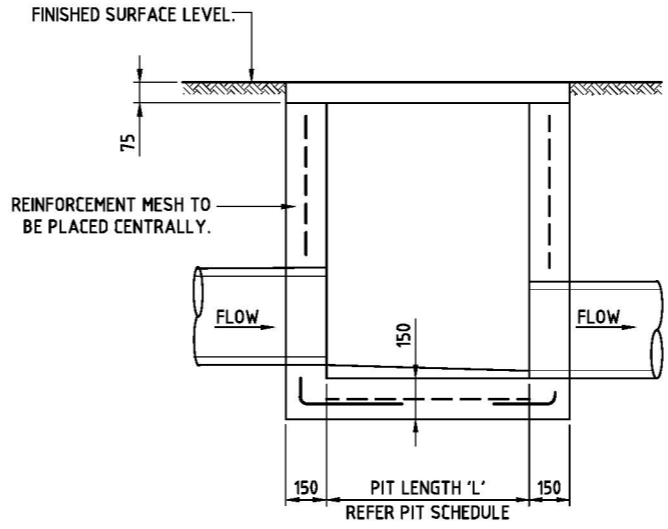
TRENCHING BACKFILL - SD 310
(TRENCHES WITHIN 1m OF COUNCIL ASSETS)
NOT TO SCALE

NOTES:

1. COMPULSORY MEASURES FOR THE PROTECTION OF TRENCHES 1.5m OR MORE IN DEPTH ARE TO COMPLY WITH THE REQUIREMENTS OF THE MINES ACT 1958 AND OH&S ACT 1985.
2. BITUMEN ROAD SURFACE SHALL BE CUT WITH GRINDER.



PLAN



SECTION A-A

NOTES:

1. CONCRETE STRENGTH F'C=25MPa (MIN) AT 28 DAYS

JUNCTION PIT WITH CONCRETE COVER- SD 425
(NON TRAFFICABLE AREAS)
NOT TO SCALE

REINFORCEMENT DETAILS

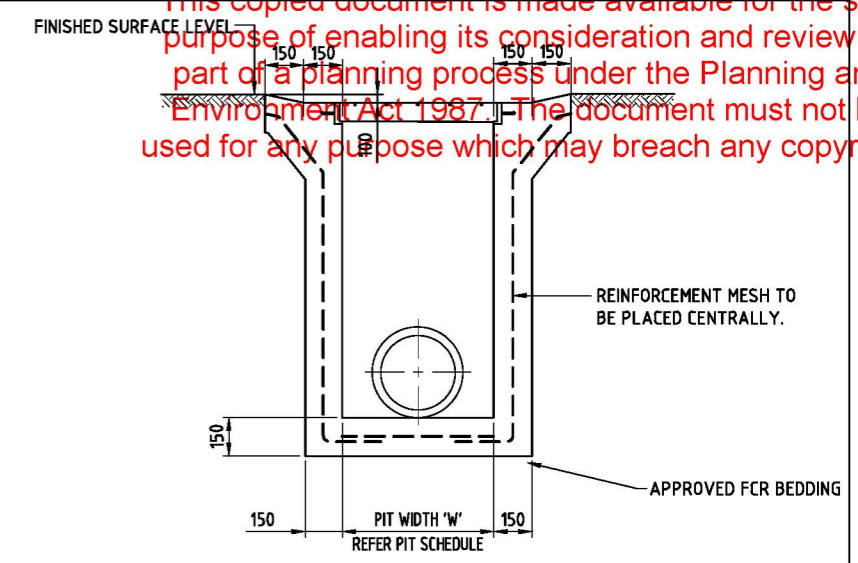
PIT LENGTH 'L' OR WIDTH 'W'	REINFORCEMENT
UP TO 1200	SL 92
1201 TO 1800	RL 918
1801 TO 2400	RL 1218

MINIMUM PIT SIZES (EASEMENTS)

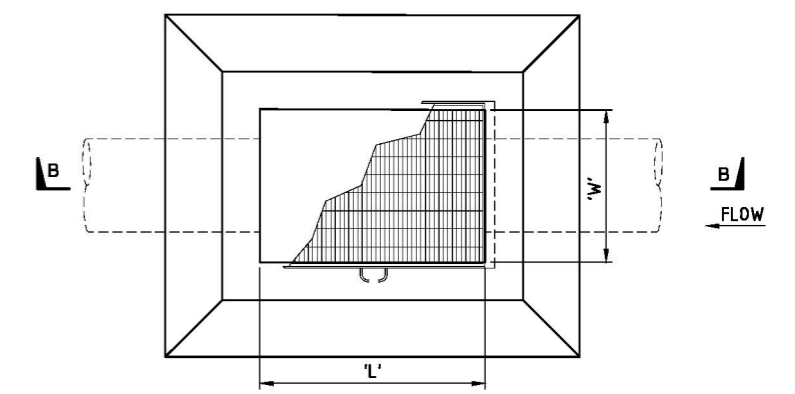
PIT DEPTH	PIT SIZE
<1000	600x600
>1000	600x900

MINIMUM PIT SIZES (ROAD RESERVES)

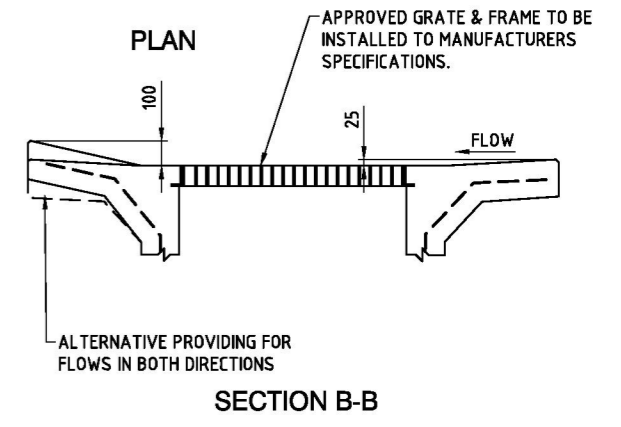
PIT DEPTH	PIT SIZE
ALL PITS	600x900



SECTION A-A



PLAN



SECTION B-B

DEPRESSED GRATED PIT (IDM SD 455) - MODIFIED
NOT TO SCALE

NOTES:

1. HEAVY DUTY COVERS TO BE USED WHEN SUBJECT TO TRAFFICABLE LOADS (AS3996 CLASS D - 210kN) OR APPROVED EQUIVALENT. MEDIUM DUTY COVERS TO BE USED IN OFF ROAD USE (AS3996 CLASS B - 80kN) OR APPROVED EQUIVALENT.
2. CONCRETE STRENGTH F'C=25MPa (MIN) AT 28 DAYS

REV.	APPL.	DATE	REVISIONS
B	M.S.	02-10-2025	EGSC COMMENTS - ISSUED FOR TENDER
A	M.S.	18-08-2025	PRELIMINARY ISSUE

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DESIGNED: A.D.	A1	DATUM: HEIGHT: AND HORIZONTAL: ARBITRARY
DRAWN: A.M.M.		
CHECKED: R.S.		
APPROVED: M.S.		
SCALE: NOT TO SCALE	SURVEY REF: 20808	PLAN No: -

ATTACHED: R:\2917 EGSC Metung Bowls Club Drainage\ACAD\Xref\2917 TB.dwg
CAD FILE NAME: R:\2917 EGSC Metung Bowls Club Drainage\ACAD\Org\2917-1005.dwg

METUNG DRAINAGE IMPROVEMENTS, METUNG METUNG BOWLS CLUB DRAINAGE WORKS

DATE: AUGUST 2025
SHEET 6 OF 6
DRAWING No: -

STANDARD DETAILS

Appendix 2 Flora species recorded during field surveys

Shaded cells indicate weed species

Scientific Name	Common Name	FFG Status	EPBC Status
<i>Acacia mearnsii</i>	Black Wattle		
<i>Acetosella vulgaris</i>	Sheep Sorrel		
<i>Agapanthus praeflexus</i>	Agapanthus		
<i>Allocasuarina littoralis</i>	Black Sheoak		
<i>Anthoxanthum odoratum</i>	Sweet Vernal Grass		
<i>Asparagus asparagoides</i>	Bridal Creeper		
<i>Asparagus officinalis</i>	Asparagus		
<i>Banksia integrifolia</i>	Coast Banksia		
<i>Billardiera fusiformis</i>	Australian Bluebell ¹		
<i>Billardiera heterophylla</i>	Bluebell Creeper ¹		
<i>Briza maxima</i>	Large Quaking-grass		
<i>Bromus sp.</i>	Brome		
<i>Callistemon sp.</i>	Bottlebrush		
<i>Cirsium vulgare</i>	Spear Thistle		
<i>Clematis glycinoides</i>	Forest Clematis		
<i>Coprosma quadrifida</i>	Prickly Currant-bush		
<i>Cupressus sp.</i>	Cypress		
<i>Dactylis glomeratus</i>	Cocksfoot		
<i>Dichondra repens</i>	Kidney-weed		
<i>Ehrharta erecta</i>	Panic Veldt-grass		
<i>Ehrharta longiflora</i>	Annual Veldt-grass		
<i>Eragrostis curvula</i>	African Love-grass		
<i>Erigeron canadiensis</i>	Tall Fleabane		
<i>Eucalyptus baueriana</i>	Blue Box		
<i>Eucalyptus bosistoana</i>	Coast Grey-box	endangered	
<i>Eucalyptus tereticornis</i> subsp. <i>mediana</i>	Gippsland Red-gum		
<i>Exocarpus cupressiformes</i>	Cherry Ballart		
<i>Fumaria muralis</i>	Wall Fumitory		
<i>Gamochaeta purpurea</i>	Spike Cudweed		
<i>Hedera helix</i> s.l.	English Ivy		
<i>Hypochaeris radicata</i>	Flatweed		
<i>Kunzea sp.</i>	Forest Burgan (upright form)		
<i>Leptospermum laevigatum</i>	Coast Tea-tree		
<i>Leptospermum sp.</i>	Tea-tree		
<i>Lilium spp.</i>	Lily		
<i>Lomandra longifolia</i>	Spiny-headed Mat-rush		

Scientific Name	Common Name	FFG Status	EPBC Status
<i>Lysimachia arvensis</i>	Pimpernel		
<i>Lotus subbiflorus</i>	Hairy Bird's-foot Trefoil		
<i>Microlaena stipoides</i> var. <i>stipoides</i>	Weeping Grass		
<i>Melaleuca</i> sp.	Paperbark		
<i>Myoporum insulare</i>	Boobialla		
<i>Myosotis arvensis</i>	Common Forget-me-not		
<i>Oxalis pes-caprae</i>	Soursob		
<i>Pennisetum clandestinum</i>	Kikuyu		
<i>Poa labillardieri</i>	Common Tussock-grass		
<i>Pittosporum undulatum</i>	Sweet Pittosporum		
<i>Plantago lanceolata</i>	Ribwort		
<i>Pteridium esculentum</i>	Bracken		
<i>Rhagodia candolleana</i> subsp. <i>candolleana</i>	Seaberry Saltbush		
<i>Rubus fruticosus</i> spp. agg.	Blackberry		
<i>Rubus parvifolius</i>	Australian Raspberry		
<i>Solanum nigrum</i>	Blackberry Nightshade		
<i>Sonchus asper</i>	Rough Sow-thistle		
<i>Stellaria media</i>	Chickweed		
<i>Themeda triandra</i>	Kangaroo Grass		
<i>Tradescantia fluminensis</i>	Wandering Trad		
<i>Viola</i> sp.	Viola		
<i>Wahlenbergia</i> sp.	Bluebell		

The various fruit trees in the orchard are not included in the flora list.

ADVERTISED

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Metung: Ecological Assessment

Final

Appendix 3 Planning Property Reports



PLANNING PROPERTY REPORT

From www.planning.vic.gov.au at 02 December 2025 04:03 PM

PROPERTY DETAILS

Lot and Plan Number: **Lot 1 TP187687**
 Address: **8 WOOD STREET METUNG 3904**
 Standard Parcel Identifier (SPI): **1\TP187687**
 Local Government Area (Council): **EAST GIPPSLAND**
 Council Property Number: **45713**
 Planning Scheme: **East Gippsland**
 Directory Reference: **Vicroads 690 C5**

www.eastgippsland.vic.gov.au

[Planning Scheme - East Gippsland](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
 Urban Water Corporation: **East Gippsland Water**
 Melbourne Water: **Outside drainage boundary**
 Power Distributor: **AUSNET**

STATE ELECTORATES

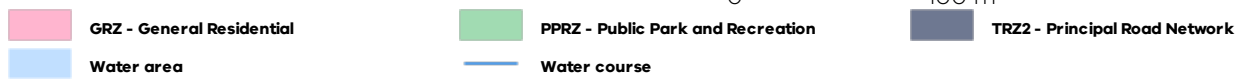
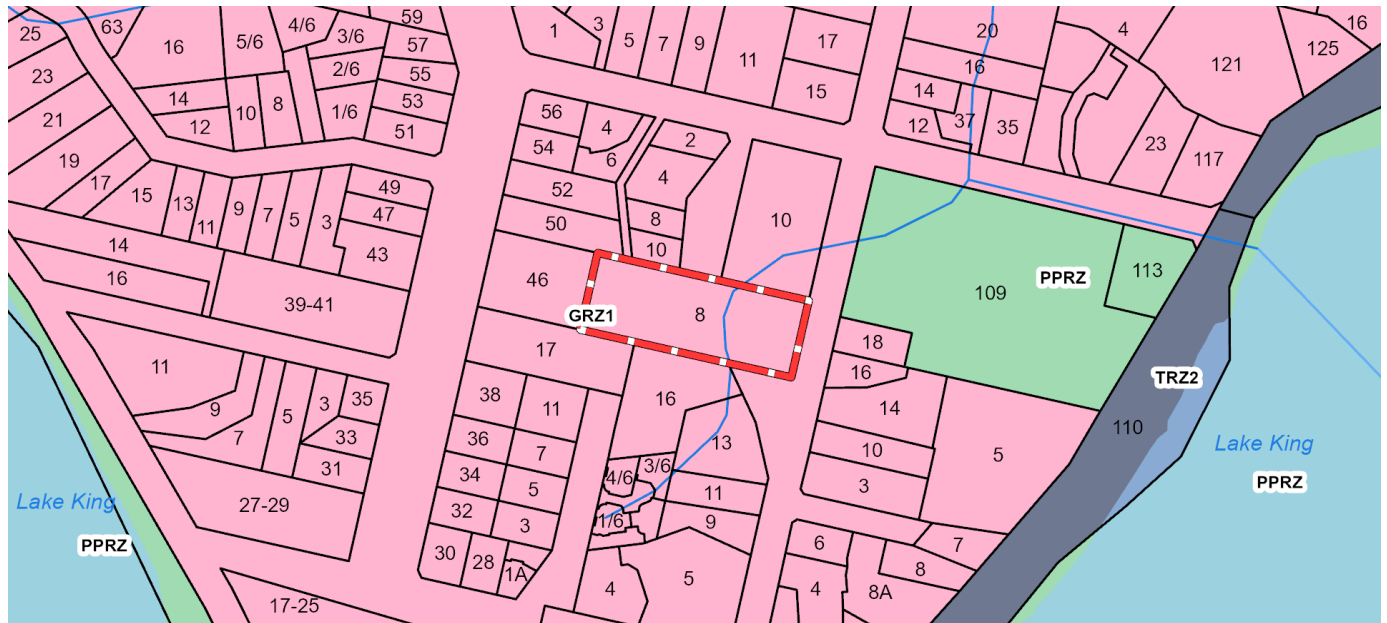
Legislative Council: **EASTERN VICTORIA**
 Legislative Assembly: **GIPPSLAND EAST**
 Registered Aboriginal Party: **Gunaikurnai Land and Waters Aboriginal Corporation**
 Fire Authority: **Country Fire Authority**

[View location in VicPlan](#)

Planning Zones

[GENERAL RESIDENTIAL ZONE \(GRZ\)](#)

[GENERAL RESIDENTIAL ZONE - SCHEDULE 1 \(GRZ1\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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PLANNING PROPERTY REPORT: Lot 1 TP187687

PLANNING PROPERTY REPORT

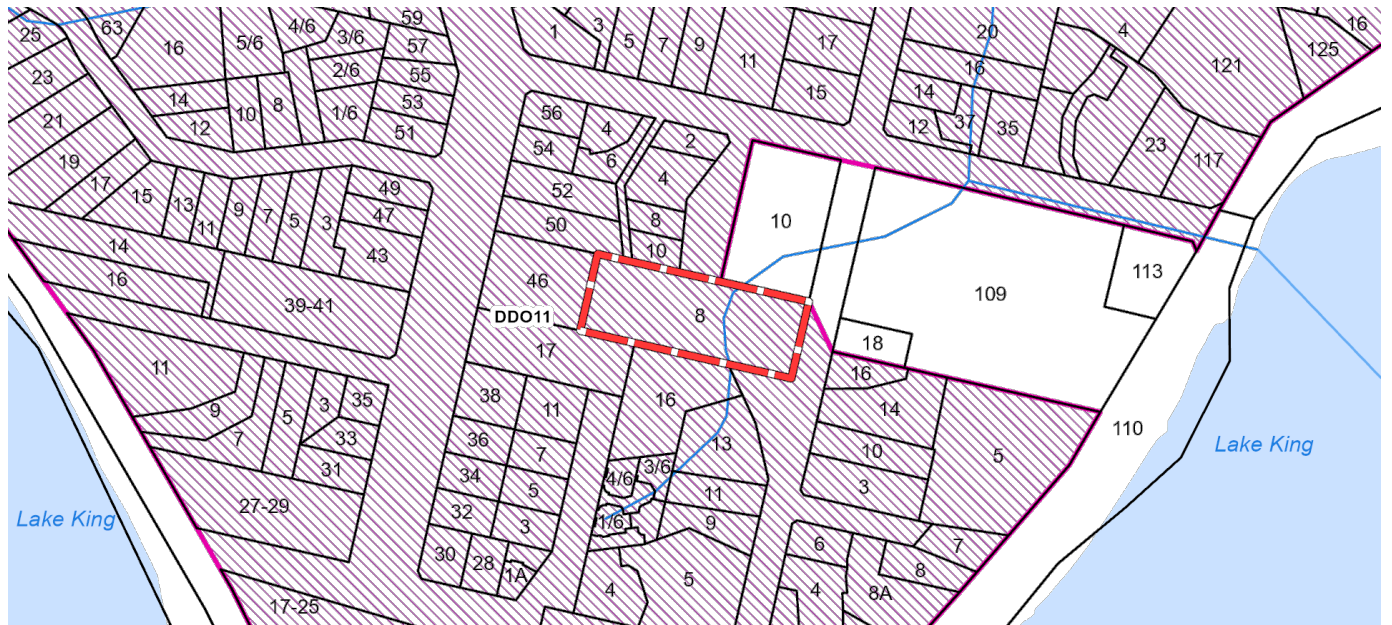
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Planning Overlays

DESIGN AND DEVELOPMENT OVERLAY (DDO)

DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 11 (DDO11)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

EROSION MANAGEMENT OVERLAY (EMO)

EROSION MANAGEMENT OVERLAY SCHEDULE (EMO)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

PLANNING PROPERTY REPORT

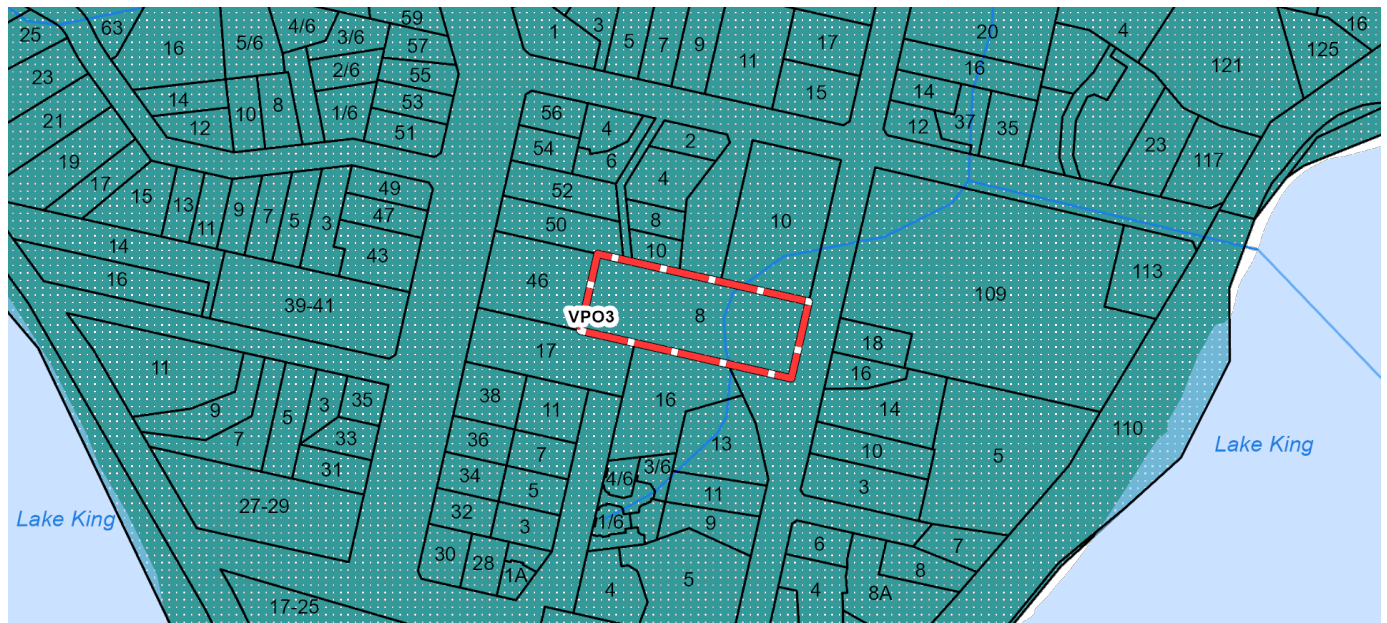
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Planning Overlays

VEGETATION PROTECTION OVERLAY (VPO)

VEGETATION PROTECTION OVERLAY - SCHEDULE 3 (VPO3)

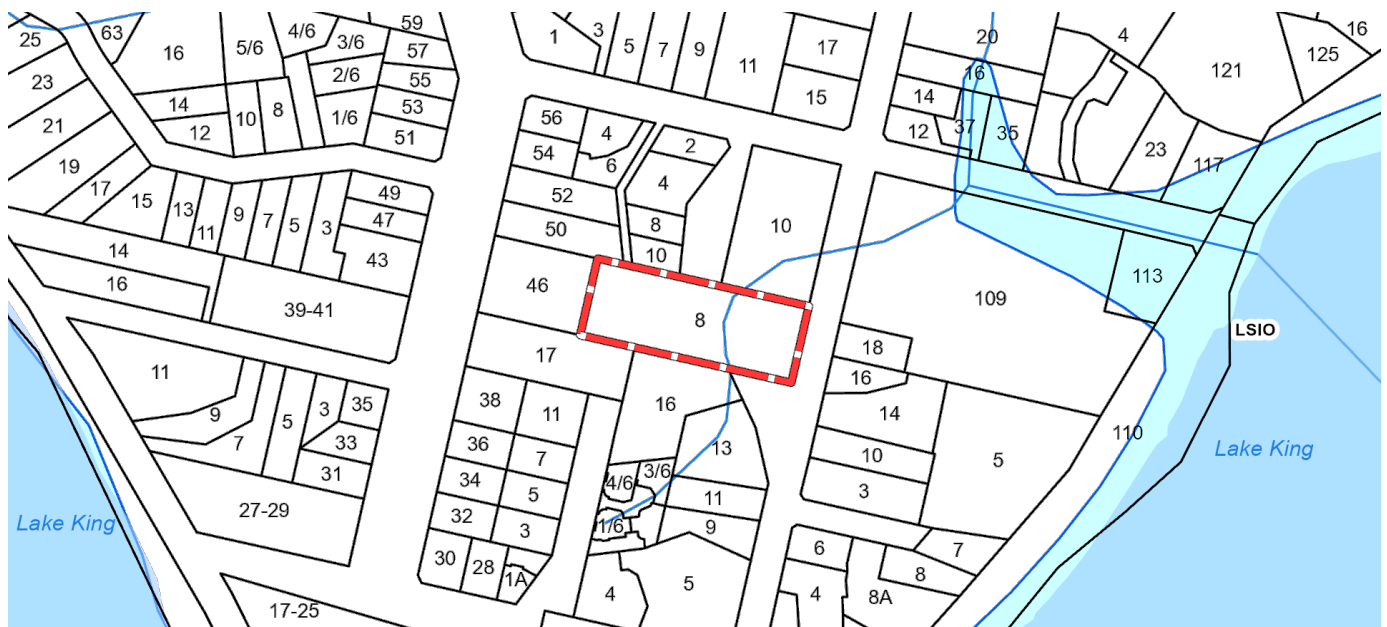


Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

LAND SUBJECT TO INUNDATION OVERLAY (LSIO)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

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PLANNING PROPERTY REPORT

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Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this parcel is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

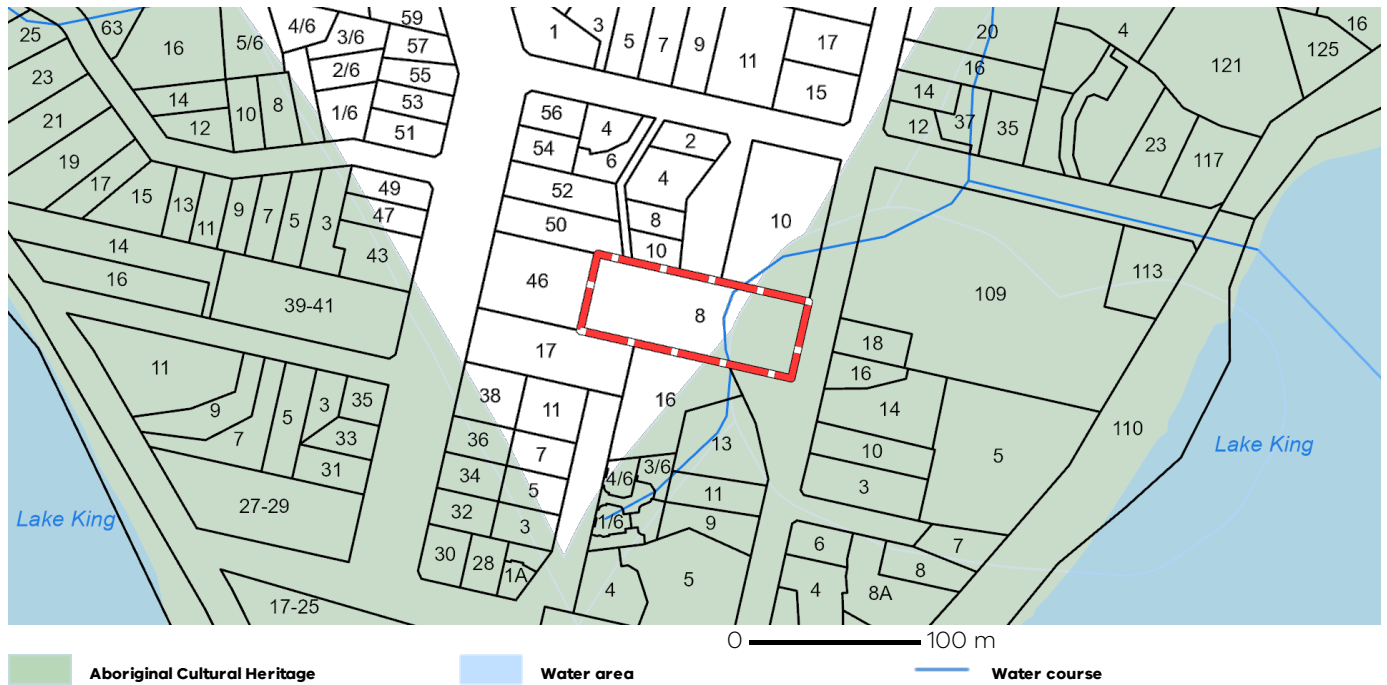
Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <https://heritage.achris.vic.gov.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.firstpeoplesrelations.vic.gov.au/aboriginal-heritage-legislation>



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Further Planning Information

Planning scheme data last updated on 1 December 2025.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.vic.gov.au/vicplan/>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

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Designated Bushfire Prone Areas

This parcel is not in a designated bushfire prone area. No special bushfire construction requirements apply. Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

Native Vegetation

Native plants that are indigenous to Victoria and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#)

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Regulations Map (NVR Map) <https://mapshare.vic.gov.au/nvr/> and [Native vegetation \(environment.vic.gov.au\)](http://nativevegetation.environment.vic.gov.au) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](http://naturekit.environment.vic.gov.au)

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PLANNING PROPERTY REPORT

From www.planning.vic.gov.au at 02 December 2025 04:04 PM

PROPERTY DETAILS

Lot and Plan Number: **Lot 9 LP31901**
 Address: **10 WOOD STREET METUNG 3904**
 Standard Parcel Identifier (SPI): **9\LP31901**
 Local Government Area (Council): **EAST GIPPSLAND**
 Council Property Number: **45642**
 Planning Scheme: **East Gippsland**
 Directory Reference: **Vicroads 690 D5**

www.eastgippsland.vic.gov.au

[Planning Scheme - East Gippsland](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
 Urban Water Corporation: **East Gippsland Water**
 Melbourne Water: **Outside drainage boundary**
 Power Distributor: **AUSNET**

STATE ELECTORATES

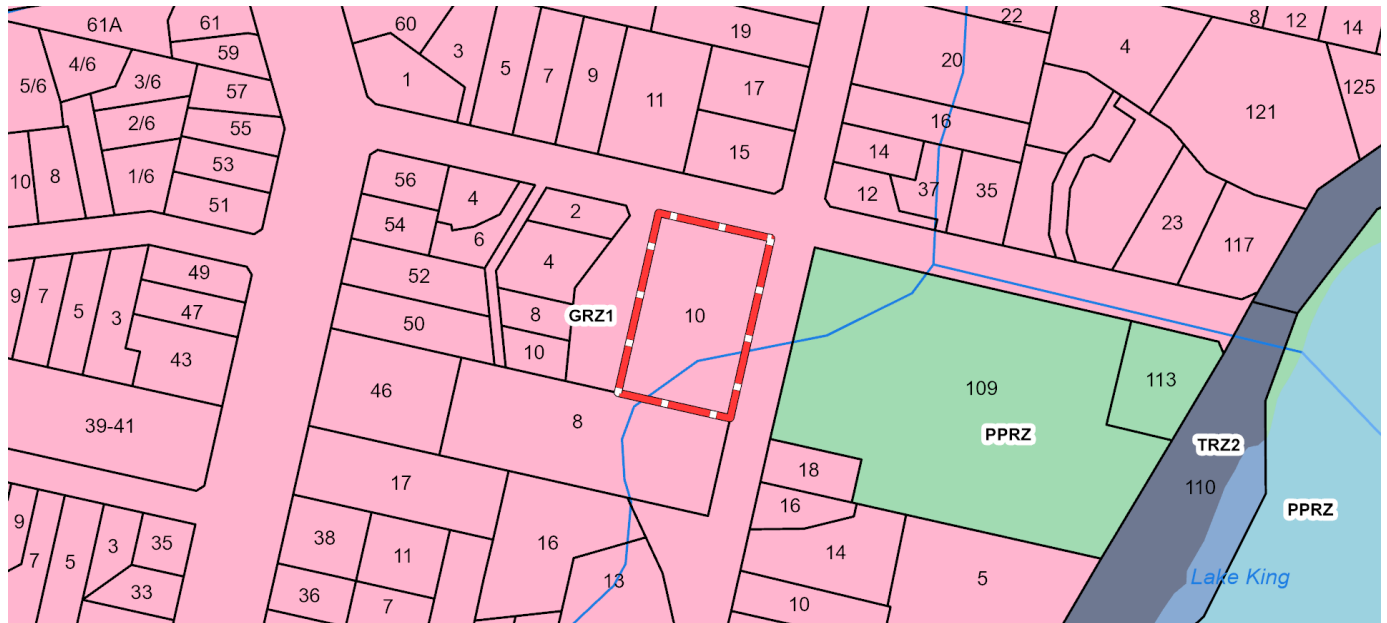
Legislative Council: **EASTERN VICTORIA**
 Legislative Assembly: **GIPPSLAND EAST**
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 Fire Authority: **Country Fire Authority**

[View location in VicPlan](#)

Planning Zones

[GENERAL RESIDENTIAL ZONE \(GRZ\)](#)

[GENERAL RESIDENTIAL ZONE - SCHEDULE 1 \(GRZ1\)](#)



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PLANNING PROPERTY REPORT: Lot 9 LP31901

PLANNING PROPERTY REPORT

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Planning Overlays

EROSION MANAGEMENT OVERLAY (EMO)

EROSION MANAGEMENT OVERLAY SCHEDULE (EMO)



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VEGETATION PROTECTION OVERLAY (VPO)

VEGETATION PROTECTION OVERLAY - SCHEDULE 3 (VPO3)



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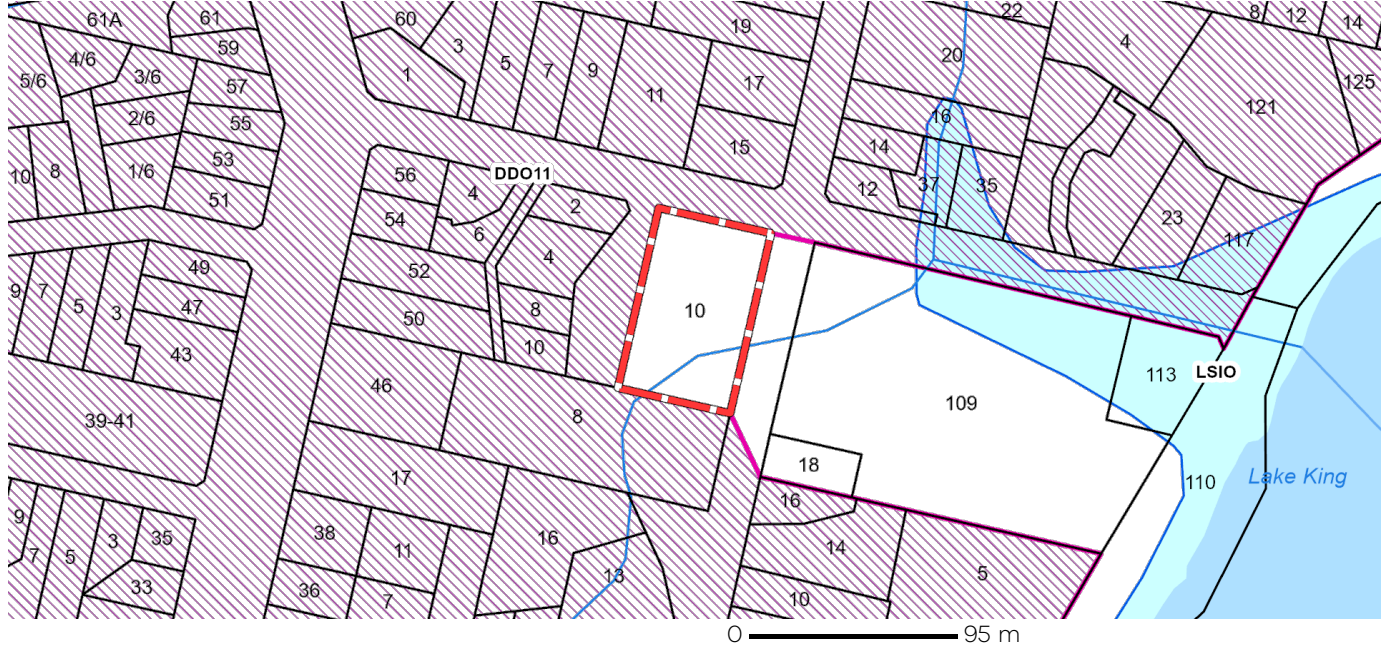
Planning Overlays

OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

DESIGN AND DEVELOPMENT OVERLAY (DDO)

LAND SUBJECT TO INUNDATION OVERLAY (LSIO)



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Further Planning Information

Planning scheme data last updated on 1 December 2025.

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Designated Bushfire Prone Areas

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No special bushfire construction requirements apply. Planning provisions may apply.

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Native Vegetation

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PLANNING PROPERTY REPORT

From www.planning.vic.gov.au at 02 December 2025 03:53 PM

PROPERTY DETAILS

Lot and Plan Number: **Lot 4 LP142207**
 Address: **16 DAVID ROAD METUNG 3904**
 Standard Parcel Identifier (SPI): **4\LP142207**
 Local Government Area (Council): **EAST GIPPSLAND**
 Council Property Number: **45705**
 Planning Scheme: **East Gippsland**
 Directory Reference: **Vicroads 690 C5**

www.eastgippsland.vic.gov.au

[Planning Scheme - East Gippsland](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
 Urban Water Corporation: **East Gippsland Water**
 Melbourne Water: **Outside drainage boundary**
 Power Distributor: **AUSNET**

STATE ELECTORATES

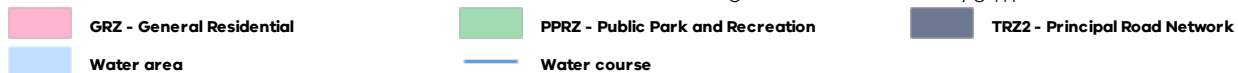
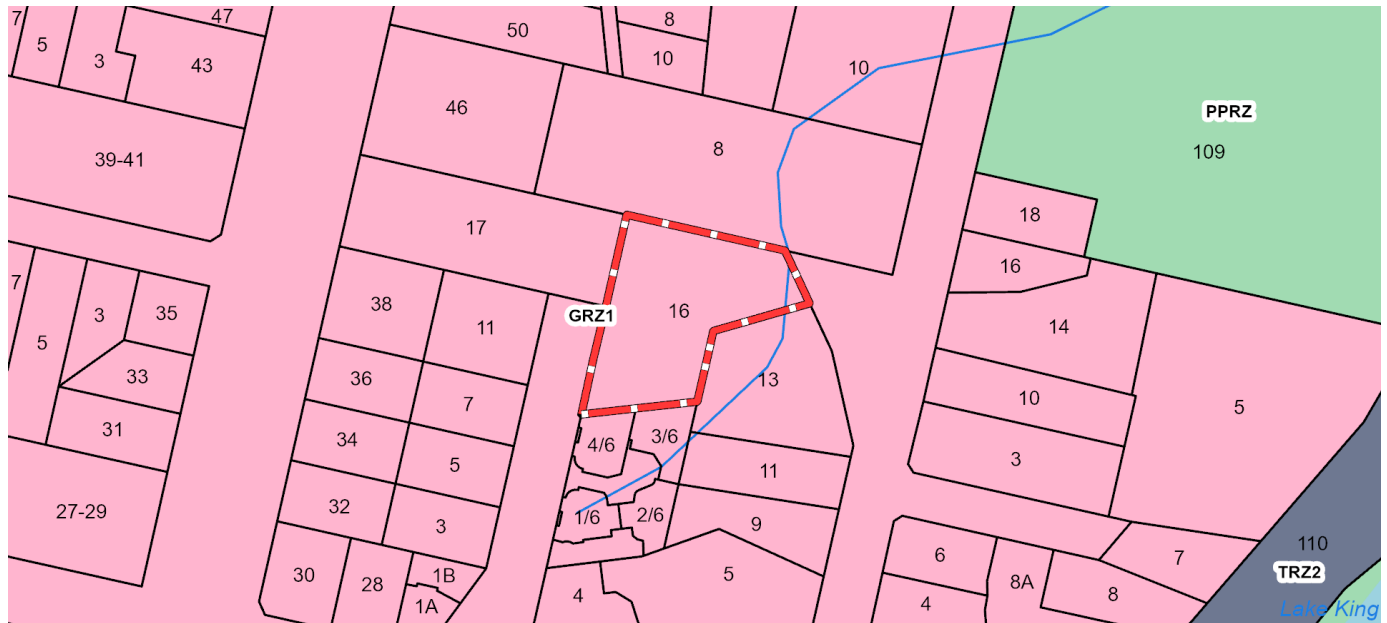
Legislative Council: **EASTERN VICTORIA**
 Legislative Assembly: **GIPPSLAND EAST**
 Registered Aboriginal Party: **Gunaikurnai Land and Waters Aboriginal Corporation**
 Fire Authority: **Country Fire Authority**

[View location in VicPlan](#)

Planning Zones

[GENERAL RESIDENTIAL ZONE \(GRZ\)](#)

[GENERAL RESIDENTIAL ZONE - SCHEDULE 1 \(GRZ1\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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PLANNING PROPERTY REPORT: Lot 4 LP142207

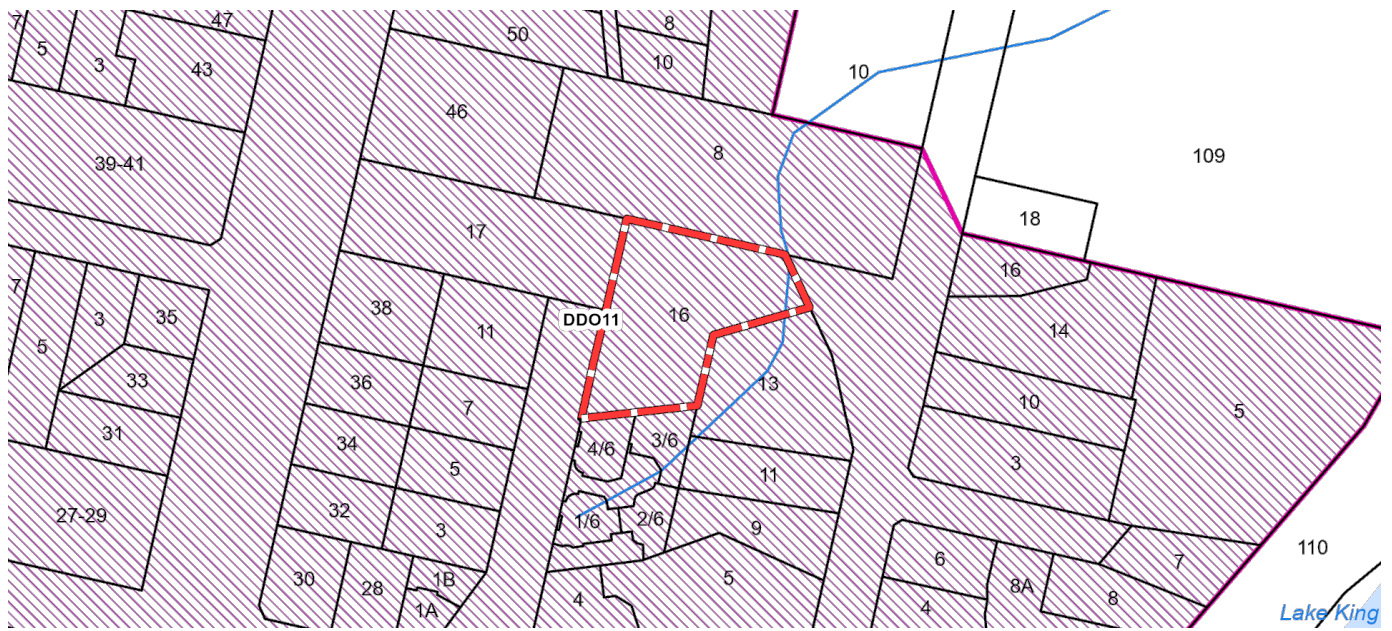


PLANNING PROPERTY REPORT

Planning Overlays

DESIGN AND DEVELOPMENT OVERLAY (DDO)

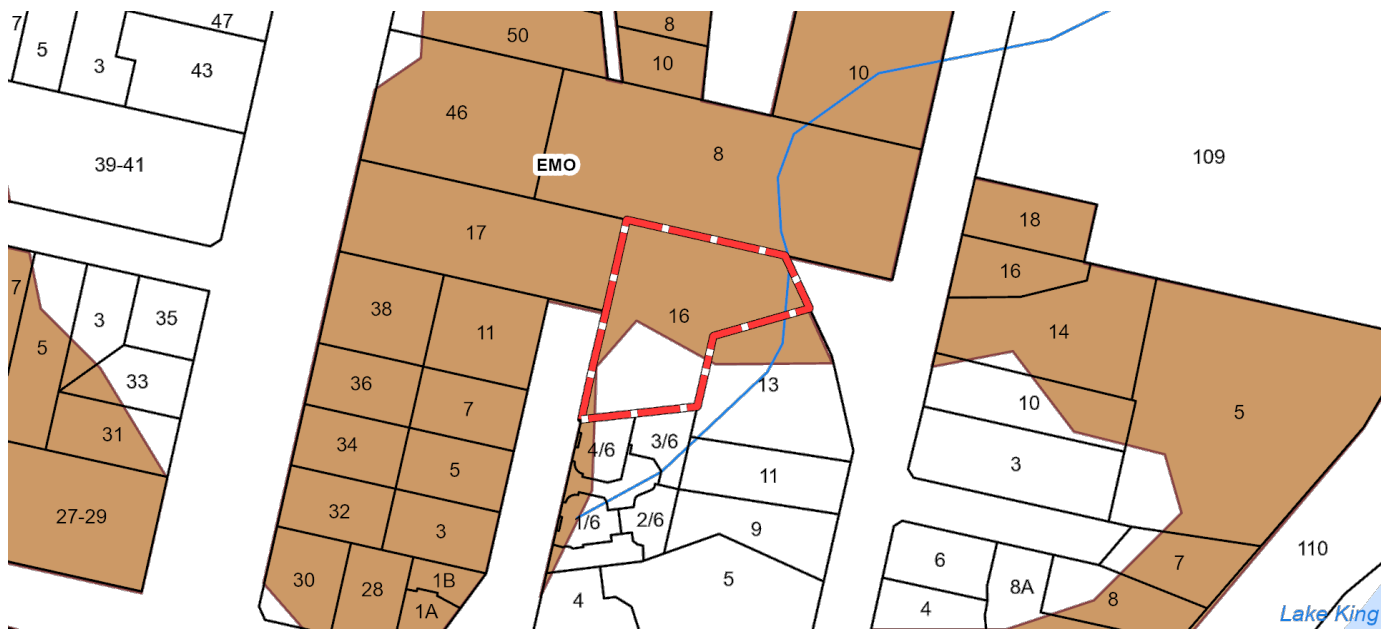
DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 11 (DDO11)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

EROSION MANAGEMENT OVERLAY (EMO)

EROSION MANAGEMENT OVERLAY SCHEDULE (EMO)



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Planning Overlays

VEGETATION PROTECTION OVERLAY (VPO)

VEGETATION PROTECTION OVERLAY - SCHEDULE 3 (VPO3)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

LAND SUBJECT TO INUNDATION OVERLAY (LSIO)



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PLANNING PROPERTY REPORT: Lot 4 LP142207

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Areas of Aboriginal Cultural Heritage Sensitivity

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'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

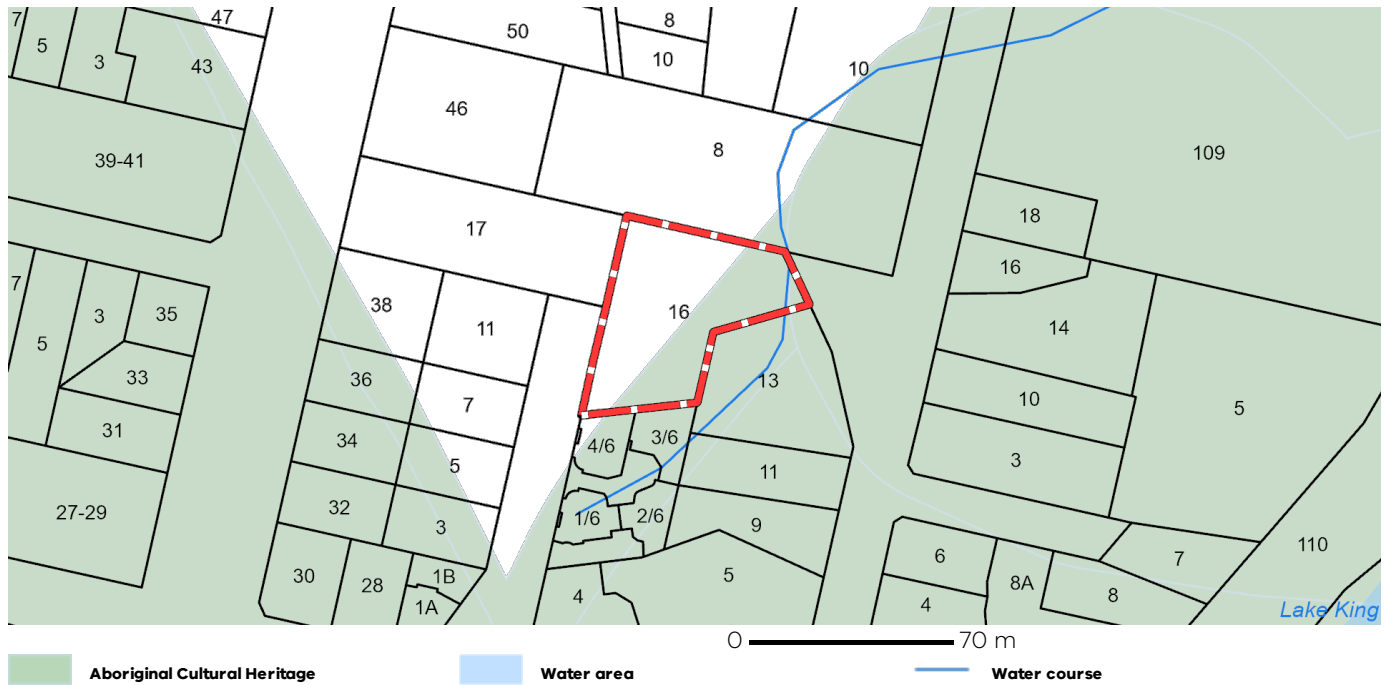
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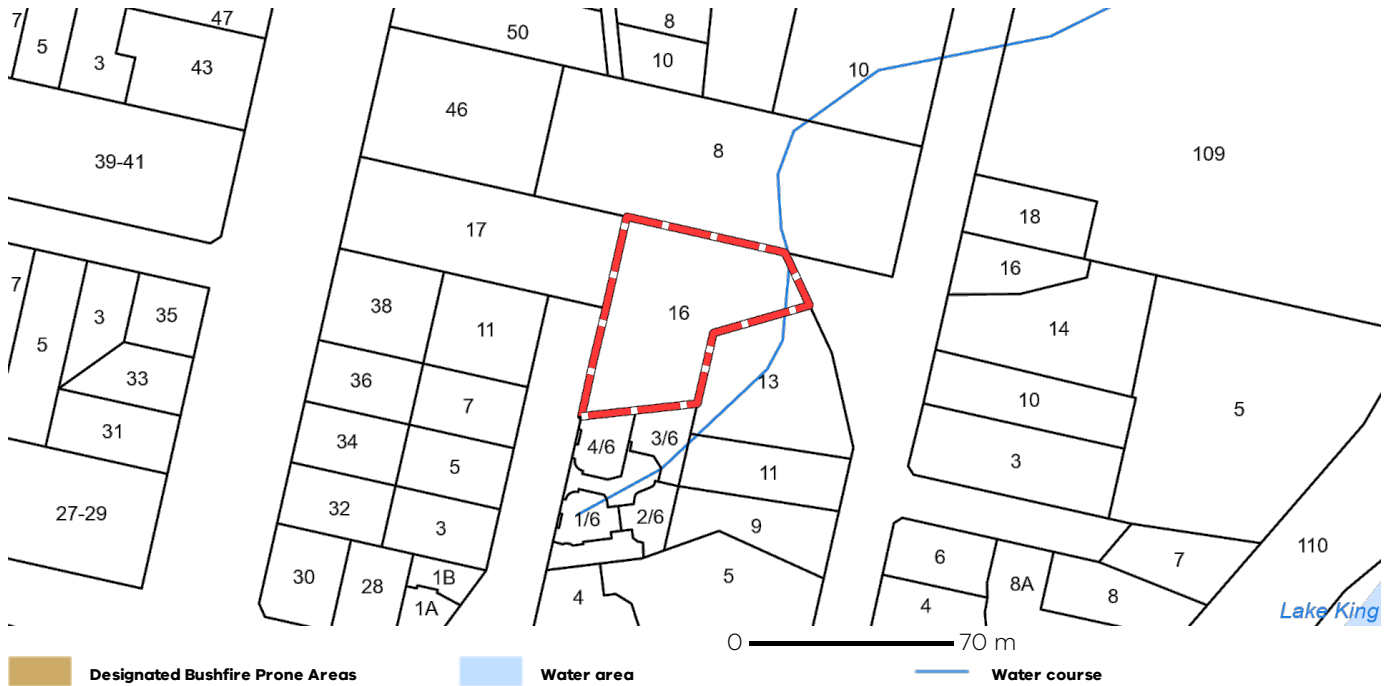


Designated Bushfire Prone Areas

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PLANNING PROPERTY REPORT

From www.planning.vic.gov.au at 02 December 2025 04:07 PM

PROPERTY DETAILS

Address: **109 METUNG ROAD METUNG 3904**
 Crown Description: **More than one parcel - see link below**
 Standard Parcel Identifier (SPI): **More than one parcel - see link below**
 Local Government Area (Council): **EAST GIPPSLAND**
 Council Property Number: **44418**
 Planning Scheme: **East Gippsland**
 Directory Reference: **Vicroads 690 D5**

www.eastgippsland.vic.gov.au

[Planning Scheme - East Gippsland](#)

This property has 2 parcels. For full parcel details get the free Property report at [Property Reports](#)

UTILITIES

Rural Water Corporation: **Southern Rural Water**
 Urban Water Corporation: **East Gippsland Water**
 Melbourne Water: **Outside drainage boundary**
 Power Distributor: **AUSNET**

STATE ELECTORATES

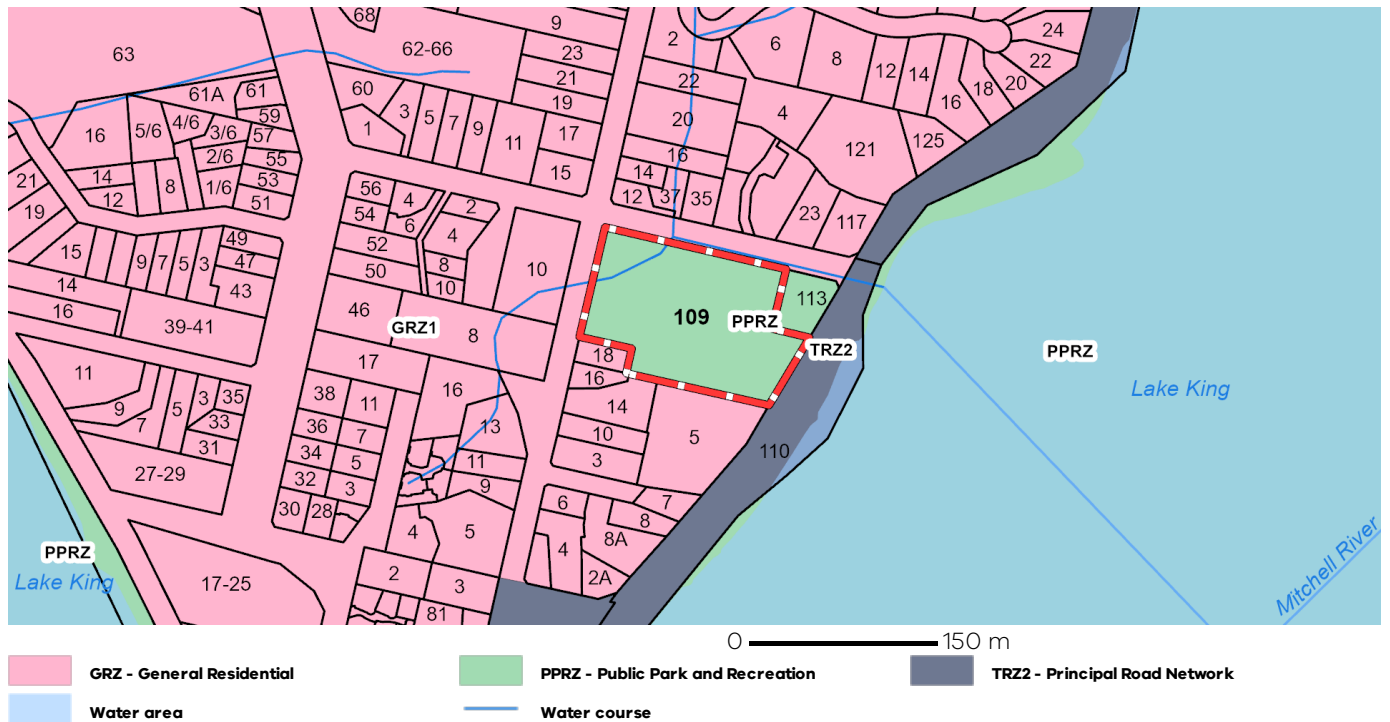
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 Legislative Assembly: **GIPPSLAND EAST**
OTHER
 Registered Aboriginal Party: **Gunaikurnai Land and Waters Aboriginal Corporation**
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[View location in VicPlan](#)

Planning Zones

[PUBLIC PARK AND RECREATION ZONE \(PPRZ\)](#)

[SCHEDULE TO THE PUBLIC PARK AND RECREATION ZONE \(PPRZ\)](#)



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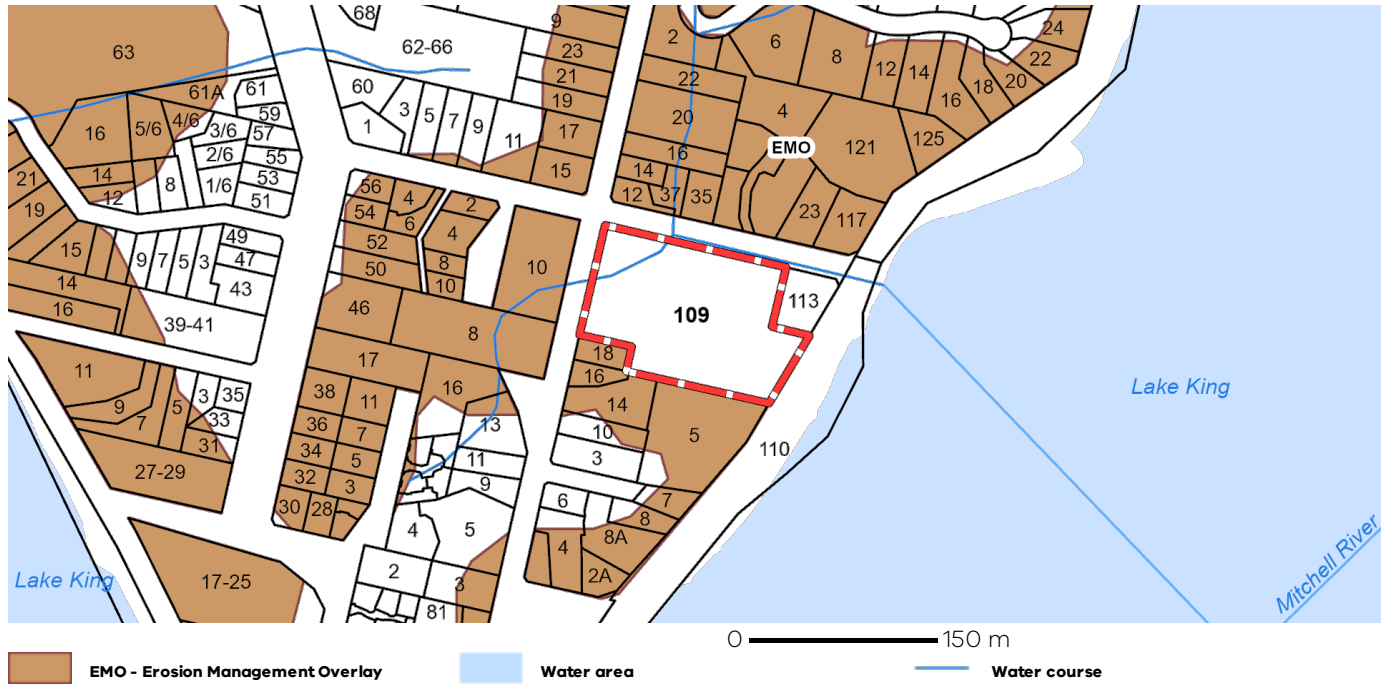
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Planning Overlays

EROSION MANAGEMENT OVERLAY (EMO)

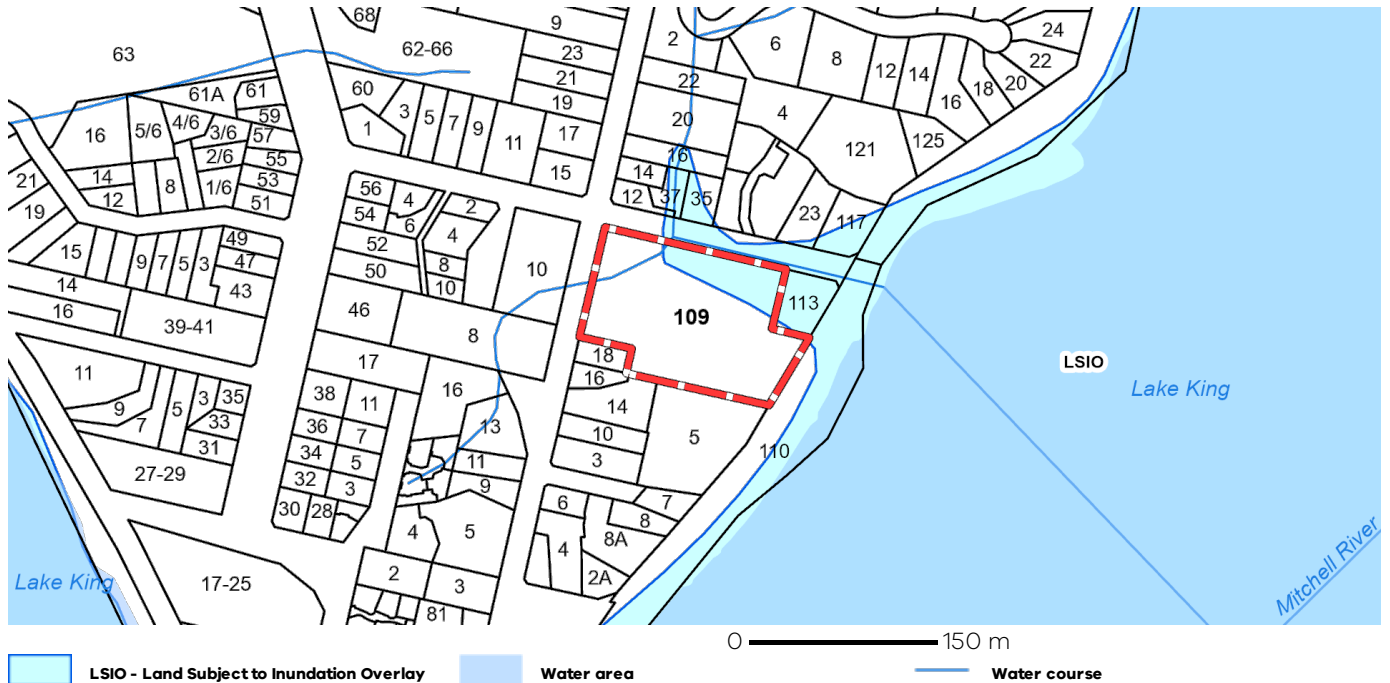
EROSION MANAGEMENT OVERLAY SCHEDULE (EMO)



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LAND SUBJECT TO INUNDATION OVERLAY (LSIO)

LAND SUBJECT TO INUNDATION OVERLAY SCHEDULE (LSIO)



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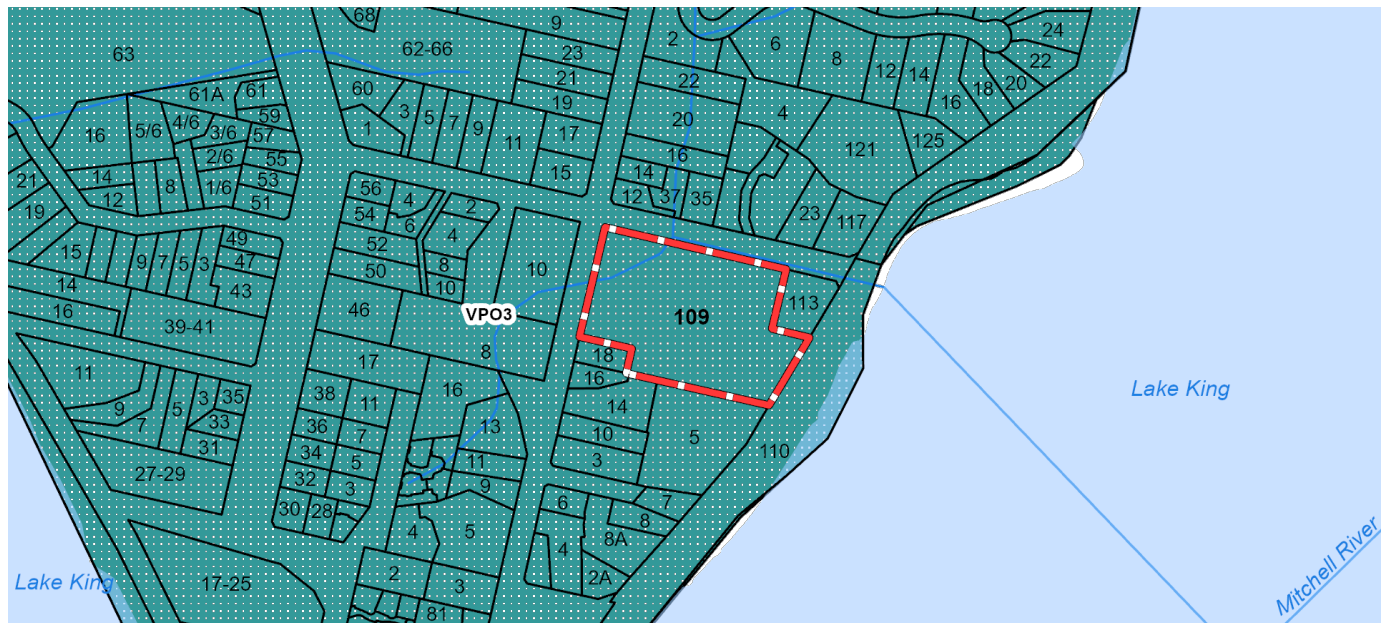
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Planning Overlays

VEGETATION PROTECTION OVERLAY (VPO)

VEGETATION PROTECTION OVERLAY - SCHEDULE 3 (VPO3)

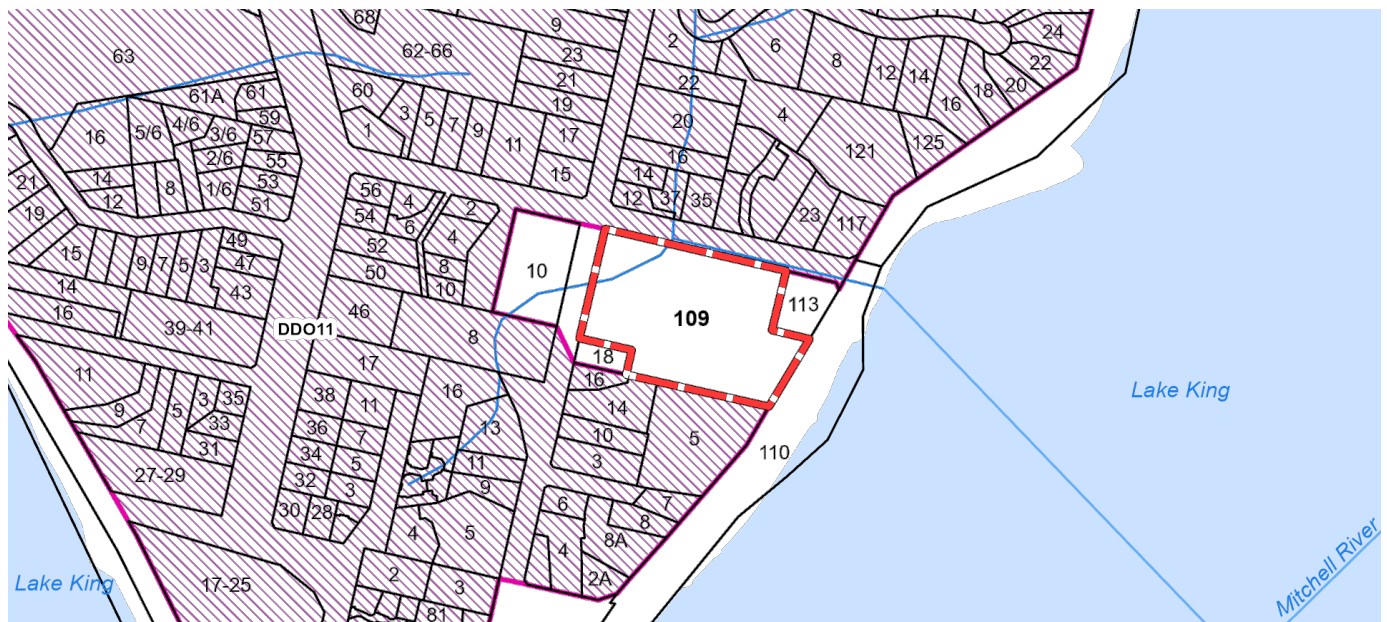


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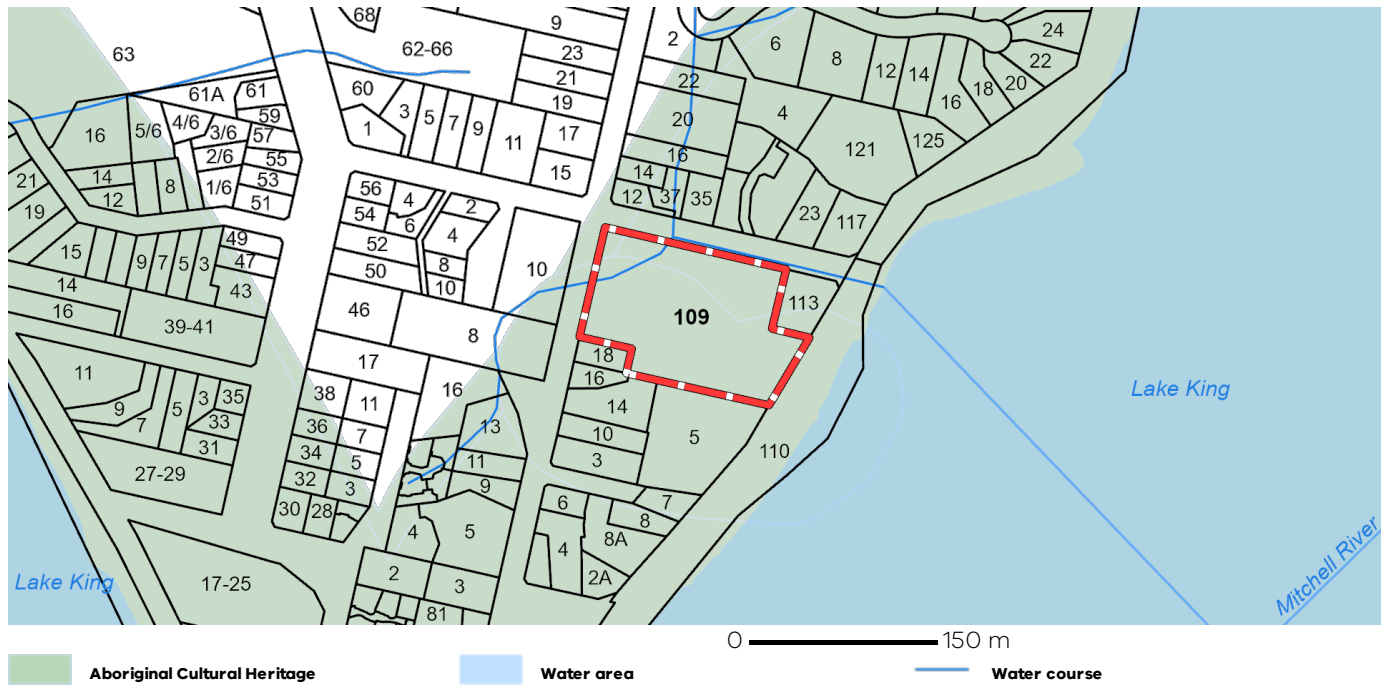
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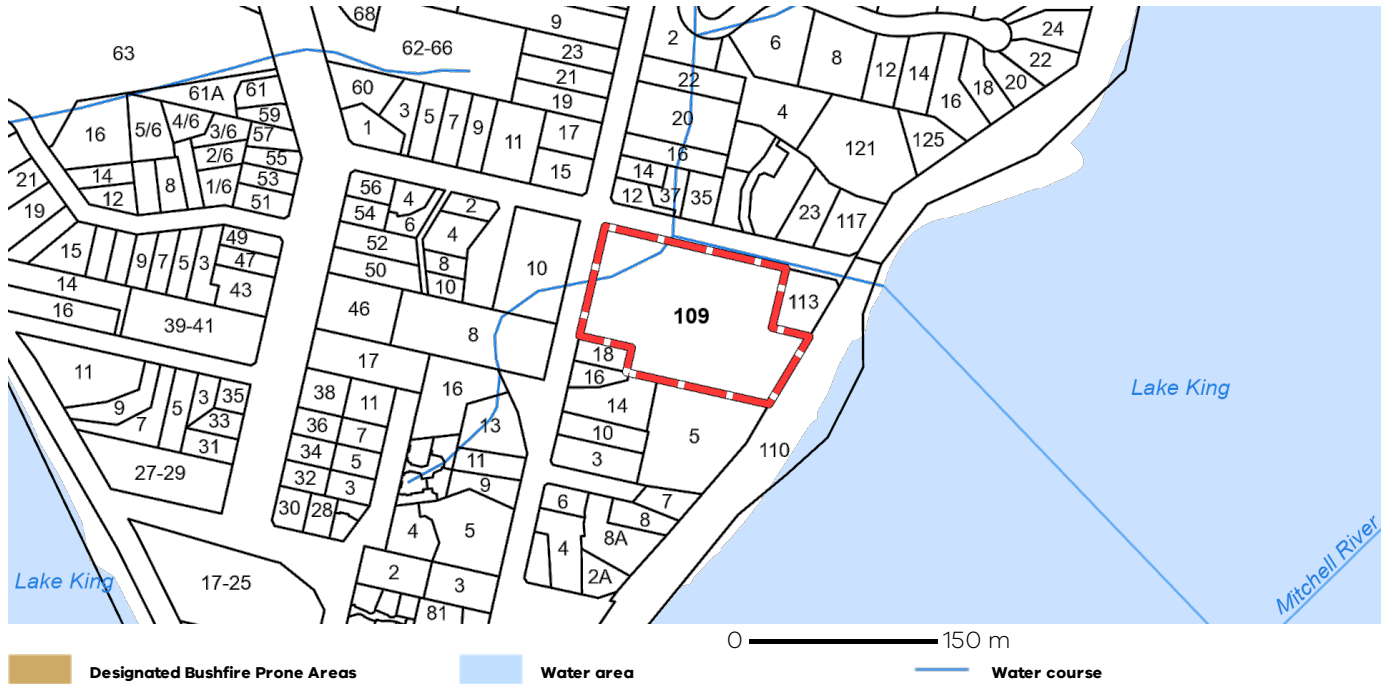


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Appendix 4 Threatened species

Taxon ID	Scientific Name	Common Name	Conservation Status ¹	Last record
10117	<i>Sternula albifrons</i>	Little Tern	VU cr	2022
10118	<i>Sternula nereis</i>	Fairy Tern	VU cr	2022
10138	<i>Thinornis cucullatus</i>	Hooded Plover	VU vu	2019
10139	<i>Charadrius mongolus</i>	Lesser Sand Plover	EN en	1989
10153	<i>Limosa lapponica</i>	Bar-tailed Godwit	EN en	2020
10161	<i>Calidris ferruginea</i>	Curlew Sandpiper	CR cr	2017
10163	<i>Calidris acuminata</i>	Sharp-tailed Sandpiper	VU vu	2018
10164	<i>Calidris canutus</i>	Red Knot	VU vu	2017
10165	<i>Calidris tenuirostris</i>	Great Knot	VU vu	2017
10168	<i>Gallinago hardwickii</i>	Latham's Snipe	VU vu	2020
10268	<i>Callocephalon fimbriatum</i>	Gang-gang Cockatoo	EN en	2021
10309	<i>Lathamus discolor</i>	Swift Parrot	CR cr	1988
10334	<i>Hirundapus caudacutus</i>	White-throated Needletail	VU vu	2001
10603	<i>Anthochaera phrygia</i>	Regent Honeyeater	CR cr	1967
11008	<i>Dasyurus maculatus maculatus</i>	Spot-tailed Quoll	EN en	1900
11175	<i>Potorous tridactylus trisulcatus</i>	Long-nosed Potoroo	VU vu	1975
13166	<i>Litoria aurea</i>	Green and Golden Bell Frog	VU	1996
13207	<i>Litoria raniformis</i>	Growling Grass Frog	VU vu	1963
60555	<i>Climacteris picumnus</i>	Brown Treecreeper	VU vu	1988
502965	<i>Commersonia prostrata</i>	Dwarf Kerrawang	EN	
503623	<i>Amphibromus fluitans</i>	River Swamp Wallaby-grass,	VU	
501456	<i>Glycine latrobeana</i>	Clover Glycine	VU	
503389	<i>Thesium australe</i>	Austral Toadflax	VU	
503763	<i>Xerochrysum palustre</i>	Swamp Everlasting	VU	
504728	<i>Pterostylis chlorogramma</i>	Green-striped Greenhood	VU	
500547	<i>Caladenia tessellata</i>	Thick-lipped Spider-orchid	VU	
503633	<i>Acacia caerulescens</i>	Limestone Blue Wattle	VU	
12407	<i>Lissolepis coventryi</i>	Swamp Skink	EN	

Note that purely marine and/or pelagic species records are not included in this list

¹CR/cr: Critically endangered; EN/en: Endangered; VU/vu: Vulnerable (uppercase denotes status at federal level, lowercase denotes status in Victoria)

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Appendix 5 Roots 2 Leaves Tree Services memo

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Roots 2 Leaves Tree Services Pty Ltd

Nathan Williamson – Consulting Arborist

Admin@roots2leavestreeservices.com.au

MEMORANDUM

To: EcologicNRM

From: Nathan Williamson – Consulting Arborist

Company: Roots 2 Leaves Tree Services

Date: 14/1/2026

Site: 8 Wood Street, Metung

Subject: Preliminary Arboricultural Observations – Trench Excavation Impacts

Purpose

This memo provides preliminary arboricultural observations following a visual assessment of two trees located adjacent to the proposed trench excavation works at 8 Wood Street, Metung.

Tree 1 – Western Side of Trench

- The proposed excavation results in an estimated **17.2% Tree Protection Zone (TPZ) impact**.
- The **Structural Root Zone (SRZ) is not impacted**, as shown in the attached imagery.
- Based on the tree's current health, structure, and retained rooting area, this level of impact is considered **acceptable**.
- The tree is expected to remain structurally sound with no significant decline in health.
- While the impact is classified as **moderate**, the remaining undisturbed root zone is considered sufficient.
- Given the tree's position within a gully, it is likely that the majority of functional and structural roots extend into the undisturbed ground upslope and on the opposing side of the trench.
- The slope context suggests that root mass contributing to stability is predominantly located upslope, with the trench positioned at the lower point of the gully.

Conclusion – Tree 1:

The proposed works can proceed as planned, with Tree 1 expected to be retained without compromise to its health or structural stability.

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Tree 2 – Eastern Side of Trench

- The proposed excavation results in an estimated **21.2% TPZ impact**, which is classified as a **high impact** under the relevant Australian Standards.
- Due to the extent of potential impact, **further investigation is recommended**.

Management options include:

- **Pre-construction Air Spade excavation** along the trench alignment to identify and assess significant roots prior to disturbance; or
- Proceeding with trench excavation under arboricultural supervision, followed by inspection of exposed roots. Any severed roots would be measured, cleanly cut, and assessed using an offset calculation against the tree's DBH to quantify actual root loss.
- If the calculated root loss remains **below 20%**, the tree would not be considered lost and could be safely retained.
- The trench is located on the **western side of the tree**, with the tree itself positioned on the eastern side within a gully.
- Given the tree's age and the likely accumulation of silt within the gully, it is considered likely that primary structural roots occur at greater depths (potentially **2–3 metres**), rather than within the upper soil profile.

Summary

- **Tree 1:** Acceptable impact; works may proceed.
- **Tree 2:** High impact; further investigation and/or supervised works recommended to determine retention viability.

Please contact the undersigned should further clarification, investigation, or on-site arboricultural supervision be required.

Prepared by:

Nathan Williamson

AQF 5 Consulting Arborist + ISA TRAQ

Roots 2 Leaves Tree Services

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- No responsibility is assumed by Roots 2 Leaves Tree Services Pty Ltd for matters legal in nature related to this manual. Any legal or technical description given is assumed to be correct.
- All care has been taken to obtain reasonable and relevant information from qualified and reliable sources in the preparation of this document.
- Visual material within this manual such as sketches, diagrams, photographs, etc. are not necessarily to scale and should not be construed as engineered data for construction.
- This document has been prepared utilising accepted contemporary standards of tree care and maintenance, evaluation and assessment procedures, diagnostic and reporting techniques and sound arboriculture practices as recommended by the sources listed in the 'References' section.
- It is important that to remember that trees are living organisms that can change constantly both over time and with wind and weather events, The staff at Roots 2 Leaves Tree Services conduct a visual assessment but internal wood inspections and under ground inspections cannot be performed and problems may be missed. Roots 2 Leaves Tree Services takes no responsibility if a tree fails due to unseeable reason.
- If this report is to be used for any legal reasons Roots 2 Leaves Tree Services must be informed in writing prior to permission being granted.



Appendix 6 Native Vegetation Removal Report

Native Vegetation Removal Report

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NVRID: 319_20260108_72C

This report provides information to support an application to remove, destroy or lop native vegetation in accordance with the [Guidelines for the removal, destruction or lopping of native vegetation](#) (the Guidelines). This report is **not an assessment by DEECA** of the proposed native vegetation removal. Offset requirements have been calculated using modelled condition scores.

Report details

Date created: 08/01/2026

Local Government Area: EAST GIPPSLAND SHIRE

Registered Aboriginal Party: Gunaikurnai

Coordinates: 147.85540, -37.88777

Address:

109 METUNG ROAD METUNG 3904
8 WOOD STREET METUNG 3904

Regulator Notes

Removal polygons are located:

- On Crown Land

Summary of native vegetation to be removed

Assessment pathway	Intermediate Assessment Pathway		
Location category	Location 1 The native vegetation extent map indicates that this area is not typically characterised as supporting native vegetation. It does not meet the criteria to be classified as Location Category 2 or 3. The removal of less than 0.5 hectares of native vegetation in this area will not require a Species Offset.		
Total extent including past and proposed removal (ha) <i>Includes endangered EVCs (ha): 0</i>	0.079	<i>Extent of past removal (ha)</i>	<i>0</i>
		<i>Extent of proposed removal - Patches (ha)</i>	<i>0.008</i>
		<i>Extent of proposed removal - Patch Trees (outside of a mapped patch) (ha)</i>	<i>0.07</i>
		<i>Extent of proposed removal - Scattered Trees (ha)</i>	<i>0.000</i>
No. Large Trees proposed to be removed	1	<i>No. Large Patch Trees</i>	<i>1</i>
		<i>No. Large Scattered Trees</i>	<i>0</i>
No. Small Scattered Trees	0		

Offset requirements if approval is granted

Any approval granted will include a condition to secure an offset, before the removal of native vegetation, that meets the following requirements:

General Offset amount ¹	0.023 General Habitat Units
Minimum strategic biodiversity value score ²	0.195
Large Trees	1
Vicinity	East Gippsland CMA or EAST GIPPSLAND SHIRE LGA

NB: values within tables in this document may not add to the totals shown above due to rounding

The availability of third-party offset credits can be checked using the Native Vegetation Credit Register (NVCR) Search Tool - <https://nvcr.delwp.vic.gov.au>

1. The General Offset amount required is the sum of all General Habitat Units in Appendix 1.

2. Minimum strategic biodiversity value score is 80 per cent of the weighted average score across habitat zones where a General Offset is required.

Application requirements

Applications to remove, destroy or lop native vegetation must include all the below information. If an appropriate response has not been provided the application is not complete.

Application Requirement 1 - Native vegetation removal information

If the native vegetation removal is mapped correctly, the information presented in this Native Vegetation Removal Report addresses Application Requirement 1.

Application Requirement 2 - Topographical and land information

This statement describes the topographical and land features in the vicinity of the proposed works, including the location and extent of any ridges, hilltops, wetlands and waterways, slopes of more than 20% gradient, low-lying areas, saline discharge areas or areas of erosion.

Please see attached report EGSC Drainage Upgrade Metung, NVR Report, Section 3.3.6

Application Requirement 3 - Photographs of the native vegetation to be removed

Application Requirement 3 is not addressed in this Native Vegetation Removal Report. All applications must include recent, timestamped photos of each Patch, Large Patch Tree and Scattered Tree which has been mapped in this report.

Application Requirement 4 - Past removal

If past removal has been considered correctly, the information presented in this Native Vegetation Removal Report addresses Application Requirement 4.

Application Requirement 5 - Avoid and minimise statement

This statement describes what has been done to avoid and minimise impacts on native vegetation and associated biodiversity values.

Application Requirement 6 - Property Vegetation Plan

This requirement only applies if an approved Property Vegetation Plan (PVP) applies to the property
Does a PVP apply to the proposal?

No

Application Requirement 7 - Defendable space statement

Where the removal of native vegetation is to create defendable space, this statement:

- Describes the bushfire threat; and
- Describes how other bushfire risk mitigation measures were considered to reduce the amount of native vegetation proposed for removal (this can also be part of the avoid and minimise statement).

This statement is not required if, If the proposed defensible space is within the Bushfire Management Overlay (BMO), and in accordance with the 'Exemption to create defensible space for a dwelling under Clause 44.06 of local planning schemes' in Clause 52.12-5.

NA

Application Requirement 8 - Native Vegetation Precinct Plan

This requirement is only applicable if you are removing native vegetation from within an area covered by Native Vegetation Precinct Plan (NVPP), and the proposed removal is not identified as 'to be removed' within the NVPP.

Does an NVPP apply to the proposal?

No

Application Requirement 9 - Offset statement

This statement demonstrates that an offset is available and describes how the required offset will be secured. The Applicant's Guide provides information relating to this requirement.

Please see attached report EGSC Drainage Upgrade Metung, NVR Report, Section 3.3.9

Next steps

Applications to remove, destroy or lop native vegetation must address all the application requirements specified in the Guidelines. If you wish to remove the mapped native vegetation you are required to apply for approval from the responsible authority (e.g. local Council). This Native vegetation removal report must be submitted with your application and meets most of the application requirements. The following requirements need to be addressed, as applicable.

Application Requirement 3 - Photographs of the native vegetation to be removed

Recent, dated photographs of the native vegetation to be removed **must be provided** with the application. All photographs must be clear, show whether the vegetation is a Patch of native vegetation, Patch Tree or Scattered Tree, and identify any Large Trees. If the area of native vegetation to be removed is large, provide photos that are indicative of the native vegetation.

Ensure photographs are attached to the application. If appropriate photographs have not been provided the application is not complete.

Application Requirement 6 - Property Vegetation Plan

If a PVP is applicable, it must be provided with the application.

Appendix 1: Description of native vegetation to be removed

General Habitat Units for each zone (Patch, Scattered Tree or Patch Tree) are calculated by the following equation in accordance with the Guidelines

General Habitat Units = extent without overlap x condition score x general landscape factor x 1.5, where the general landscape factor = 0.5 + (strategic biodiversity value score/2)

The General Offset amount required is the sum of all General Habitat Units per zone.

Native vegetation to be removed

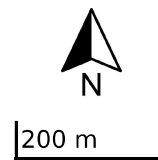
Information provided by or on behalf of the applicant			Information calculated by NVR Map							
Zone	Type	DBH (cm)	EVC code (modelled)	Bioregional conservation status	Large Tree(s)	Condition score (modelled)	Polygon extent (ha)	Extent without overlap (ha)	SBV score	General Habitat Units
1	Patch	-	GipP0151	Vulnerable	-	0.330	0.008	0.008	0.240	0.003
A	Patch Tree (outside mapped Patch)	40	GipP0151	Vulnerable	-	0.000	0.031	0.000	0.000	0.000
B	Patch Tree (outside mapped Patch)	124	GipP0151	Vulnerable	1	0.310	0.070	0.070	0.244	0.020

Appendix 2: Images of mapped native vegetation

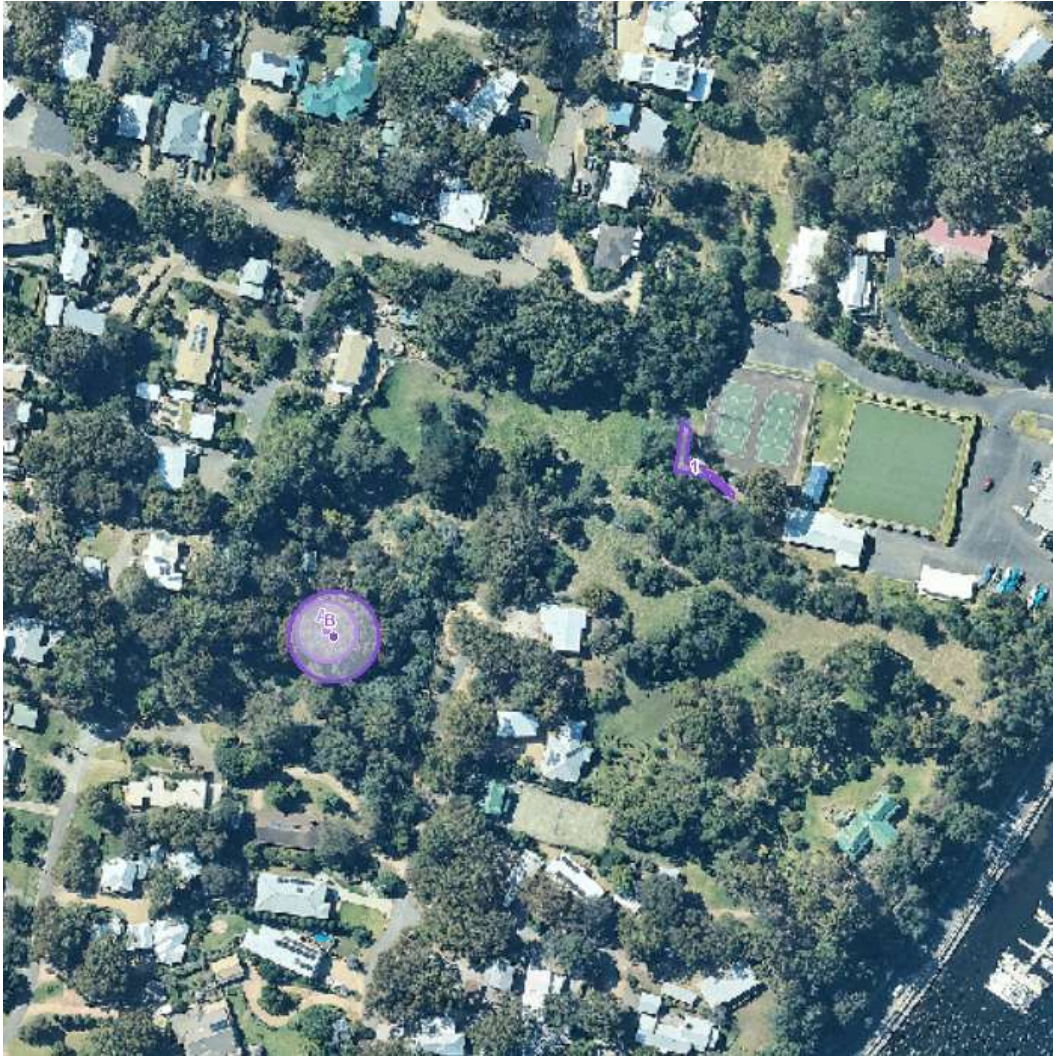
1. Property in context



- Proposed Removal
- Property Boundaries



2. Aerial photograph showing mapped native vegetation

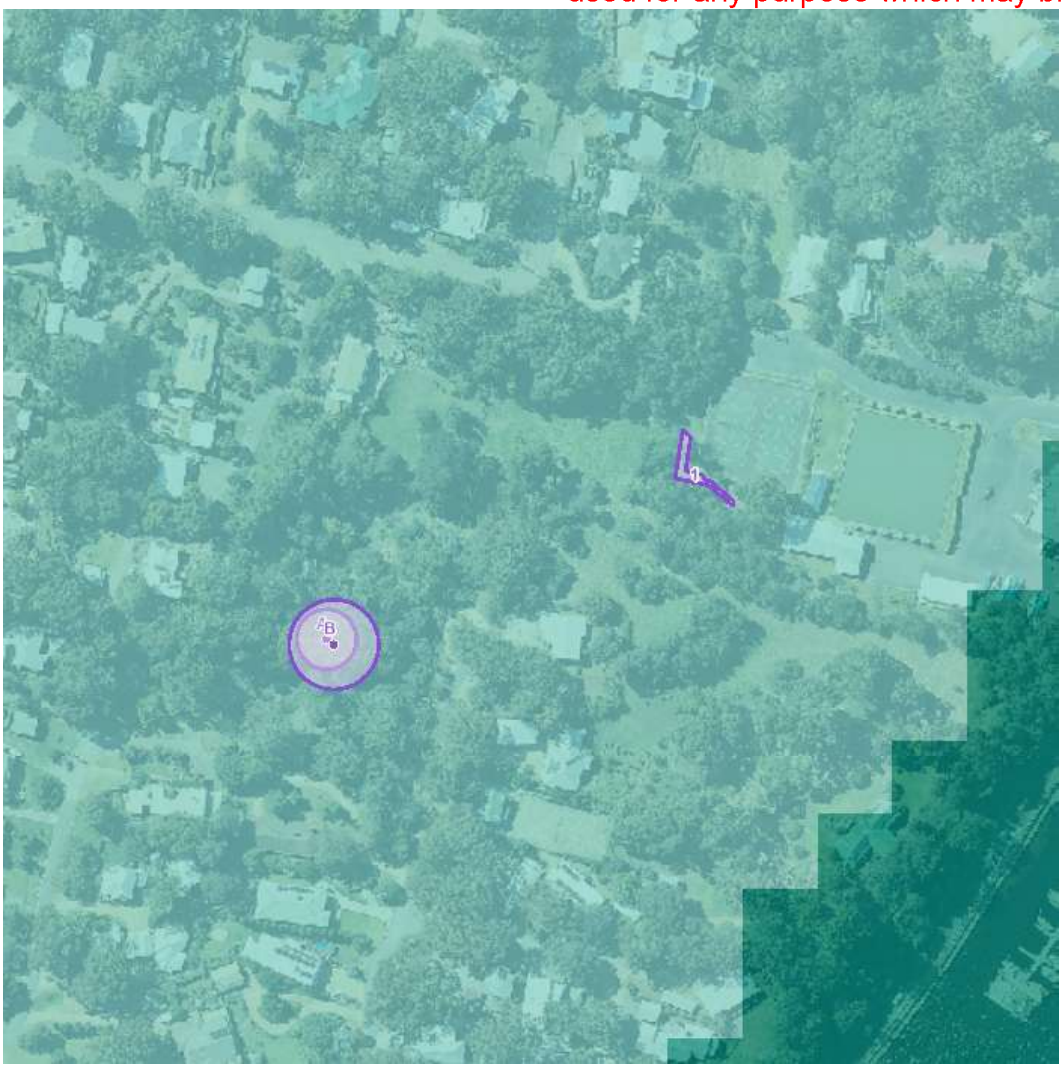


Proposed Removal



50 m

3. Location Risk Map



Proposed Removal

Location 1

Location 2

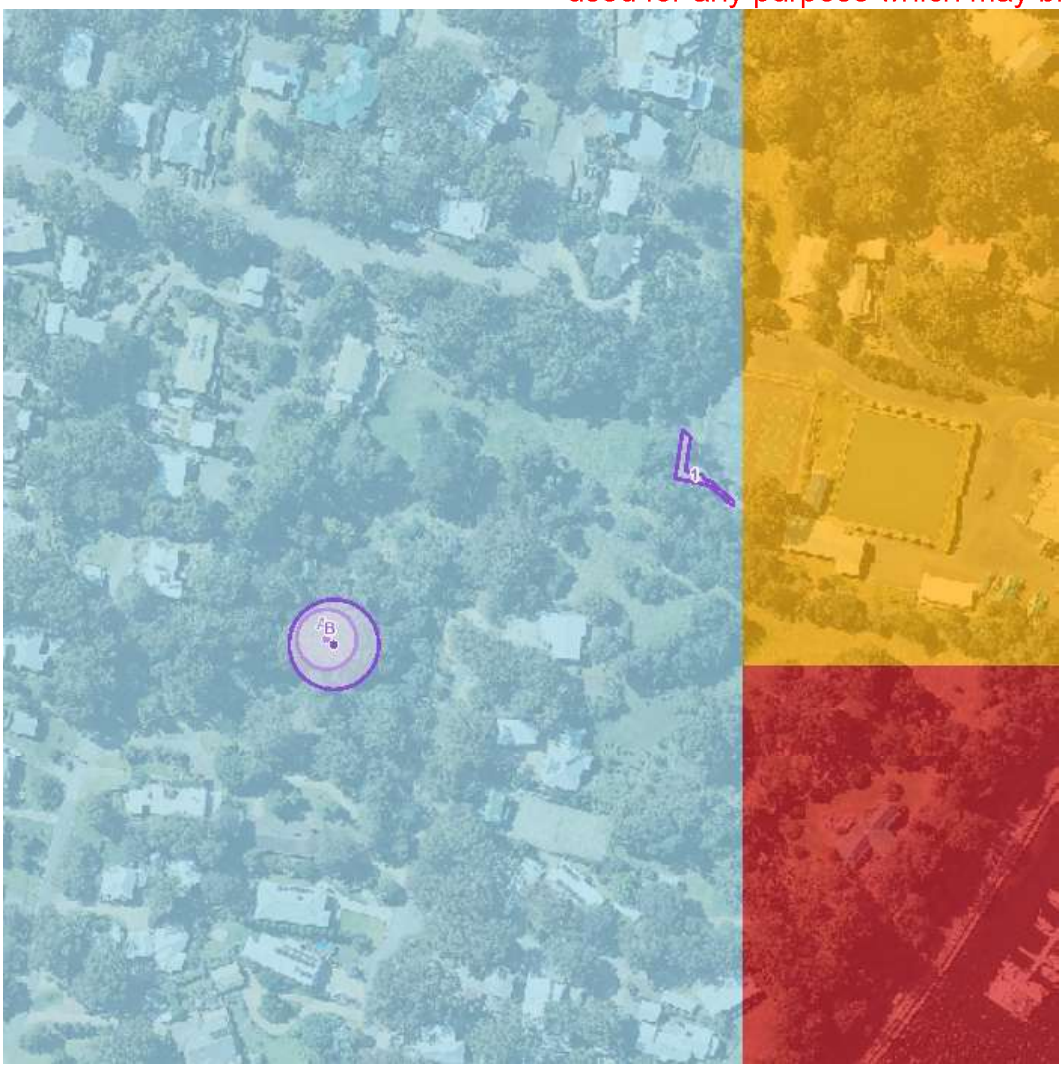
Location 3



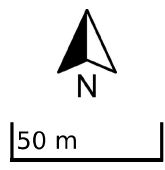
50 m

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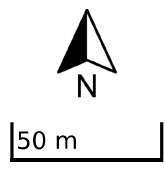
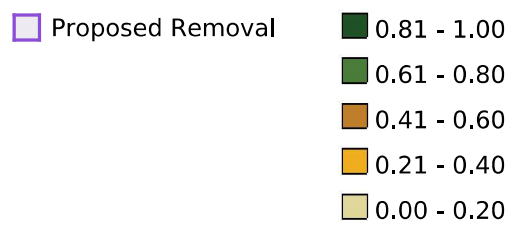
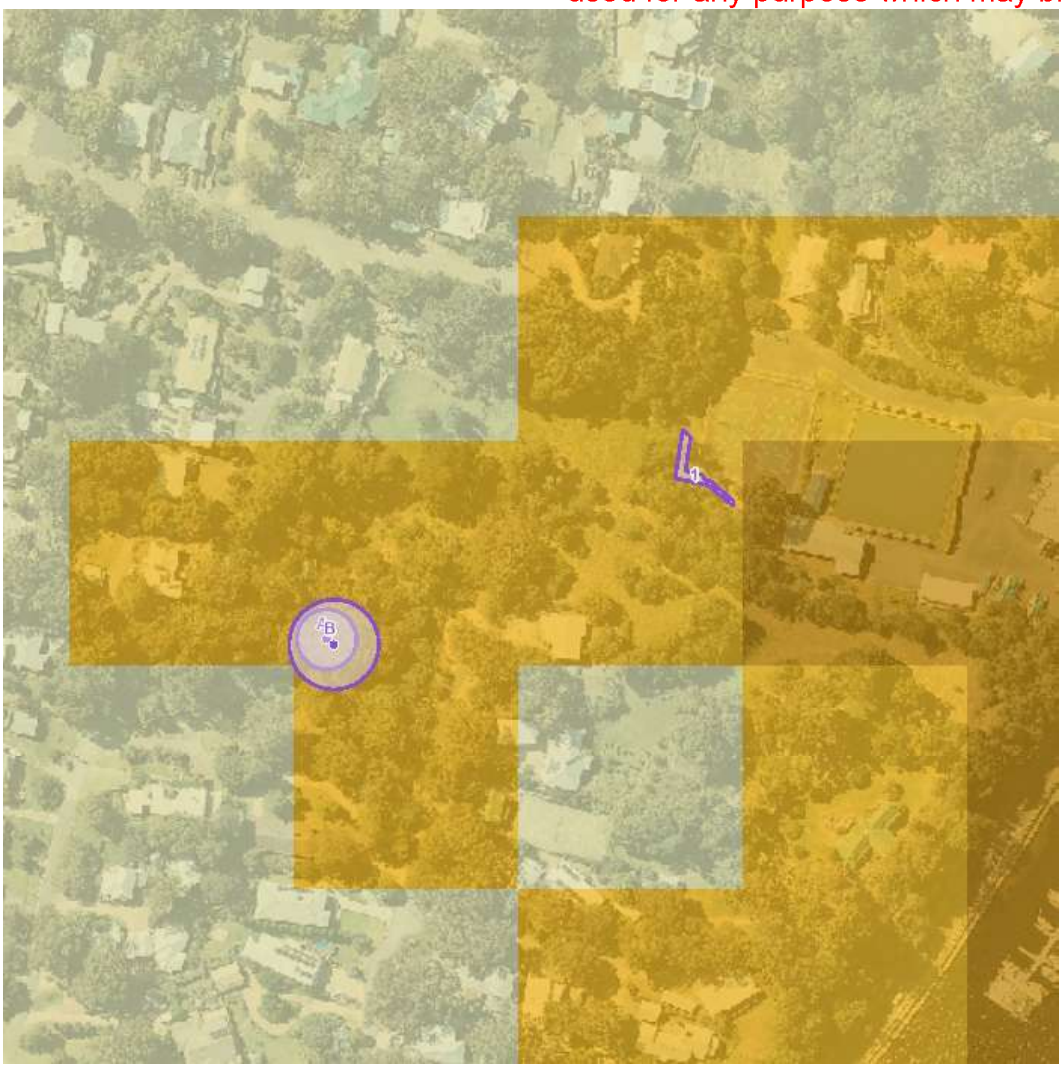
4. Strategic Biodiversity Value Score Map



- Proposed Removal
- 0.81 - 1.00
- 0.61 - 0.80
- 0.41 - 0.60
- 0.21 - 0.40
- 0.00 - 0.20



5. Condition Score Map



6. Endangered EVCs

Not Applicable

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Appendix 7 Report of available native vegetation credits

Report of available native vegetation credits

This report lists native vegetation credits available to purchase through the Native Vegetation Credit Register.

This report is **not evidence** that an offset has been secured. An offset is only secured when the units have been purchased and allocated to a permit or other approval and an allocated credit extract is provided by the Native Vegetation Credit Register.

Date and time: 16/01/2026 10:04

Report ID: 33683

What was searched for?

General offset

General habitat units	Strategic biodiversity value	Large trees	Vicinity (Catchment Management Authority or Municipal district)	
0.023	0.195	1	CMA	East Gippsland

Details of available native vegetation credits on 16 January 2026 10:04

These sites meet your requirements for general offsets.

Credit Site ID	GHU	LT	CMA	LGA	Land owner	Trader	Fixed price	Broker(s)
BBA-2323	6.019	86	East Gippsland	East Gippsland Shire	Yes	Yes	No	Bio Offsets, Ethos, VegLink
BBA-2843	15.048	850	East Gippsland	East Gippsland Shire	Yes	Yes	No	VegLink
TFN-C1621	1.387	1	East Gippsland	East Gippsland Shire	Yes	Yes	No	TFN
VC_CFL-3767_01	18.981	1554	East Gippsland	East Gippsland Shire	Yes	Yes	No	Ethos, VegLink

These sites meet your requirements using alternative arrangements for general offsets.

Credit Site ID	GHU	LT	CMA	LGA	Land owner	Trader	Fixed price	Broker(s)
----------------	-----	----	-----	-----	------------	--------	-------------	-----------

There are no sites listed in the Native Vegetation Credit Register that meet your offset requirements when applying the alternative arrangements as listed in section 11.2 of the Guidelines for the removal, destruction or lopping of native vegetation.

These potential sites are not yet available, land owners may finalise them once a buyer is confirmed.

Credit Site ID	GHU	LT	CMA	LGA	Land owner	Trader	Fixed price	Broker(s)
VC_CFL-3777_01	14.388	531	East Gippsland	East Gippsland Shire	Yes	Yes	No	Contact NVOR

LT - Large Trees

CMA - Catchment Management Authority

LGA - Municipal District or Local Government Authority

Next steps

If applying for approval to remove native vegetation

Attach this report to an application to remove native vegetation as evidence that your offset requirement is currently available.

If you have approval to remove native vegetation

Below are the contact details for all brokers. Contact the broker(s) listed for the credit site(s) that meet your offset requirements. These are shown in the above tables. If more than one broker or site is listed, you should get more than one quote before deciding which offset to secure.

Broker contact details

Broker Abbreviation	Broker Name	Phone	Email	Website
	Fully traded			
Abezco	Abzeco Pty. Ltd.	(03) 9431 5444	offsets@abzeco.com.au	www.abzeco.com.au
Baw Baw SC	Baw Baw Shire Council	(03) 5624 2411	bawbaw@bawbawshire.vic.gov.au	www.bawbawshire.vic.gov.au
Bio Offsets	Biodiversity Offsets Victoria	0452 161 013	info@offsetsvictoria.com.au	www.offsetsvictoria.com.au
Contact NVOR	Native Vegetation Offset Register	136 186	nativevegetation.offsetregister@deeca.vic.gov.au	www.environment.vic.gov.au/native-vegetation
Ecocentric	Ecocentric Environmental Consulting	0410 564 139	ecocentric@me.com	Not available
Ethos	Ethos NRM Pty Ltd	(03) 5153 0037	offsets@ethosnrm.com.au	www.ethosnrm.com.au
IDES	ID Ecological Management	(03) 9437 0555		www.idecological.com.au
Nillumbik SC	Nillumbik Shire Council	(03) 9433 3316	offsets@nillumbik.vic.gov.au	www.nillumbik.vic.gov.au
TFN	Trust for Nature	8631 5888	offsets@tfn.org.au	www.trustfornature.org.au
VegLink	Vegetation Link Pty Ltd	(03) 8578 4250 or 1300 834 546	offsets@vegetationlink.com.au	www.vegetationlink.com.au
Yarra Ranges SC	Yarra Ranges Shire Council	1300 368 333	biodiversityoffsets@yarraranges.vic.gov.au	www.yarraranges.vic.gov.au

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For more information contact the DEECA Customer Service Centre 136 186 or the Native Vegetation Credit Register at nativevegetation.offsetregister@delwp.vic.gov.au

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Obtaining this publication does not guarantee that the credits shown will be available in the Native Vegetation Credit Register either now or at a later time when a purchase of native vegetation credits is planned.

Notwithstanding anything else contained in this publication, you must ensure that you comply with all relevant laws, legislation, awards or orders and that you obtain and comply with all permits, approvals and the like that affect, are applicable or are necessary to undertake any action to remove, lop or destroy or otherwise deal with any native vegetation or that apply to matters within the scope of Clauses 52.16 or 52.17 of the Victoria Planning Provisions and Victorian planning schemes